



Borough of Keyport
ZONING OFFICER
70 WEST FRONT ST
P.O. BOX 60
KEYPORT, NJ 07735
(732) 739-5134
DOLSEN@KEYPORTONLINE.COM

Application Date: 8/7/2023
Application Number: ZA-23-222
Permit Number: _____
Project Number: _____

Fee: \$250

Denial of Application

Date: 8/9/2023

To:

, NJ

RE: 222 BROADWAY
BLOCK: 13 LOT: 13 QUAL: ZONE:

DEAR,

RENOVATING BOTH UNITS, HVAC, 2 CONDENSERS, UPDATE ELECTRIC & PLUMBING, REPAIR 2ND FLOOR WALLS & ROOF, CHANGE SIDING, REPAIR FLOORING, ADD BATHROOM ON SECOND FLOOR

Your request is hereby denied based upon the following requirements:

EXPANSION OF A PRE-EXISTING NONCONFORMING USE

The following comments were made during the denial process:

DEAR APPLICANT:

YOUR ZONING APPLICATION HAS BEEN DENIED BASED ON LAND USE REGULATION ORDINANCE. INFORMATION FOR AN APPEAL OF THIS DECISION TO THE PLANNING BOARD CAN BE OBTAINED FROM THE SECRETARY OF THE BOARD. NOTICE OF APPEAL OF THIS DECISION MUST BE FILED WITH THE UNIFIED PLANNING BOARD NO LATER THAN SIXTY-FIVE (65) DAYS FROM THE DATE OF THIS NOTICE.

Sincerely,


DAVID OLSEN, ZONING OFFICER

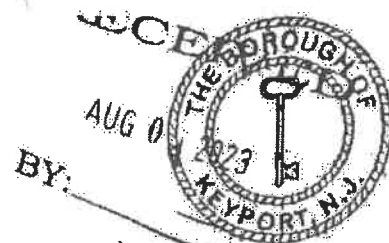


ZONING APPLICATION

Borough of Keyport
70 West Front Street
Keyport, N.J. 07735

P - 732-739-5135 F - 732-739-3479

www.keyportonline.com



Estimated Cost of Work: \$ 50,000

Fee: \$ 250.00

Address of Proposed Work or Use: 222 Broadway

Block: 13

Lot(s): 13

Zone: _____

CN: _____

Owner's Name: Omar Investment LLC / Mahmoud

Telephone: 973-960-9297

Address: 222 Broadway

E-Mail: mwarda@ehil.com

Contractor or Applicant (If different from above) Information:

Name: Kap Build

Telephone: 973-332-8859

Address: 209 Wangue Ave, Pompton Lakes NJ 07442

E-Mail: KapBuild@gmail.com

License #: 13VH05538800

Type of Work and/or Use (Check all that apply):

- ☐ Addition ☒ Renovation ☐ Alteration ☐ Reconstruction ☒ Repair ☐ Flat Work
☐ New Construction ☐ Change of Use ☐ Commencement of Use
☐ Accessory Use/Structure: ☐ Shed ☐ Fence ☐ Other: _____

Size of Property: Lot Area 20,000 Sq Ft. Frontage: 176 Ft Depth: 220 Ft

Principal Building: Type: 2 Gross Floor Area: 2,000 Lot Coverage: 5%

Lot Coverage _____ Percent Building Height: 30 Ft

Accessory Building: Total Area 1500 Rear Yard Set Back 60 Ft Side Yard set back 25

Just Renovation Both unit as is, change to HVAC, 2 condenser
2 Burner, update electrical & Plumbing, repair & straighten 2nd floor
walls & roof. Changing Siding. Repair flooring,
adding 4th Bedroom on 2nd floor.

Owner's Signature: [Signature]

Date: 08/04/23

Keyport Unified Planning Board prior approvals or applications: Has this property, to your knowledge, ever been subject of any prior applications to the Keyport Unified Planning Board? (☒) No (☐) Yes

If yes, provide date(s): _____

Notes:

- 1) All Zoning Permit Applications must be accompanied by a current Property Survey drawn to scale and including locations and distances to property lines of all structures, improvements, proposed work, etc..
- 2) Elevations shall be measured at five (5) separate points five (5) feet out along the entire front façade of the principal structure and around the entire perimeter of accessory structures to determine the average grade for purposes of confirming the structure's height.