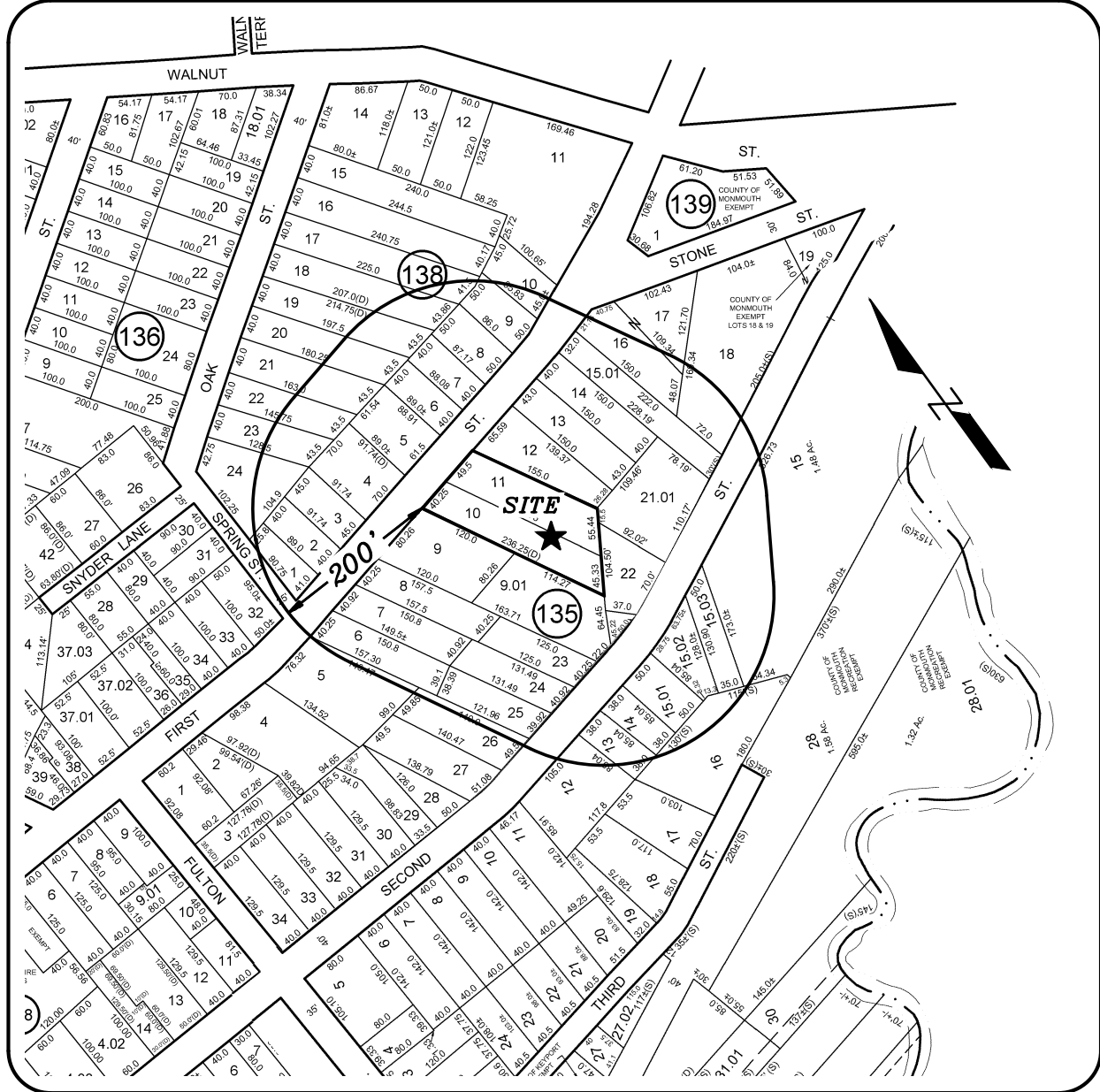




TAX MAP SHEET NO'S. 11 & 12
SCALE: 1" = 200' ±

LIST OF UTILITIES WHICH SERVICE THE BOROUGH OF KEYPORT, NJ
WITH MAILING ADDRESSES AS OF JULY 1, 2013

BELL ATLANTIC/ VERIZON
1005 AVE OF THE AMERICAS
ROOM 3137
NEW YORK, NY 10036

MONMOUTH COUNTY DEPT. OF
TRANSPORTATION
ROUTE 79 & DANIELA WAY
FREEHOLD, NJ 07728

MONMOUTH COUNTY PLANNING BOARD
HALL OF RECORDS ANNEX
1 EAST MAIN ST.
FREEHOLD, NJ 07728

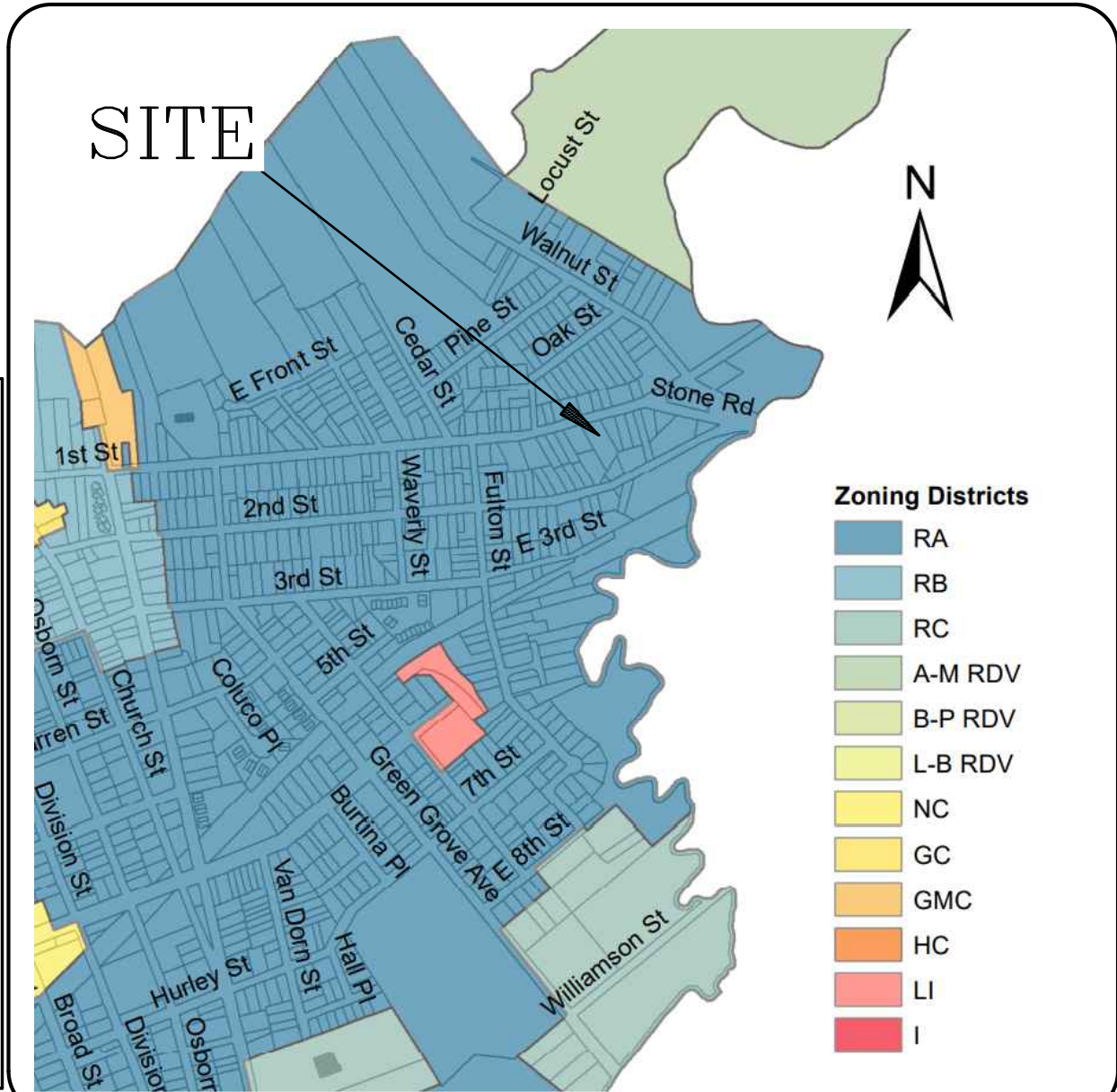
JCP&L Real Estate Department
P.O. Box 1911
Morristown, NJ 07962

NEW JERSEY NATURAL GAS COMPANY
1415 WYCKOFF ROAD
WALL, NJ 07719

CABLEVISION
275 CENTENNIAL AVENUE/ CN 6805
PISCATAWAY, NJ 08855-6805

BOROUGH OF KEYPORT
WATER/SEWER DEPARTMENT
70 WEST FRONT STREET
KEYPORT, NJ 07735
ATTN: SCOTT HICKS

ZONING MAP
SCALE: 1" = 750' ±



PROPERTY OWNERS WITHIN 200'

OWNER & ADDRESS REPORT						
KEYPORT 135 10 & 11 02/04/22 Page 1 of 3						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Adm'L. L. Notes
134	12		2	COUN. HEATHER F KEYPORT, NJ	210 SECOND	
134	13		2	PAUL DOUGLAS STREET KEYPORT, NJ	216 SECOND ST	
134	14		2	JUNIOR CHURCH, LLC 1010 W 1ST STREET 1A KENNELL PARK, NJ	200 SECOND	08804
134	15		150	UNIVERSITY OF KEYPORT 70 WEST FRONT STREET KEYPORT, NJ	SECOND	
134	15.01		2	USARLLO, ANNE 224 SECOND STREET KEYPORT, NJ	224 SECOND	
134	15.02		2	WELSH, JOHN J 216 SECOND ST KEYPORT, NJ	226 SECOND	
134	15.03		1	SMITH, JOHN B 208 SECOND STREET KEYPORT, NJ	SECOND	
135	5		2	IRANIAN, BOBBY & MICHELLE 208 FIRST STREET KEYPORT, NJ	206 FIRST	
135	6		2	MULTI-FAMILY ENTER 2, S. MATTHEW S. 206 FIRST ST KEYPORT, NJ	210 FIRST	
135	7		2	KORDEY, BONNIE 206 FIRST STREET KEYPORT, NJ	206 FIRST	
135	8		2	MATTHEW, JOHN L. JR. 206 FIRST STREET KEYPORT, NJ	208 FIRST	
135	9		2	BOYLE, DANIELLE 206 FIRST STREET KEYPORT, NJ	302 FIRST	
135	9.01		2	KORDEY, JOE & PAUL C 206 SECOND ST KEYPORT, NJ	222 SECOND ST	
135	10		2	BECKCOGLU REAL ESTATE INVESTMENTS L 310 FIRST STREET KEYPORT, NJ	L-11	
135	12		2	BARCEL, DEBORAH & KATHA 206 FIRST STREET KEYPORT, NJ	304 FIRST	
135	13		2	BECKCOGLU, RONALD E 206 FIRST STREET KEYPORT, NJ	306 FIRST	
135	14		2	WELSH, JAMES W 206 FIRST STREET KEYPORT, NJ	300 FIRST	
135	15.01		2	USARLLO, ANNE 224 SECOND STREET KEYPORT, NJ	332 FIRST	
135	16		2	WELSH, LISA & MICHAEL 206 FIRST STREET KEYPORT, NJ	334 FIRST	

OWNER & ADDRESS REPORT						
KEYPORT 135 10 & 11 02/04/22 Page 2 of 3						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Adm'L. L. Notes
135	21.01		2	TYLER INVESTMENTS LLC 84 STILLWELL RD KEYPORT, NJ	202 SECOND STREET	
135	22		2	BROWN, CLOUTIER & FELICIA 202 SECOND STREET KEYPORT, NJ	207 SECOND STREET	
135	22.01		150	BOROUGH OF KEYPORT 70 WEST FRONT ST KEYPORT, NJ	SECOND	
135	23		2	STALLAK, RONALD E 206 SECOND STREET KEYPORT, NJ	210 SECOND	
135	24		2	PANABARE, ROBERTOS & STEPHANIE J 206 SECOND STREET KEYPORT, NJ	215 SECOND	
135	25		2	UNIVERSITY OF KEYPORT 70 WEST FRONT ST KEYPORT, NJ	211 SECOND	
135	25.01		150	BOROUGH OF KEYPORT 70 WEST FRONT ST KEYPORT, NJ	SECOND	
136	30		2	KORDEY, BONNIE & MICHELLE 206 FIRST ST KEYPORT, NJ	202 FIRST	
136	1		2	SUGARY, HARRIET R & MATTHEW 206 FIRST ST KEYPORT, NJ	209 FIRST	
136	2		2	BARCEL, DEBORAH 206 FIRST ST KEYPORT, NJ	203 FIRST ST	
136	3		2	ROBERTS, RICHARD W & GLENDA P 206 FIRST ST KEYPORT, NJ	209 FIRST	
136	4		2	HARRISON, ELEANOR H 206 FIRST ST KEYPORT, NJ	305 FIRST	
136	5		2	DOYLE, DANIEL 206 FIRST ST KEYPORT, NJ	309 FIRST	
136	6		2	WELSH, WILLIAM ANDREW & ALLISON S 215 FIRST STREET KEYPORT, NJ	315 FIRST	
136	7		2	FIRST ST KEYPORT, LLC 225 SECOND STREET KEYPORT, NJ	310 FIRST	
136	8		2	STERNBERG, LAWRENCE C & VEROY C 206 FIRST ST KEYPORT, NJ	325 FIRST	L9
136	10		2	STERNBERG, JACQUELINE 206 FIRST ST KEYPORT, NJ	329 FIRST ST	
136	17		2	MOORE, ROBERT & BRUNELLE BARBARA A 41 OAK ST KEYPORT, NJ	41 OAK	
136	18		2	ALVAREZ, RAUL R 41 OAK STREET KEYPORT, NJ	41 OAK	

OWNER & ADDRESS REPORT						
KEYPORT 135 10 & 11 02/04/22 Page 3 of 3						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Adm'L. L. Notes
136	19		2	PALOMO, ROBERT N. & GAIL K 20 OAK ST KEYPORT, NJ	30 OAK	
136	20		2	CHANDLER, THOMAS HARRY 20 OAK STREET KEYPORT, NJ	37 OAK STREET	
136	21		2	DEY, CAROL R. JR & COTTELL, JUDITH S 715 CHARLES STREET FREEHOLD, NJ	08861	
136	22		2	WELSH, JAMES 20 OAK STREET KEYPORT, NJ	35 OAK	
136	23		2	STERNBERG, WILLIAM R III & CARRIE 20 OAK STREET KEYPORT, NJ	25 OAK	
136	24		2	BROWN, LESTER C. & VERA L. 10 OAK KEYPORT, NJ	10 OAK	

RA RESIDENTIAL DISTRICT A REQUIREMENTS (CH. 25-1-5)

	REQUIRED	PROVIDED		VARIANCE REQ.
		LOT 10.01	LOT 11.01	
MINIMUM LOT AREA	5,000 S.F.	5,329.63 S.F.	11,483.13 S.F.	NO
MINIMUM LOT WIDTH	50 FT	64.39 FT	25.00 FT	YES (1)
FRONT YARD	20 FT	15.0 FT	17.21 FT (BALCONY)	+ / NO
SIDE YARD (ONE/BOTH)	6/16 FT	3.4 FT / 26.9 FT	12.50 FT / 40.07 FT	+ / NO
REAR YARD	15 FT	33.2 FT	20.65 FT	NO
BUILDING COVERAGE	30%	18.8% (1,000 S.F.)	13.1% (1,504 S.F.)	NO
LOT COVERAGE	60%	23.5% (1,254 S.F.)	29.8% (3,420 S.F.)	NO
HEIGHT LIMITATIONS	30 FT	15.75 FT	24.83 FT	NO
MAX. BLDG. HEIGHT	2.5 STORIES	2 STORIES	2 STORIES	NO

+ EXISTING NON-CONFORMITY TO REMAIN

OFF-STREET PARKING REQUIREMENTS (N.J.A.C. 5:21 - TABLE 4.4)

MINIMUM REQUIRED:	3 BEDROOM UNIT, 2.0 SPACES PER UNIT 4 BEDROOM UNIT, 2.5 SPACES PER UNIT. TOTAL REQUIRED PARKING: 4.5 SPACES (4)
TOTAL PROPOSED:	4 SPACES (2 MINIMUM PER LOT)

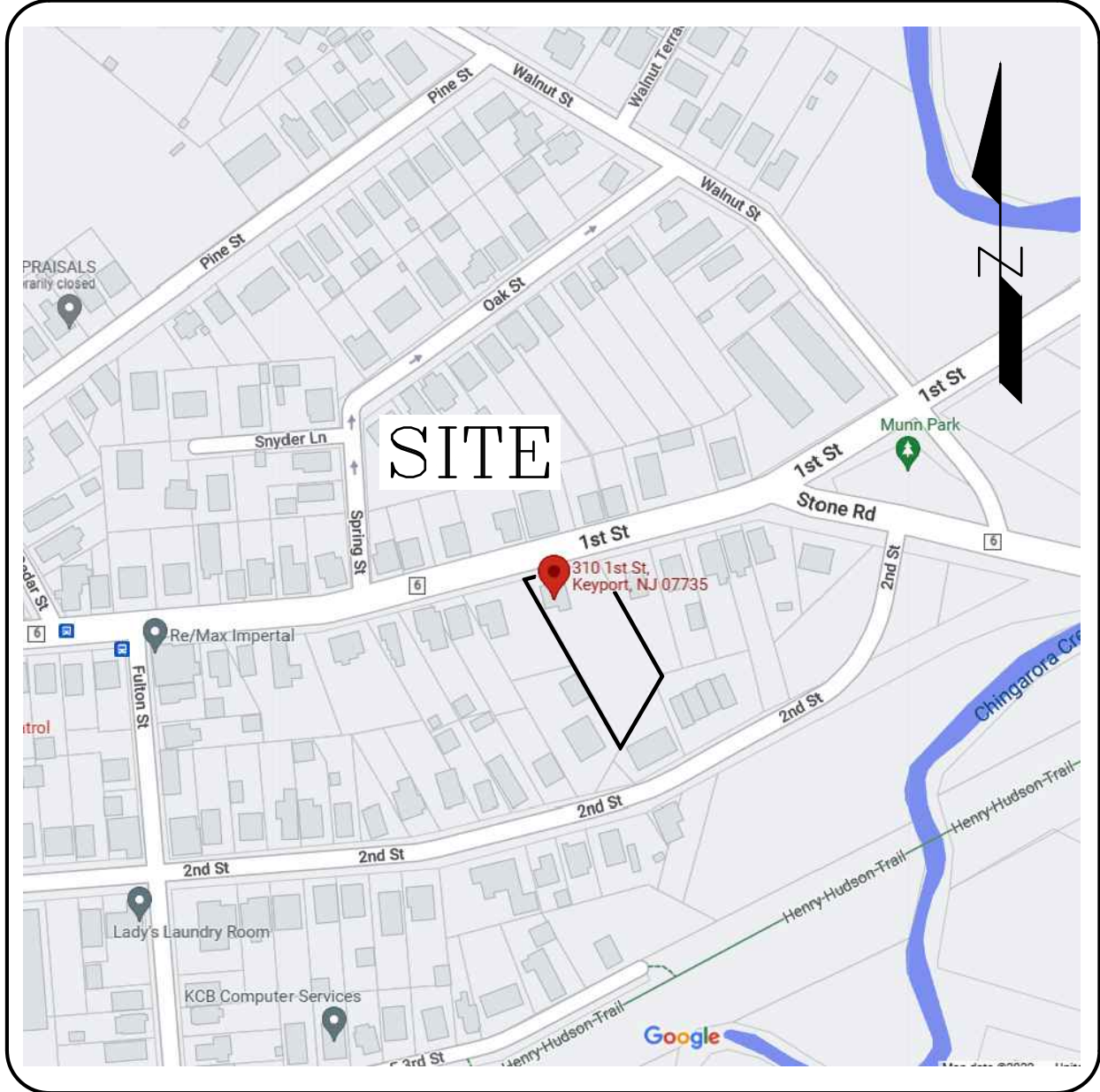
INDEX OF SHEETS

SHEET NO.	DESCRIPTION	DATE	LAST REVISED
1	COVER SHEET	05-12-22	01-18-23
2	EXISTING CONDITIONS PLAN	05-12-22	—
3	LAYOUT, GRADING & UTILITY PLAN	05-12-22	—
4	SOIL EROSION & SEDIMENT CONTROL PLAN NOTES & DETAILS	05-12-22	—
5	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	05-12-22	—

UTILITY NOTES

- EXISTING UTILITY INFORMATION IS BASED ON INFORMATION OF RECORD AND HAS BEEN GATHERED FROM NUMEROUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND REQUEST A MARKOUT BY CONTACTING N.J. ONE-CALL AT (800) 272-1000. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.

APPLICANT:
BECKOGLU REAL ESTATE
203 ATLANTIC STREET
KEYPORT, NJ 07735
TEL: (848) 218-8406



KEY MAP
SCALE: 1" = 200' ±

GENERAL NOTES

- SITE IS KNOWN AS BLOCK 135, LOT 10 & 11 AS DEPICTED ON SHEET 12 OF THE BOROUGH OF KEYPORT TAX MAPS. TOTAL LOT AREA IS 5,162.5 S.F. (0.119 ACRES).
- OWNER/APPLICANT: BECKOGLU REAL ESTATE
203 ATLANTIC AVENUE
KEYPORT, NJ 07735
TEL: (848) 218-8406
- OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "TOPOGRAPHIC PLAN, 310 FIRST STREET, LOT 10 & 11, BLOCK 135, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY CHARLES SURMONTE, P.E. & P.L.S., DATED FEBRUARY 8, 2022.
- HORIZONTAL DATUM BASED ON DEED NORTH. VERTICAL DATUM BASED ON NAVD '88 DATUM.
- THE APPLICANT PROPOSES TO SUBDIVIDE THE LOT IN ORDER TO CONSTRUCT A SECOND DWELLING ON THE PROPERTY. THE EXISTING DWELLING WILL REMAIN.
- THE SITE IS NOT LOCATED WITHIN A REGULATES F.E.M.A. FLOOD HAZARD AREA AS DEPICTED ON COMMUNITY PANEL No. 34025C0029F, EFFECTIVE DATE SEPTEMBER 25, 2009.
- THE PROPERTY IS LOCATED WITHIN THE RA "RESIDENTIAL DISTRICT A" ZONE.
- DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES, ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED.
- THE SITE IS PRESENTLY SERVED BY PUBLIC WATER & SEWER. NEW BUILDING TO HAVE PUBLIC WATER & SEWER CONNECTIONS.
- CONSTRUCTION OF SITE IMPROVEMENTS AND BUILDINGS SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, TOWNSHIP DESIGN STANDARDS, AND NOISE CODE.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- THE OWNER IS RESPONSIBLE FOR SITE SAFETY. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).
- UPON ISSUANCE OF CONSTRUCTION DOCUMENTS, IT IS EXPLICITLY UNDERSTOOD THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.
- THESE PLANS DEPICT VARIOUS IMPROVEMENTS TO BE LOCATED ON THE PROPERTY IN QUESTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE THAT SAID IMPROVEMENTS ARE STAKED OUT IN THE CORRECT LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, BY RETAINING A NEW JERSEY LICENSED LAND SURVEYOR. THE ENGINEER SHALL NOT BEAR ANY RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF ANY PROPOSED IMPROVEMENTS, SPECIFICALLY IF BUILT IN LOCATIONS OTHER THAN THOSE DEPICTED, OR AT ELEVATIONS THAT DIFFER FROM THE PLAN.

1	01-18-23	REVISED STREET ADDRESS
NO.	DATE	DESCRIPTION
MINOR SUBDIVISION 310 FIRST STREET COVER SHEET		
BLOCK 135, LOTS 10 & 11 TAX MAP SHEET NO. 12		
BOROUGH OF KEYPORT		MONMOUTH COUNTY, NEW JERSEY
EAST POINT ENGINEERING, LLC		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169B00		
DATE: 01-18-23		PROJECT NUMBER: 21-264
SCALE: N/A		CHECKED BY: BNP
DATE: 01-18-23		
MARC S. LEBER N.J. PROFESSIONAL ENGINEER, LICENSE NO. 240604452400 N.J. PROFESSIONAL PLANNER, LICENSE NO. 33100596800		SHEET NO. 1 OF 5