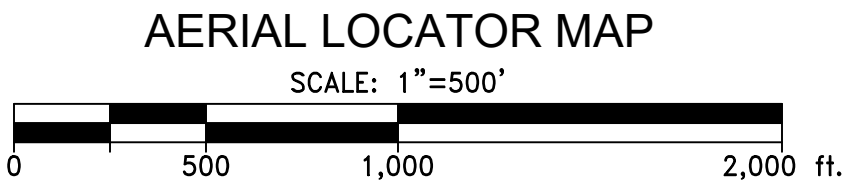
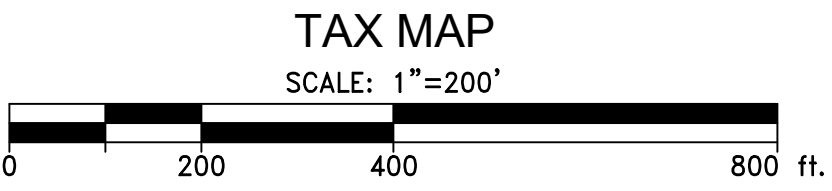
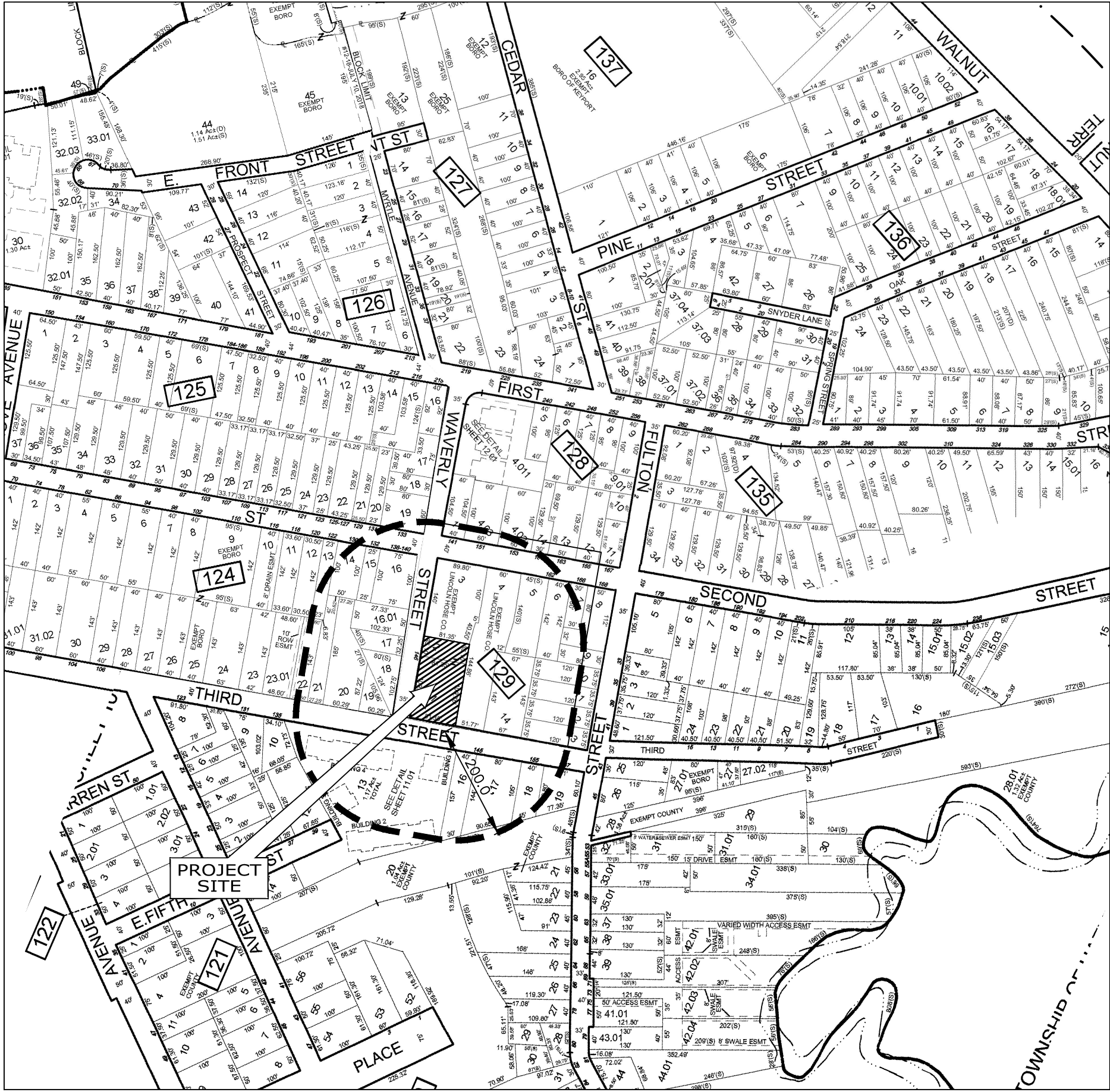


PRELIMINARY & FINAL SITE PLAN
WITH A USE VARIANCE
FOR
146 THIRD STREET, LLC
BLOCK 129 LOT(S) 1 & 2
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NJ



ZONING DATA				
Block 129 Lot 1 & 2 SR				
Zone: RA				
	RA	Existing	Proposed	Variance
Minimum Lot Area	5,000 sf	11,796	No Change	No
Minimum Lot Width	50'	145.0'	No Change	No
Front Yard Setback (Third St)	20	0.4'	19.0	Yes
Front Yard Setback (Waverly)	20	9.0'	21.0'	No
Rear Yard Setback	15	22.4'	18.3	No
Side Yard Setback (One)	6	53.1'	6.0	No
Building Height (Stories)	2.5	1	2.5	No
Building Height (Feet)	30'	—	30.0'	No
Building Coverage	30%	31.8%	38.9%	Yes
All Building & Impervious Surface	60%	100%	65.4%	Yes
Max. Percentage of Front Yard Coverage by Parking	30%	100%	58.8%	Yes

Front Yard Area=3,458 sf

Mean Grade:

15.7
16.0
16.5
16.8
16.2 (Avg)

LOT COVERAGE CALCULATIONS		
Item	Area (sf)	
TOTAL LOT AREA (SF):	11,796	
Item	Existing	Proposed
Building	3,753	4,592
Parking Lot/Side Walks	8,043	
Driveways		1,560
Front Walks		473
Decks		1,090
Building Coverage	3,753	4,592
Building & Impervious Surface	11,796	7,715
	100.0%	65.4%

INDEX OF SHEETS	
SHEET	DESCRIPTION
1	Cover Sheet
2	Existing Conditions & Site Plan
3	Lighting Plan
4	Details

Site Plan of: 146 Third Street LLC
Block: Block 129 Lot 1 & 2 Zone RA
Borough of Keyport, NJ
Owner/Applicant: 146 Third Street, LLC
184 South Monner Court
Wall, NJ 07719

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD

(Owner) (Date)

I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT

(David J. Egarian, P.E.) NJ License No. 24GE02622900

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION

(Date) (Municipal Engineer)

APPROVED BY PLANNING BOARD:

Preliminary:

Final:

(Date) (Chairman)

PROJECT DESCRIPTION

This project entails the removal of a single story structure, asphalt parking lot area, gravel parking area and other associated walkways to allow for the construction of a new six (6) unit townhouse building, associated driveways, walkways, decks and patios.

This project is not within a Flood Hazard Area
Reference: FEMA Map No. 34013C0118F Dated 06/04/2007

GENERAL NOTES

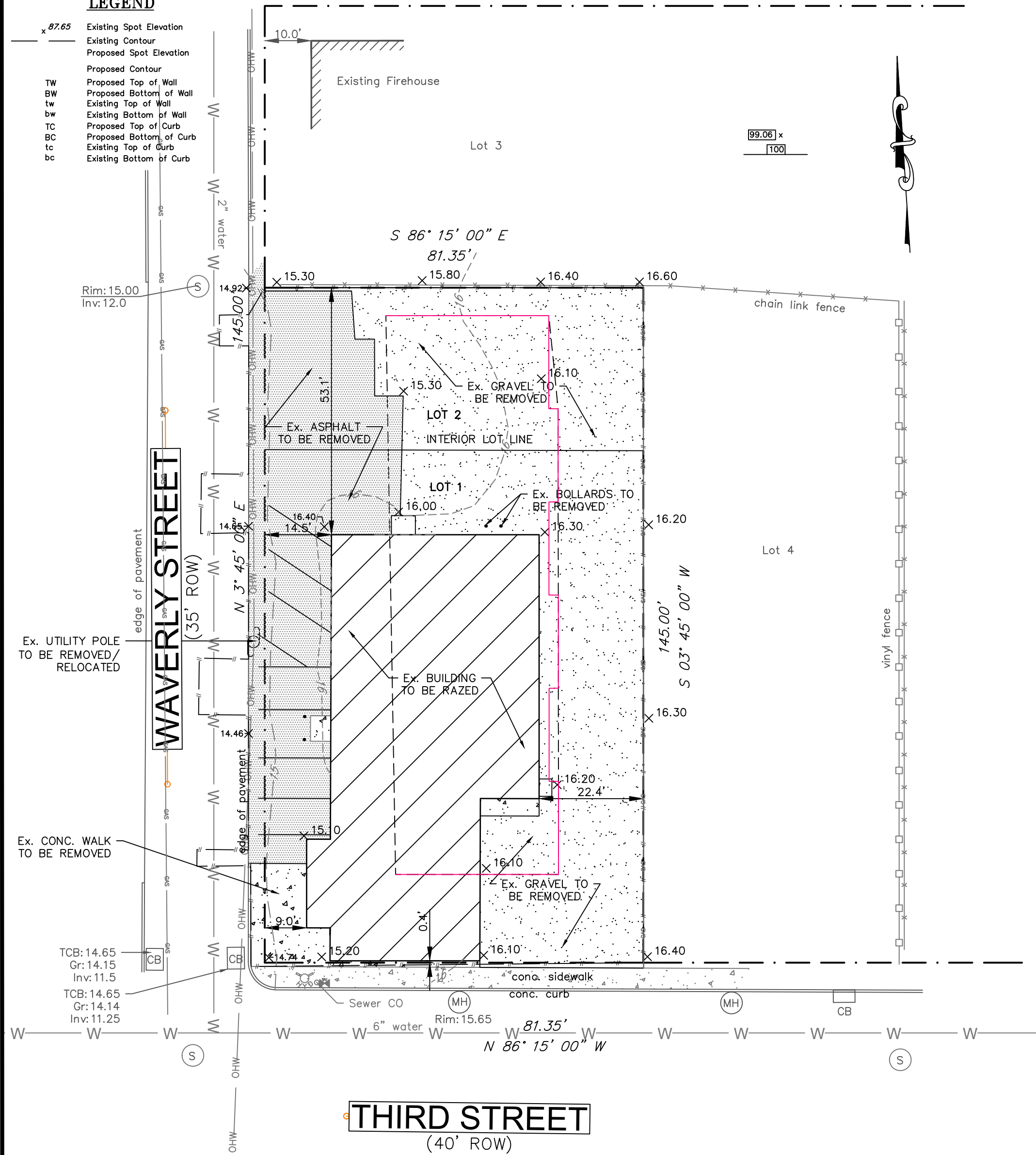
1. THE SUBJECT PROPERTY IS KNOWN AS LOTS 1 & 2 IN BLOCK 129 AS SHOWN ON SHEET 12 OF THE OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY.
2. THE PROPERTY IS LOCATED IN THE RA ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 11,766 SF.
3. THE PROJECT LOCATION IS PRESENTLY OCCUPIED BY A SINGLE STORY STRUCTURE WITH ASSOCIATED ASPHALT AND GRAVEL PARKING AREAS.
4. SUBJECT PROPERTY IS NOT LOCATED IN THE FLOOD HAZARD AREA PER THE FLOOD INSURANCE RATE MAP 34025C0037F — EFFECTIVE DATE SEPTEMBER 25, 2009.
5. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HERON, IS NOT A SURVEY.
6. UTILITY FOOTPRINT DIMENSIONS SHOWN ARE APPROXIMATE. FINAL UTILITY ENCLOSURE FOOTPRINT(S) & DIMENSIONS SHALL BE FURNISHED ON THE INDIVIDUAL VENDOR PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC.
8. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS.
9. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM EXISTING SURVEY INFORMATION AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
10. THIS PLAN DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
12. THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE AND FEDERAL NOISE REGULATIONS.

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF D.J. EGARIAN & ASSOCIATES, INC. CERTIFICATE OF AUTHORIZATION: 24GA28060300	PER PRELIMINARY SITE PLAN, WAIVERS AND VARIANCE CHECKLIST; PER ENGINEERING COMMENT LETTER DATED 04.29.25		06.24.25	DJE	DESIGNER: DJE DRAWN BY: DJE CHECK BY: DJE DATE: 05.14.24 SCALE: NONE PROJECT NO.: 24050	 DAVID J. EGARIAN, P.E. N.J. LIC. NO. 24GE02622900	 DJ EGARIAN & ASSOCIATES Inc. Civil/Mechanical/ Environmental Engineering Services 271 Route 46 Suite G208, Fairfield, NJ 07004 Ph:(973)898-1401 Fax:(862)702-3017 www.djegarian.com	COVER SHEET FOR 146 THIRD STREET LLC BLOCK 129 LOTS 1 & 2 BOROUGH OF KEYPORT MONMOUTH COUNTY, NEW JERSEY	DRAWING NO: 1 SHEET 1 OF 4
	REVISION		DATE	APPROVED					

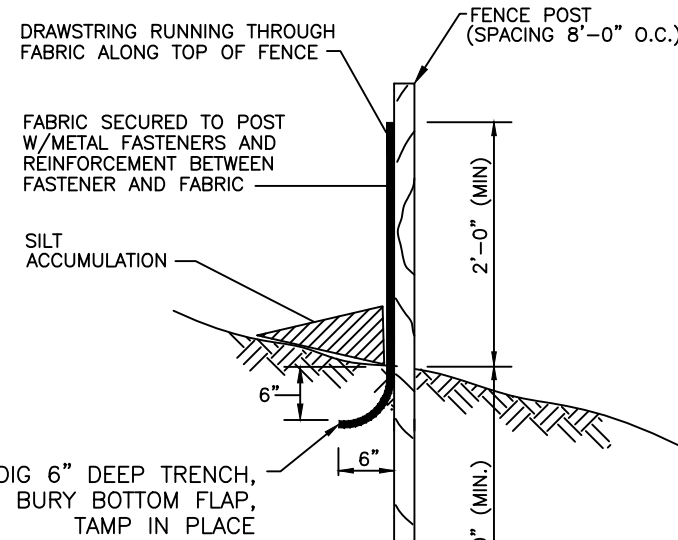
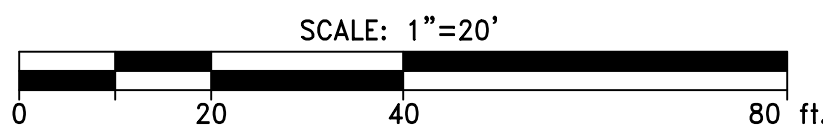
- Existing conditions are representative within this plan set as per the referenced property survey.
- There are no known covenants and/or deed restrictions affecting the site, which have been disclosed to Egarian & Associates. Owner shall validate if required by review agency(s).
- Owner and/or contractor shall obtain all applicable and required approvals, certifications, and permits prior to the commencement of any construction activity.
- Contractor shall retain an Occupational Safety and Health Administration (OSHA) certified site at all times during demolition and construction safety inspector to be present on activities.
- All removed materials during demolition and construction shall be discarded and/or recycled as per suitable standards of the Borough of Keyport.
- No work shall be performed nor disturb adjacent properties (which are not under common ownership) without authorized written consent of adjacent property owner(s); grading and drainage patterns shall not adversely impact adjacent properties.
- Contractor shall be responsible to restore any damages to existing improvements, which are specified to remain, at its expense and to the satisfaction of the owner.
- All contractors shall indemnify and hold harmless Egarian Engineering (to the fullest extent permitted by law) against any damages and liabilities (inclusive of attorney's fees) arising from claims by employees of the contractor(s) in addition to claims connected to the project as a result of not carrying the proper insurance for workers compensation, liability insurance, and limits of commercial general liability insurance.
- Contractor is responsible for road opening permit(s). All traffic control devices shall conform to the latest edition of manual on uniform traffic control devices (MUTCD).
- Existing driveway shall be used for construction access. Install construction access wheel blanket as per plan or if and where directed by Borough engineer / official and/or soil conservation district official (as necessary).
- All limit of disturbance fencing, site fencing and tree protection (and other applicable soil erosion and sediment control measures) must be installed and inspected prior to release of permits.

LEGEND

87.65 Existing Spot Elevation
Existing Contour
Proposed Spot Elevation
Proposed Contour
TW Proposed Top of Wall
BW Proposed Bottom of Wall
TW Existing Top of Wall
BW Existing Bottom of Wall
TC Proposed Top of Curb
BC Proposed Bottom of Curb
tc Existing Top of Curb
bc Existing Bottom of Curb

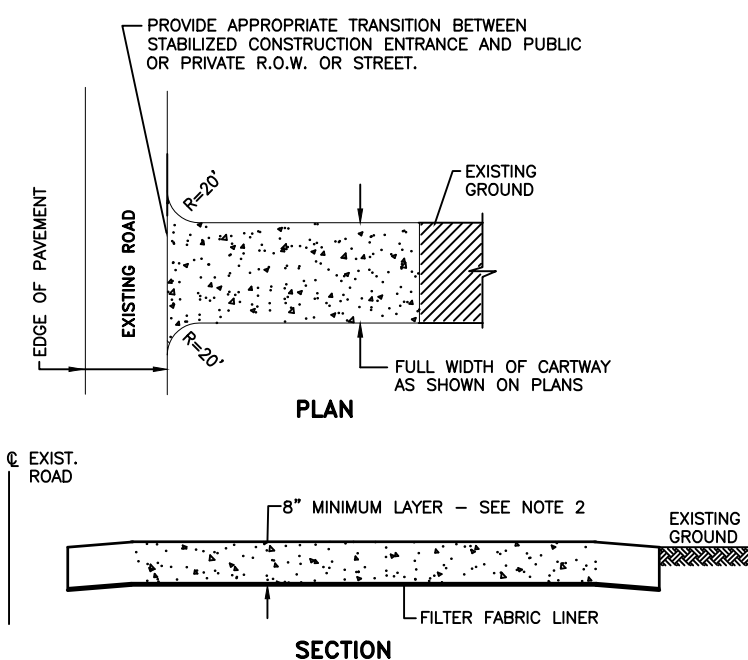


EXISTING CONDITIONS & REMOVAL PLAN



SILT FENCE DETAIL N.T.S.

- REQUIREMENTS FOR SILT FENCE:
- FENCE POSTS SHALL BE SPACED 8 FT. CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
 - A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 - A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH.



SECTION

- NOTES:
- PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION
 - STONE SIZE SHALL BE ASTM C-33, SIZE NO. 2 OR 3, CLEANED CRUSHED ANGULAR STONE
 - THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN 8"
 - WIDTH - NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROWWAY MUST BE REMOVED IMMEDIATELY.

TRACKING PAD DETAIL N.T.S.

ZONING DATA

Block 129 Lot 1.01 SR
Zone: RA

	RA	Existing	Proposed	Variance
Minimum Lot Area	5,000 sf	11,796	No Change	No
Minimum Lot Width	50'	145.0'	No Change	No
Front Yard Setback (Third St)	20	0.4'	19.0	Yes
Front Yard Setback (Waverly)	20	9.0'	21.0'	No
Rear Yard Setback	15	22.4'	18.3	No
Side Yard Setback (One)	6	53.1'	6.0	No
Building Height (Stories)	2.5	1	2.5	No
Building Height (Feet)	30'	-	30.0'	No
Building Coverage	30%	31.8%	38.9%	Yes
All Building & Impervious Surface	60%	100%	65.4%	Yes
Max. Percentage of Front Yard Coverage by Parking	30%	100%	58.8%	Yes

Front Yard Area=3,458 sf
Proposed Driveways: 1,560 sf
Proposed Walkways: 473 sf
TOTAL: 2,033 SF.....58.8%

LOT COVERAGE CALCULATIONS

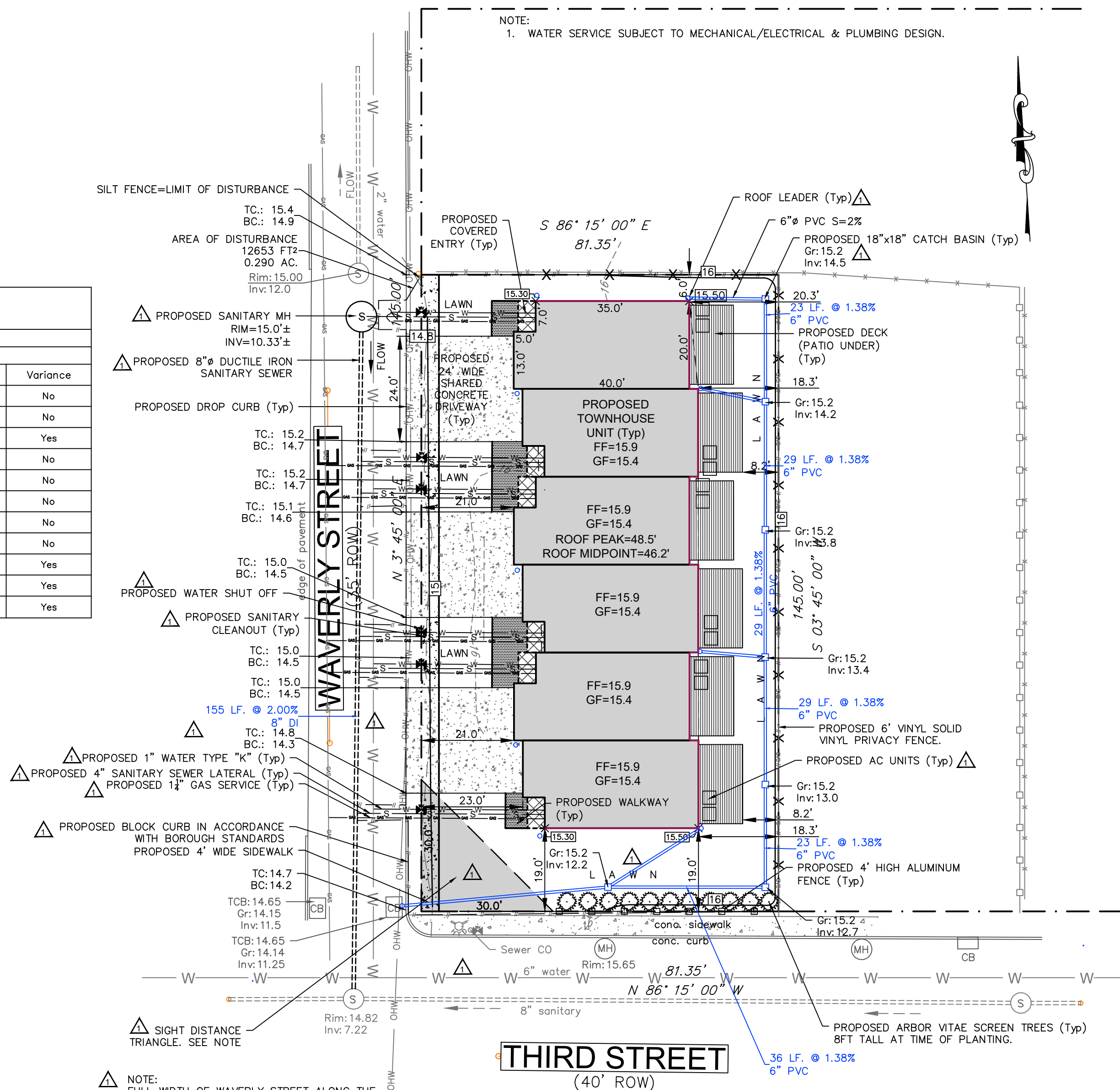
Item	Area (sf)	
TOTAL LOT AREA (SF):	11,796	
Item	Existing	Proposed
Building	3,753	4,592
Parking Lot/Side Walks	8,043	1,560
Driveways		473
Decks		1,090
Building Coverage	3,753	4,592
	31.8%	38.9%
Building & Impervious Surface	11,796	7,715
	100.0%	65.4%

NOTES:

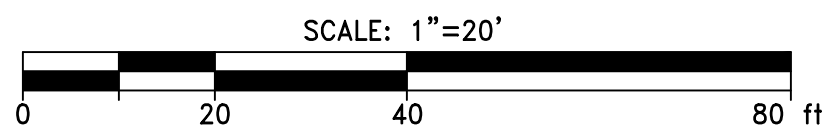
- EXISTING BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY MICHAEL ROMAN DATED 02.22.24. DATUM NAVD 1988.
- OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN.
- ALL EXCESS SOIL SHALL BE REMOVED FROM THE PROPERTY.
- ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED GROUND SHALL BE PROTECTED FROM DECAY BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1
- NO OBSTRUCTION TO VISION EXCEEDING 30 INCHES IN HEIGHT ABOVE THE ESTABLISHED GRADE OF THE STREET AT THE PROPERTY LINE SHALL BE ERRECTED OR MAINTAINED WITHIN THE TRIANGLE FORMED BY THE STREET LOT LINES AND A LINE DRAWN BETWEEN POINTS ALONG SUCH STREET LOT LINES 30' FROM THE POINTS OF INTERSECTION.
- SANITARY PIPE SHALL BE DUCTILE IRON CLASS 53; DOUBLE CEMENT LINED; PUSH ON JOINTS; MECHANICAL JOINT FITTINGS; ANSI/AWWA C151/A21.5, A21.4, A21.51 ASPHALT COATING

LEGEND

87.65 Existing Spot Elevation
Existing Contour
Proposed Spot Elevation
Proposed Contour
TW Proposed Top of Wall
BW Proposed Bottom of Wall
TW Existing Top of Wall
BW Existing Bottom of Wall
TC Proposed Top of Curb
BC Proposed Bottom of Curb
tc Existing Top of Curb
bc Existing Bottom of Curb



SITE PLAN & GRADING PLAN



THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.		PER ENGINEERING COMMENT LETTER DATED 04.29.25		06.24.25	DJE	DESIGNER: DJE DRAWN BY: DJE CHECK BY: DJE DATE: 05.14.24 SCALE: 1" = 20' PROJECT NO.: 24050	 DAVID J. EGARIAN, P.E. N.J. LIC. NO. 24GE02622900	 DJ EGARIAN & ASSOCIATES Inc. Civil/Mechanical/Environmental Engineering Services 271 Route 46 Suite G208, Fairfield, NJ 07004 Ph:(973)898-1401 Fax:(862)702-3017 www.djegarian.com	EXISTING CONDITIONS & SITE PLAN FOR 146 THIRD STREET LLC BLOCK 129 LOTS 1 & 2 BOROUGH OF KEYPORT MONMOUTH COUNTY, NEW JERSEY	DRAWING NO: 2 SHEET 2 OF 4
THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF D.J. EGARIAN & ASSOCIATES, INC.		CERTIFICATE OF AUTHORIZATION: 24GA28060300		REVISION		DATE				

Reference Ordinance #2022-18

§ 25-1-14.7 Outdoor Lighting Regulations.

a. Purpose. The regulation of outdoor lighting is necessary to prevent glare, light trespass (nuisance light) and/or sky glow from misdirected or excessive artificial light emanating from inappropriate or misdirected light fixtures and to discourage the waste of electricity and to improve or maintain nighttime public safety, utility and security.

b. Definitions. The following words and terms, when used in this section, shall have the following meanings, unless the context clearly indicates otherwise:

ARTIFICIAL LIGHT SOURCE A man-made thing or object from which light originates.

FOOTCANDLE —A unit of measurement of illuminance (one footcandle equals one lumen per square foot of area).

GLARE —Illuminance within the visual field of a human eye which is sufficiently greater than the intensity of illuminance to which the eye is adapted that it causes annoyance, discomfort, nuisance, and/or loss in visual performance and visibility.

ILLUMINANCE —The total amount (density) of visible light incident upon (i.e., illuminating) a point of a surface from all directions above the surface measured in footcandles (note: the "surface" may be a part, or all, of a physical object or an imaginary plane).

ILLUMINATION —See lighting.

LIGHT FIXTURE —An electrically powered lighting device consisting of a lamp, a lamp holder, an electrical ballast (if necessary), and the means for connecting the device to an electrical power source.

LIGHT TRESPASS —Any form of illumination emanating from a light fixture or light source whether internally or externally illuminated on a property that penetrates another property and creates a nuisance, annoyance, or glare.

LIGHTING —The deliberate utilization of one or more artificial light sources to achieve an aesthetic or intended effect.

LUMEN —Measurement of light output. One lumen is equal to the amount of light emitted by one candle that falls on one square foot of surface located one foot away from the candle.

OUTDOOR LIGHTING —The lighting of areas exterior to the walls of enclosed buildings and/or within structures having open or partially open walls such as canopies, pavilions, gazebos, etc., artificial light sources and/or light fixtures.

c. Design Standards— Residential Dwellings. All outdoor lighting fixtures serving residential dwellings shall comply with the requirements specified in this section:

1. All outdoor light fixtures serving one- and two-family dwellings and having initial light outputs greater than 1,500 lumens shall be of a type which provides a luminaire that is recessed or enclosed within the fixture so as to eliminate sky glow and glare. Light fixtures with initial light outputs less than 1,500 lumens, such as decorative porch lights, wall sconces, post top lanterns and walkway fixtures, may contain lamps and glass/plastic diffusing devices that extend beyond the opaque fixture enclosure. All outdoor fixtures shall comply with the requirements as specified below:

(a) All outdoor lighting shall be of a soft or glare-free type and shall not cast an illumination color which shall be distractive, obliterate, or obscure the view, or be ultraviolet, strobic, pulsating, flashing, travel, or of any unnatural kind.

(b) Light distributions generated by light fixtures shall be confined to the property on which they are installed. The maximum vertical illumination, when measured from any point on an adjacent property line at a height of five feet and facing the light fixture(s), shall be no greater than 0.1 vertical footcandles.

(c) Outdoor light fixtures properly installed and maintained shall be directed so that there will not be any direct glare source visible from any adjacent residential property. No outdoor lighting or outdoor light fixtures at any property shall be permitted where such create light trespass.

(d) Pole-mounted lighting fixtures shall not exceed 16 feet (base plus pole) in height.

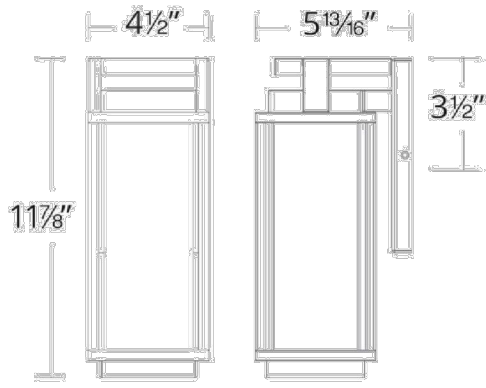
(e) Light fixtures installed within any setback area, including front, rear or side yard setbacks, shall contain shielding devices to prevent light spill and glare upward and onto adjacent properties.

(f) Accent lighting used to enhance the architectural features, materials, color, style of buildings, landscaping, or art shall be located, aimed and shielded so that light is directed only on those features. Such fixtures shall be aimed or shielded to minimize light spill into the dark sky or cause glare or direct light beyond the facade onto a neighboring property or streets.

2. Any developer constructing new residential dwellings in the Borough shall provide the owner of the home with a copy of § 25-1-14.7(c), which addresses residential lighting standards.

GENERAL LIGHTING NOTES

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS, CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.9 FOR ALL LED LUMINAIRES AND 0.72 FOR METAL HALIDE LUMINAIRES.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS. THESE PLANS ARE TO BE USED FOR LIGHTING PURPOSES ONLY.
- LUMINAIRES, POLES AND MOUNTS ARE TO BE BLACK, AND WALL SCONCES ARE TO BE WHITE.
- POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BEHIND CURBS OR IN CAR PARKING AREAS.
- POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT.
- LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND SEALED BY A NJ LICENSED ENGINEER.
- ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- THIS PLAN EXCLUDES EMERGENCY LIGHTING ABOVE DOORWAYS.
- THIS PLAN EXCLUDES SOFFIT LIGHTS.



WS-W41912

Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Two If By Sea

WS-W41912

PRODUCT DESCRIPTION

Take shelter from the storm. Like a hard rainfall on the window panes, timeless inspiration is melded with modern technology to create a stunning LED luminaire. Beautiful light diffuses through clear hammered mouth blown glass for a soft glow on all sides of this geometric wall sconce. Crafted from extruded aluminum and wet rated for outdoor use, this piece is guaranteed to make a grand first impression.

FEATURES

- ACLED driverless technology
- Clear mouth-blown hammered glass
- Down light illumination

SPECIFICATIONS

Rated Life	54000 Hours
Standards	ETL, cETL Wet Location Listed, IP65, Title 24 JAB: 2019 Compliant
Input	120 VAC, 50/60Hz
Dimming	ELV: 100-10%, TRIAC: 100-10%
Color Temp	3000K
CRI	90
Construction	Aluminum hardware, Clear, hammered, mouth-blown glass

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W41912 12"	3000K	Black	15W	1200	919

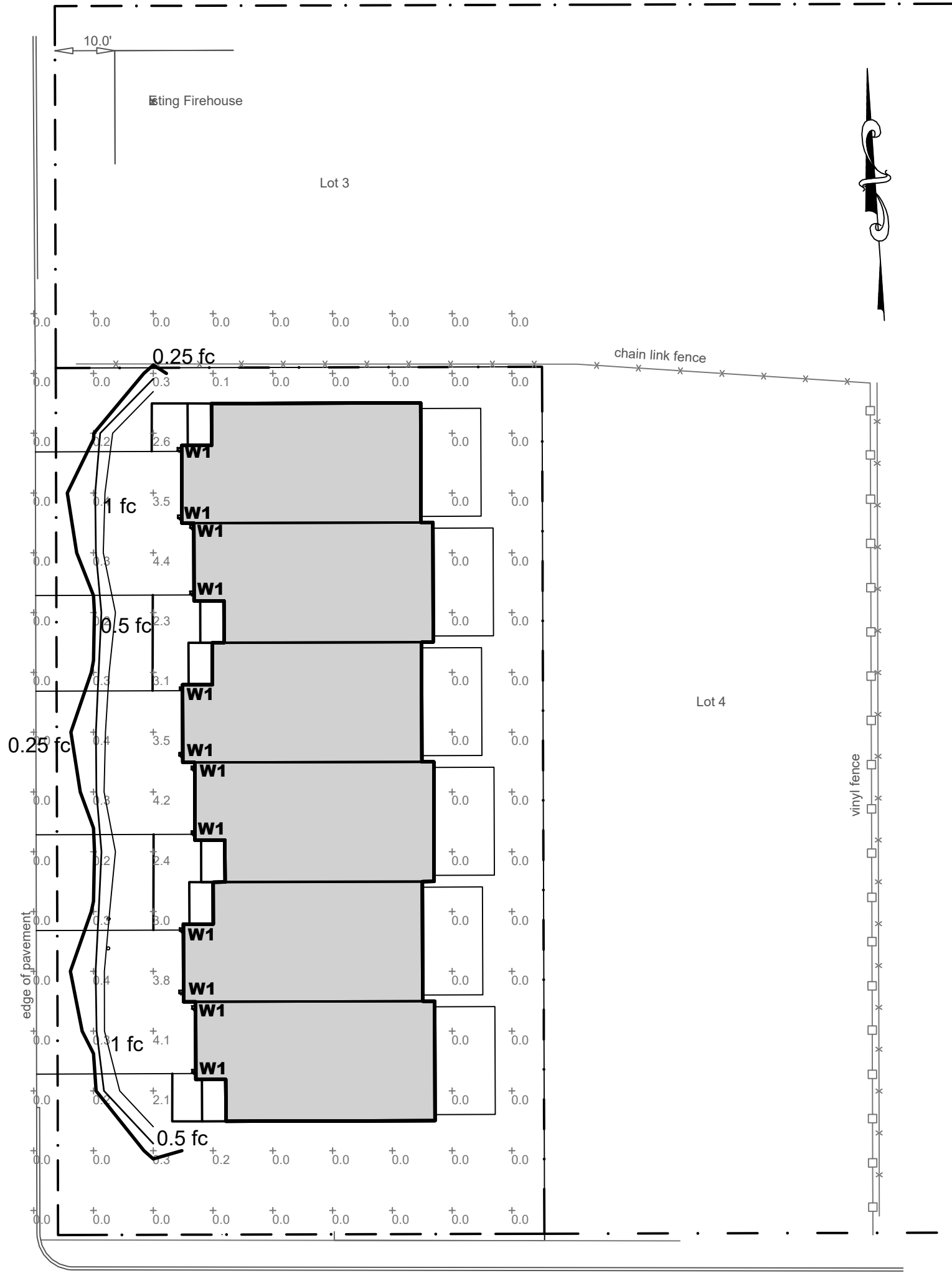
Example: **WS-W41912-BK**
For custom requests please contact customs@modernforms.com

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Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

MODERN FORMS

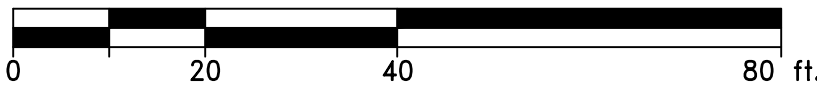
LEGEND

- Existing Spot Elevation
- Existing Contour
- Proposed Spot Elevation
- Proposed Contour
- TW Proposed Top of Wall
- BW Proposed Bottom of Wall
- tw Existing Top of Wall
- bw Existing Bottom of Wall
- TC Proposed Top of Curb
- BC Proposed Bottom of Curb
- tc Existing Top of Curb
- bc Existing Bottom of Curb



LIGHTING PLAN

SCALE: 1"=20'



DIVERSIFIED GRP LUMINAIRE SCHEDULE

Qty	Type	Arrangement	Symbol	Manufacturer	Light Fixture Spec	CCT	Lum. Lumens	LLF	Lum. Watts	Arr. Watts	Mounting AFG (FT)
12	W1	Single		MODERN FORMS	WS-41912-BK	3000K	931	0.900	15.0397	15.04	7

DIVERSIFIED GRP CALCULATON SUMMARY

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVEWAYS	Illuminance	Fc	1.80	4.4	0.2	9.00	22.00

DIVERSIFIED GROUP
55 LANE ROAD
FAIRFIELD, NJ 07004
LIGHTING DESIGNER: MATTHEW STERNER
PHONE: (908) 907-8462
EMAIL: MSTERNER@DIVGRP.COM

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CERTIFICATE OF AUTHORIZATION: 24GA28060300

REVISION

DATE APPROVED

DESIGNER: JDE
DRAWN BY: JDE
CHECK BY: DJE
DATE: 05.14.24
SCALE: 1" = 20'
PROJECT NO.: 24050

DAVID J. EGARIAN, P.E.
N.J. LIC. NO. 24GE02622900

DJ EGARIAN & ASSOCIATES Inc.
Civil /Mechanical/ Environmental Engineering Services
271 Route 46 Suite G208, Fairfield, NJ 07004
Ph:(973)898-1401 Fax:(862)702-3017 www.djegarian.com

LIGHTING PLAN
FOR
146 THIRD STREET LLC
BLOCK 129 LOTS 1 & 2
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY

DRAWING NO:

3

SHEET 3 OF 4

