PRELIMINARY & FINAL MAJOR SITE PLAN

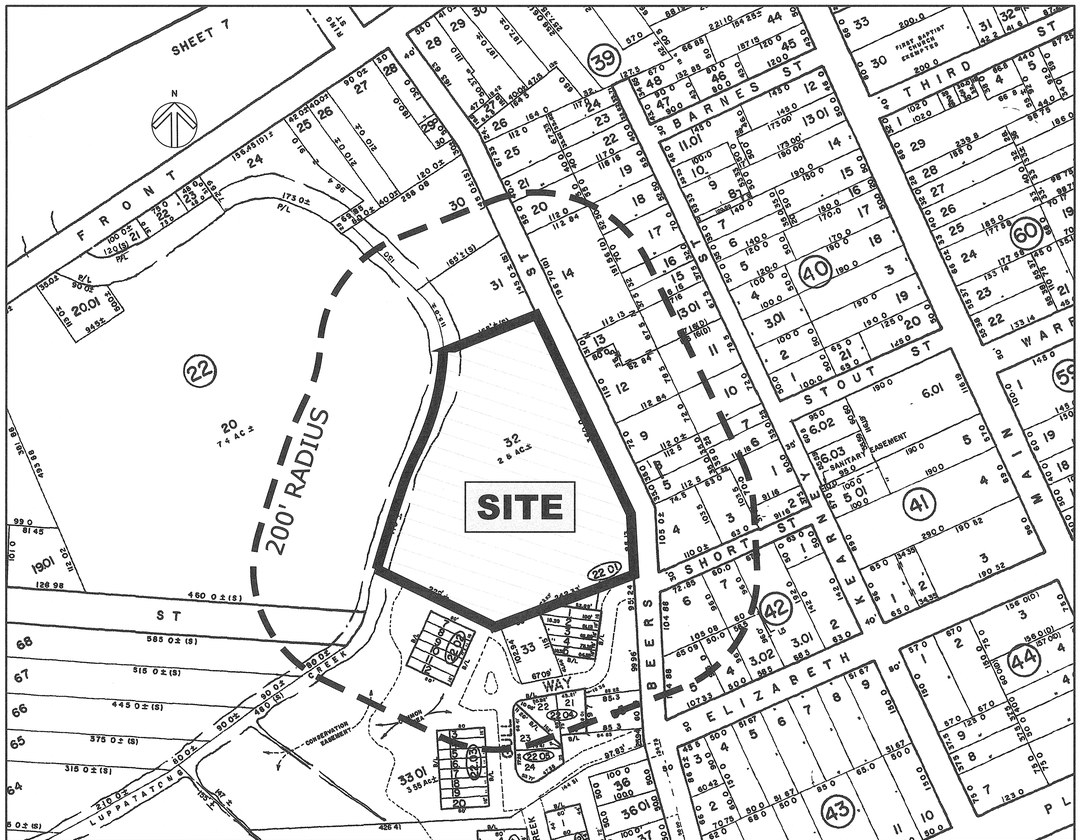
PREPARED FOR:

OYSTER BAY APARTMENTS

LOT 32 OF BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY
TAX MAP SHEET 8

BLOCK	LOT	ADDRESS
22	33	COLORIO, DOREEN & JERRY 6 GULL WAY KEYPORT, NJ 07735
22	33.01	SANDPIPER HOMEOWNERS ASSO % 439 STILLWELLS CORNER RD FREEHOLD, NJ 07728
22	35	BROOKING, DANIEL M & JENINE 114 BEERS STREET KEYPORT, NJ 07735
22	67	METRICK, SUZANNE FAITH 5 LUPPUTATONG AVE KEYPORT, NJ 07735
22	68	CATANZARITE, SHAINA 1 LUPPATATONG KEYPORT, NJ 07735
22.01	1	MARIOCCA, VICTORIA 1 GULL WAY KEYPORT, NJ 07735
22.01	2	PINTO, JOSEPH 2 GULL WAY KEYPORT, NJ 07735
22.01	3	CARDELLA, MICHAEL& ESPOSITO, CATHERINE 3 GULL WAY KEYPORT, NJ 07735
22.01	4	LOPEZ, RAFAEL 4 GULL WAY KEYPORT, NJ 07735
22.01	5	SMITH, STEVEN 5 GULL WAY KEYPORT, NJ 07735
22.02	7	FINNEY, JAMES PATRICK JR 7 GULL WAY KEYPORT, NJ 07735
22.02	8	GILMORE, WILLIAM 2 TARA LIN DR HAZLET, NJ 07730
22.02	9	MCDONALD, DARNELL J&KELLY, CHRISTINE 9 GULL WAY KEYPORT, NJ 07735
22.02	10	PICCINICH, JOSEPH 10 GULL WAY KEYPORT, NJ 07735
22.02	11	MAHONEY, JANET 11 GULL WAY KEYPORT, NJ 07735
22.02	12	INGUAGGIATO, JOS & CAMPBELL, HEATHER 12 GULL WAY KEYPORT, NJ 07735
22.03	13	MIETZ, EILEEN A & RYAN, MICHAEL J 13 GULL WAY KEYPORT, NJ 07735
22.03	14	JACOVINO, DEBORAH 14 GULL WAY KEYPORT, NJ 07735
22.04	21	ADVANI, MAHINDER & BETH 21 GULL WAY KEYPORT, NJ 07735
22.04	22	BOTTGER, ALAN 22 GULL WAY KEYPORT, NJ 07735
22.05	23	RUSSO, MICHAEL F JR 23 GULL WAY KEYPORT, NJ 07735
39	1	MURPHY, JOHN J & MARIE Y 54 KEARNEY STREET KEYPORT, NJ 07735
39	2	KAPLAN, MORDECHAI & GAYLE 58 KEARNY STREET KEYPORT, NJ 07735
39	3	CASSIDY, MARJORIE 16 SHORT STREET KEYPORT, NJ 07735
39	4.01	HILL, CHERYL 14 SHORT KEYPORT, NJ 07735
39	5.01	BURLEW, RYAN 53 BEERS STREET KEYPORT, NJ 07735
39	6	AUMACK, HARRY 52 KEARNEY KEYPORT, NJ 07735
39	8	AUMACK, HARRY M II & MARGARET E 52 KEARNEY STREET KEYPORT, NJ 07735
39	11	SMITH, RITA 36 KEARNEY STREET KEYPORT, NJ 07735
39	12.01	45 BEERS, LLC 5030 SHAPITO ROAD TINTON FALLS, NJ 07724
39	13.01	MINUTELLA, JOSEPH & DOREEN A 34 KEARNY STREET KEYPORT, NJ 07735
39	15	HILA, JOHN & KATHLEEN 30 KEARNEY ST KEYPORT, NJ 07735
39	16	CUTTS, MORGAN L 29 KEARNEY ST KEYPORT, NJ 07735
39	20	MAYS, KYLE LARKEY & SCURA, MARISA 25 BEERS ST KEYPORT, NJ 07735
39	21	EVANS, FRANK & KILLEEN, KASEY 27 BEERS ST KEYPORT, NJ 07735
42	3.01	MARDOZA, DANIEL J III & STEPHANIE 75 ELIZABETH ST KEYPORT, NJ 07735
42	3.02	LYNCH, PATRICK J. 77 ELIZABETH STREET KEYPORT, NJ 07735
42	4	WALKER, THOMAS H & ANNA I 44 WALNUT ST KEYPORT, NJ 07735
42	5	SHAW, MICHAEL G & KATHLEEN H 95 ELIZABETH KEYPORT, NJ 07735
42	6	SHORT ST REALTY, LLC 1430 FOREST AVENUE LAKEWOOD, NJ 08701
42	7	KWIECINSKI, PAUL G & ELENA S 15 SHORT ST KEYPORT, NJ 07735
TO BE RECEIVED		

200' PROPERTY OWNERS



LOCATION MAP
APPROX. SCALE: 1" = 200'

GENERAL NOTES:

1. PROPERTY BEING KNOWN AS LOT 32 OF BLOCK 22 AS SHOWN ON SHEET 8 OF THE CURRENT OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, DATED SEPTEMBER 9, 1995.
2. PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL IS HEREBY REQUESTED FOR THE CONSTRUCTION OF A "WORKSHOP" BUILDING, KITCHEN ADDITION, GAZEBO, RELOCATION OF TRASH ENCLOSURE, SIGN REPLACEMENT, AND SIDEWALK RELOCATION.
3. THE SUBJECT PROPERTY IS LOCATED WITHIN THE RC RESIDENTIAL DISTRICT C ZONE.
4. THIS PROJECT DESIGN IS CONSISTENT WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS AS PROMULGATED BY THE DEPARTMENT OF COMMUNITY AFFAIRS. NO WAIVERS OR DE MINIMIS EXCEPTIONS TO THE STANDARDS ARE REQUESTED.
5. TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JOHN T. LUTS, PLS OF YORKANIS & WHITE, INC ON NOVEMBER 11, 2021, AND CERTIFIED TO KENNEDY CONSULTING ENGINEERS, LLC.
6. OUTBOUND INFORMATION SHOWN HEREON TAKEN FROM "ALTA/NPS LAND TITLE SURVEY OF PROPERTY BELONGING TO KEYPORT LEGION APARTMENTS, INC. DESIGNATED AS LOT NO. 32, BLOCK 22, AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY, STATE OF NEW JERSEY ALSO KNOWN AS 50 BEERS STREET, BOROUGH OF KEYPORT, MONMOUTH COUNTY, STATE OF NEW JERSEY", PREPARED BY RAMSAY LAND SURVEYING, P.C., DATED OCTOBER 31, 2019.
7. WETLANDS ON OR ADJACENT TO THE SUBJECT PROPERTY WERE DELINEATED IN THE FIELD BY ENVIRONMENTAL CONSULTANT DONALD A. DIMARZIO, P.P.
8. A PORTION OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22 IS SITUATED IN FLOOD ZONE "AE" (EL 11); ZONE "AE" (EL 12) & ZONE "X" (OTHER), AS SHOWN ON A CERTAIN MAP ENTITLED: "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 37 OF 457, BOROUGH OF KEYPORT, COMMUNITY-PANEL NUMBER 340304 0037 F; MAP NO. 34025C0037F"; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 25, 2009.

   PROPERTY IS ALSO SITUATED IN FLOOD ZONE "AE" (EL 13); ZONE "AE" (EL 14); ZONE "VE" (EL 15); ZONE "X" (OTHER) AND ZONE "X", AS SHOWN ON A CERTAIN MAP ENTITLED: "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 37 OF 457, BOROUGH OF KEYPORT, COMMUNITY-PANEL NUMBER 340304 0037 G; MAP NO. 34025C0037G"; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED PRELIMINARY JANUARY 31, 2014.
9. PROPERTY OWNER/APPLICANT:
   OYSTER BAY URBAN RENEWAL, LLC.
   50 BEERS STREET
   KEYPORT, NJ 07735
10. UTILITIES:
    WATER SERVICE: NEW JERSEY AMERICAN WATER COMPANY
    SEWER SERVICE: TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY (TOMSA)
    TELEPHONE SERVICE: VERIZON
    ELECTRIC SERVICE: JERSEY CENTRAL POWER & LIGHT
    CABLE TELEVISION: COMCAST CABLE COMPANY
    GAS SERVICE: NEW JERSEY NATURAL GAS COMPANY

ZONING SUMMARY - BLOCK 22, LOT 32 RESIDENTIAL DISTRICT C (RC)				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	3 AC.	115,953 S.F. (2.662 AC.)	115,953 S.F. (2.662 AC.)	EXISTING NON CONFORMANCE
MAXIMUM DENSITY	20 UNITS / AC.	78.13 UNITS / AC.*	78.13 UNITS / AC.*	EXISTING NON CONFORMANCE
MINIMUM LOT WIDTH	200 FT.	438 FT.	438 FT.	
MAXIMUM LOT COVERAGE	60%	64.1%	64.7%	EXISTING NON CONFORMANCE
MINIMUM USABLE OPEN SPACE	400 SF PER D.U. (83,200 SF)	33,555 SF	33,166 SF	EXISTING NON CONFORMANCE
MAXIMUM BUILDING HEIGHT	3 STORIES / 40 FT	10 STORIES/>40 FT	10 STORIES/>40 FT	EXISTING NON CONFORMANCE
MAXIMUM STRUCTURE LENGTH	200 FT.	218.54 FT.	218.54 FT.	EXISTING NON CONFORMANCE
MINIMUM SETBACK REQUIREMENTS				
FROM PUBLIC R.O.W.	30 FT.	56.3 FT.	56.3 FT.	
FROM ANY OTHER PROPERTY LINE	50 FT.	30.6 FT.	30.6 FT.	EXISTING NON CONFORMANCE
VARIANCE:				

*DENSITY: 208 UNITS / 2.662 AC = 78.13 UNITS/AC

PROJECT ATTORNEY:
JEFFREY B. GALE, ESQ.
GALE & LAUGHLIN, LLP.
2814 HIGHWAY 35
HAZLET, N.J. 07730

PROJECT SURVEYOR:
JOHN T. LUTS, PLS
YORKANIS & WHITE, INC.
23 VILLAGE COURT
HAZLET, N.J. 07730
(732) 888-3211

PROJECT ARCHITECT:
JACK PURVIS, AIA
3203 ATLANTIC AVENUE
P.O. BOX 267
ALLENWOOD, NJ 08720
(732) 292-9300

SITE PLAN OF: _____
BLOCK: _____ LOT: _____ ZONE: _____
DATE: _____ SCALE: _____
APPLICANT: _____
ADDRESS: _____

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD :

(OWNER) (DATE)

I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.

(NAME) (TITLE & LICENSE)

I HAVE REVIEWD THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION.

(DATE) (MUNICIPAL ENGINEER)

APPROVED BY PLANNING BOARD:

PRELIMINARY: _____

FINAL: _____

(CHAIRMAN) (DATE)

INDEX OF SHEETS

	FILE	NO.	PLAN DATE
TITLE SHEET	TS-1	1 OF 4	06/04/22
EXISTING CONDITIONS AND DEMOLITION PLAN	EX-1	2 OF 4	06/04/22
SUBDIVISION LAYOUT PLAN	SP-1	3 OF 4	06/04/22
CRITICAL AREAS PLAN	CA-1	4 OF 4	06/04/22

PARKING SUMMARY

* AS PER RSIS, N.J.A.C. 5:21-4.14 - NUMBER OF SPACES
* GARDEN APARTMENTS
  1.8 SPACES PER DWELLING UNIT
* PARKING REQUIRED:
  (208) 1 BEDROOM APARTMENTS * 1.8 SPACES PER UNIT = 375 SPACES
* PARKING PROVIDED: 115 SURFACE SPACES
  (INCLUDING 4 BARRIER FREE SPACES)
  (EXISTING NONCONFORMANCE)

PRELIMINARY & FINAL MAJOR SITE PLAN

OYSTER BAY APARTMENTS
LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY - NEW JERSEY
TAX MAP SHEET 8 - DATED 09/09/95

KCE
COA 24GA28048700
Kennedy Consulting Engineers, LLC
211 Maple Avenue
Red Bank, New Jersey 07701
732.212.9393 TEL • 732.212.9399 FAX

JAMES A. KENNEDY, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 41275

TITLE SHEET

1 OF 4

FILENAME: TS-1
DRAWN BY: KS/ARC
DATE: 06/04/22

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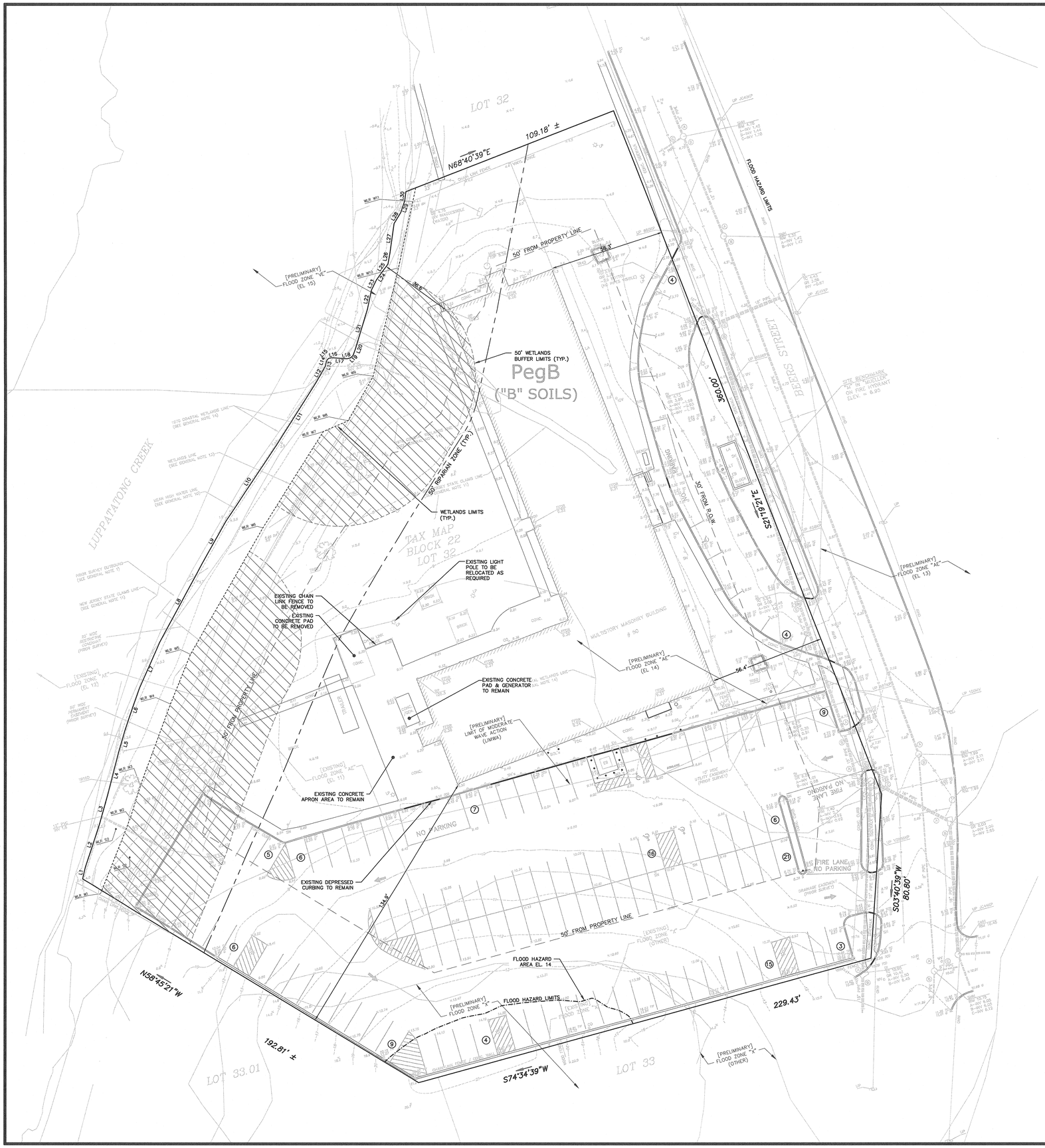

General Construction Notes

1. ALL WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
   - –NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
   - –MONMOUTH COUNTY DESIGN STANDARDS
   - –MUNICIPAL DESIGN STANDARDS
   - –CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
   - –CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
2. ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE AMERICANS WITH DISABILITY ACT, AND THE NJ BARRIER FREE SUBCODE.
3. CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
4. THE CONTRACTOR IS DESIGNATED AS THE RESPONSIBLE PARTY DURING CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON. AS SUCH, CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
5. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
6. ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE FREEHOLD SOIL CONSERVATION DISTRICT STANDARDS.
7. ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS.
8. ALL ROOF DRAIN LEADERS TO BE DIRECTED TOWARDS STABILIZED SURFACES, USING SPLASH BLOCKS, LEADERS, OR OTHER METHODS.
9. THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED PRIOR TO EXCAVATION ON–SITE OR WITHIN R.O.W. (800) 272–1000
10. ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY AND ARCHITECT TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
11. EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
12. ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
13. ALL WATER AND SEWER MAINS SHALL BE INSTALLED WITH A HORIZONTAL SEPARATION OF 10' OR A VERTICAL SEPARATION OF 18", OR BE ENCASED IN CONCRETE, 6" THICK, 10' ON EITHER SIDE OF CROSSINGS.
14. ALL WATER MAINS SHALL BE INSTALLED AT A DEPTH TO OBTAIN A MINIMUM OF FOUR (4) FEET OF COVER TO THE TOP OF THE PIPE.
15. ALL PROPOSED WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON, CLASS 52, AT THE SIZE INDICATED ON PLAN.
16. ALL PROPOSED SANITARY SEWER MAIN EXTENSIONS SHALL BE CONSTRUCTED OF 8" MINIMUM DIAMETER PVC SDR–35 OR APPROVED EQUAL. ALL SEWER CONSTRUCTION SUBJECT TO NJDEP APPROVALS AND OTHER AUTHORITY INSPECTIONS.
17. ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
18. DURING R.O.W. WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI.
19. CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIR TO EXISTING ROADWAYS.
20. CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
21. ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
22. CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
23. THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL, FMERA AND AGENCY APPROVALS. THIS PLAN NOT TO BE UTILIZED FOR CONSTRUCTION UNTIL MARKED "FOR CONSTRUCTION".
24. SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JOHN T. LUTS, PLS OF YORKANIS & WHITE, INC ON NOVEMBER 11, 2021, AND CERTIFIED TO KENNEDY CONSULTING ENGINEERS, LLC.
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GRAPHIC SCALE
20 0 10 20 40
(IN FEET)
1 inch = 20 ft.

N
MAGNETIC BEARINGS

PRELIMINARY & FINAL MAJOR SITE PLAN

OYSTER BAY APARTMENTS

LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY - NEW JERSEY
TAX MAP SHEET 8 - DATED 09/09/95

KCE
COA 24GA28049700
Kennedy Consulting Engineers, LLC
211 Maple Avenue
Red Bank, New Jersey 07701
732.212.9399 TEL • 732.212.9399 FAX

EXISTING CONDITIONS PLAN

2 OF 4

FILENAME: EX-1
DRAWN BY: KS/ARC
DATE: 06/04/22

JAMES A. KENNEDY, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 41275

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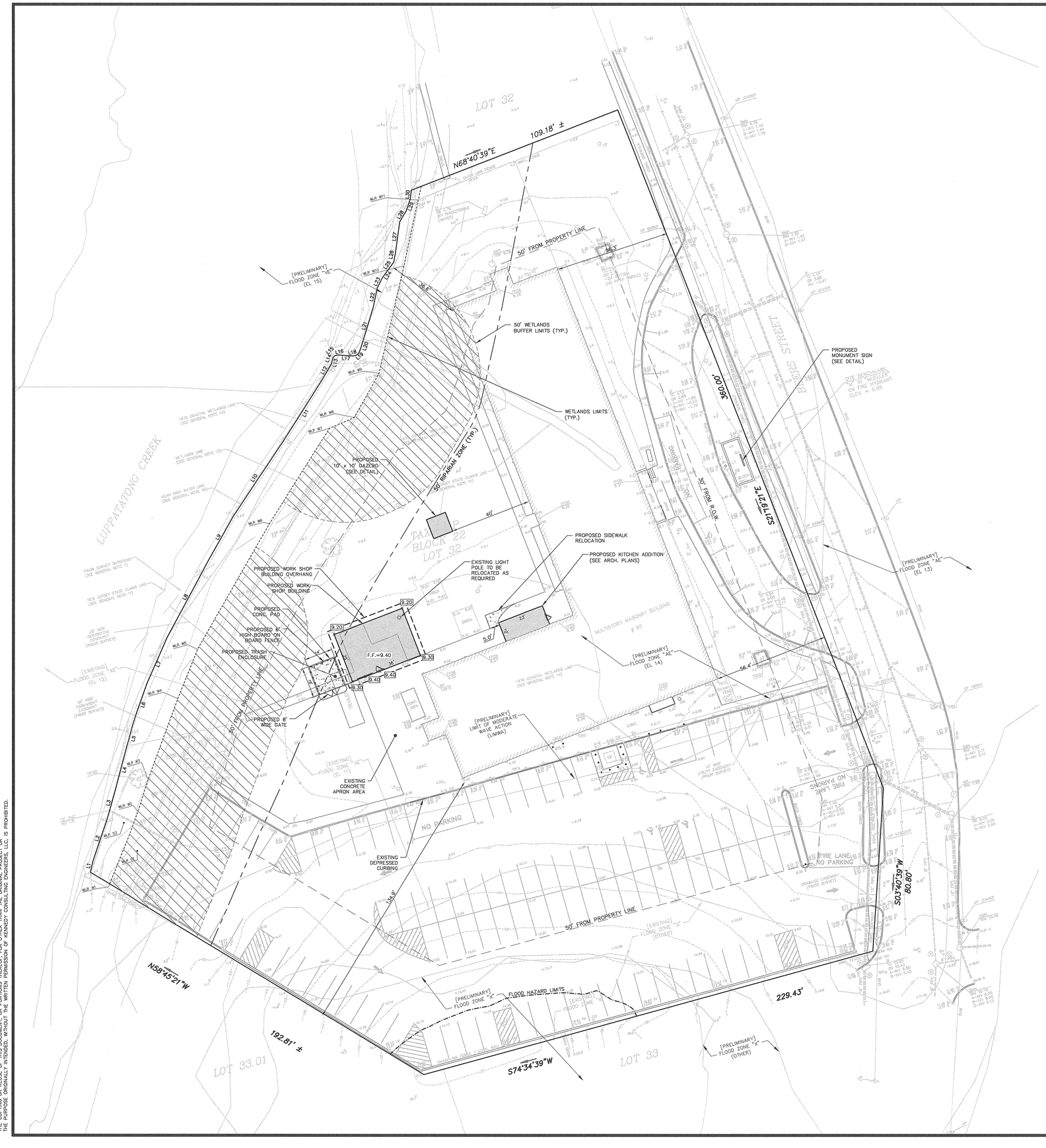
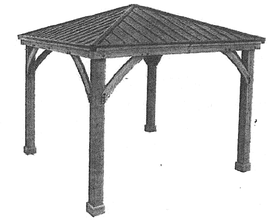
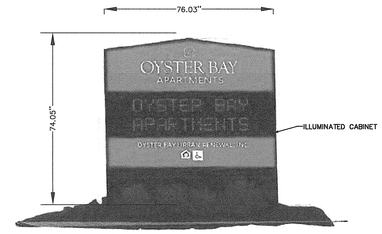
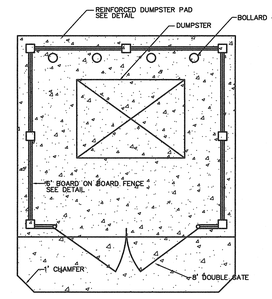




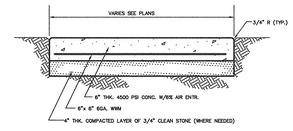
10' X 10' GAZEBO
NOT TO SCALE



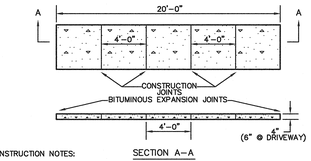
MONUMENT SIGN
NOT TO SCALE



TRASH ENCLOSURE DETAIL
NOT TO SCALE



TYPICAL CONC. PAD
NOT TO SCALE

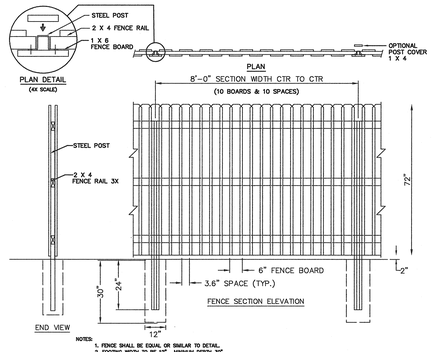


CONSTRUCTION NOTES:

SECTION A–A

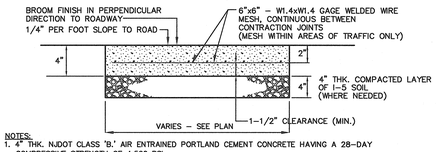
A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY TWENTY (20) FEET. CONSTRUCTION JOINTS SHALL BE INSTALLED EVERY FOUR (4) FEET THE FULL WALK WIDTH. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.

SIDEWALK JOINT DETAIL
NOT TO SCALE



NOTES:
1. FENCE SHALL BE EQUAL OR SIMILAR TO DETAIL.
2. FOOTING WIDTH TO BE 12". MINIMUM DEPTH 30".
3. DIMENSIONS SHOWN ARE NOMINAL FOR WOOD.

6' BOARD ON BOARD FENCE
NOT TO SCALE



NOTES:
1. 4" THK. NJDOT CLASS 'B.' AIR ENTRAINED PORTLAND CEMENT CONCRETE HAVING A 28–DAY COMPRESSIVE STRENGTH OF 4,500 PSI.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

General Construction Notes

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7. ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS.
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11. EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
12. ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
13. ALL WATER AND SEWER MAINS SHALL BE INSTALLED WITH A HORIZONTAL SEPARATION OF 10' OR A VERTICAL SEPARATION OF 18", OR BE ENCASED IN CONCRETE, 6" THICK, 10' ON EITHER SIDE OF CROSSINGS.
14. ALL WATER MAINS SHALL BE INSTALLED AT A DEPTH TO OBTAIN A MINIMUM OF FOUR (4) FEET OF COVER TO THE TOP OF THE PIPE.
15. ALL PROPOSED WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON, CLASS 52, AT THE SIZE INDICATED ON PLAN.
16. ALL PROPOSED SANITARY SEWER MAIN EXTENSIONS SHALL BE CONSTRUCTED OF 8" MINIMUM DIAMETER PVC SDR–35 OR APPROVED EQUAL. ALL SEWER CONSTRUCTION SUBJECT TO NJDEP APPROVALS AND OTHER AUTHORITY INSPECTIONS.
17. ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
18. DURING R.O.W. WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI.
19. CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIR TO EXISTING ROADWAYS.
20. CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
21. ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
22. CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
23. THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL, FMERA AND AGENCY APPROVALS. THIS PLAN NOT TO BE UTILIZED FOR CONSTRUCTION UNTIL MARKED "FOR CONSTRUCTION".
24. SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JOHN T. LUTS, PLS OF YORKANIS & WHITE, INC ON NOVEMBER 11, 2021, AND CERTIFIED TO KENNEDY CONSULTING ENGINEERS, LLC.
25. OUTBOUND INFORMATION SHOWN HEREON TAKEN FROM "ALTA/NPS LAND TITLE SURVEY OF PROPERTY BELONGING TO KEYPORT LEGION APARTMENTS, INC. DESIGNATED AS LOT NO. 32, BLOCK 22, AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY, STATE OF NEW JERSEY ALSO KNOWN AS 50 BEERS STREET, BOROUGH OF KEYPORT, MONMOUTH COUNTY, STATE OF NEW JERSEY", PREPARED BY RAMSAY LAND SURVEYING, P.C., DATED OCTOBER 31, 2019.

GRAPHIC SCALE
20 0 10 20 40
(IN FEET)
1 inch = 20 ft.

N
MAGNETIC REFERENCE

PRELIMINARY & FINAL MAJOR SITE PLAN

OYSTER BAY APARTMENTS

LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY - NEW JERSEY
TAX MAP SHEET 8 - DATED 09/09/95

KCE
COA 24GA28049750
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Red Bank, New Jersey 07701
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JAMES A. KENNEDY, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 41275

LAYOUT, GRADING, & UTILITY PLAN

3 OF 4

FILENAME: LP-1
DRAWN BY: KS/ARC
DATE: 06/04/22

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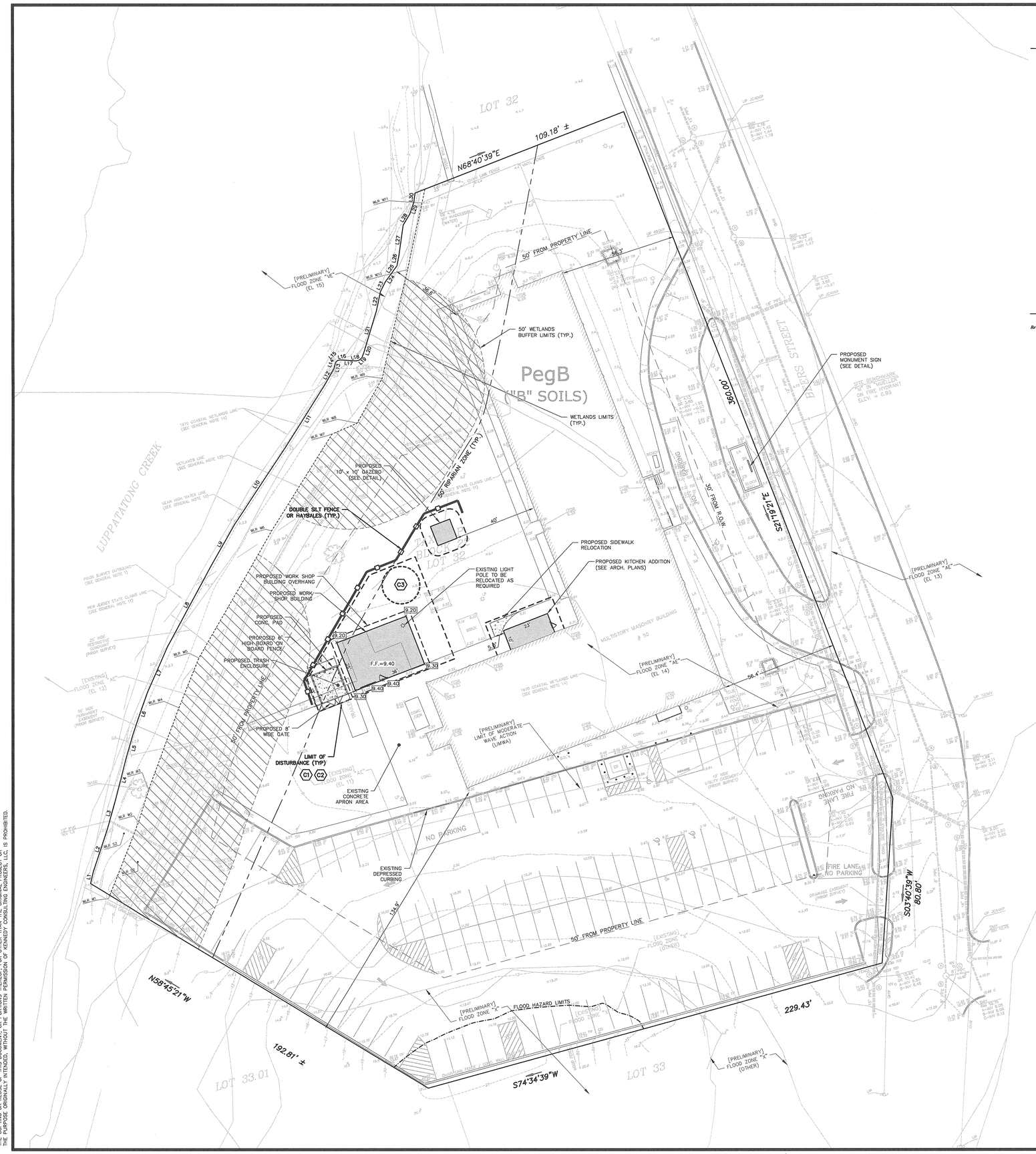
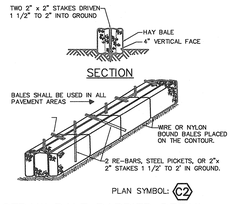


SOIL EROSION AND SEDIMENT CONTROL NOTES

1. The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
2. All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
3. Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
4. N.J.S.A 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
5. Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 ½ tons per acre, according to State Standard for Stabilization with Mulch Only.
6. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
7. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
8. The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction entrance consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
9. All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
10. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
11. At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
12. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450 lbs/sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
14. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
15. Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
16. Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
17. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Freehold Soil Conservation District
4000 Kozloski Road, Freehold, NJ 07728-5033, (732) 683-8500, fax (732) 683-9140, Email: info@freeholdscd.org
Revised March 2014

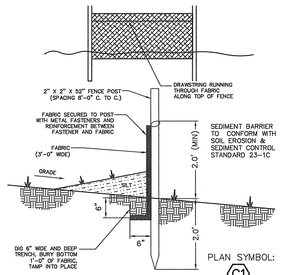


STRAW BALE BARRIER DETAIL

NOT TO SCALE

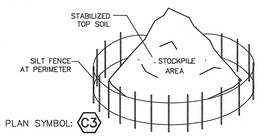
NOTES:

1. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
2. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
3. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



SILT FENCE DETAIL

NOT TO SCALE



TOPSOIL STOCKPILE AREA

NOT TO SCALE

SOIL EROSION LEGEND

SILTFENCE/HAYBALE.	
LIMIT OF DISTURBANCE	
INLET PROTECTION	B1
SILT FENCE	C1
HAY BALE	C2
STOCKPILE AREA	C3
STABILIZED CONSTRUCTION ENTRANCE (PAVED)	E2

CONTRACTOR SHALL USE C1 ON PERVIOUS SURFACES AND C2 ON IMPERVIOUS SURFACES.

LIMIT OF DISTURBANCE
3,370 SF
(0.077 AC)

GRAPHIC SCALE
20 0 10 20 40
(IN FEET)
1 inch = 20 ft.

N
MAGNETIC NORTH REFERENCE

PERMANENT VEGETATIVE COVER NOTES:

I. SITE PREPARATION

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, P. 19-1.

B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

II. SEEDBED PREPARATION

A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRES UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.

B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED IS PREPARED.

C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE.

D. SOILS HIGH ON SULFIDES OR HAVING A pH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS PG. 1-1.

III. SEEDING

A. SELECT SEED FROM RECOMMENDATIONS IN TABLE 7-2.

SPECIES	SEEDING RATES (POUNDS) /1		OPTIMUM SEEDING DATE BASED ON PLANT HARDINESS ZONE 3/			OPTIMUM SEED DEPTH 2/ (INCHES)
	PER ACRE	PER 1,000 SQ. FEET	ZONE 5	ZONE 6	ZONE 7	
COOL SEASON GRASSES						
PERENNIAL RYEGRASS	100	1.0	3/15 TO 6/1 8/1 TO 9/15	3/1 TO 5/15 8/15 TO 10/1	2/15 TO 5/1 8/15 TO 10/15	0.5
SPRING OATS	86	2.0	3/15 TO 6/1 8/1 TO 9/15	3/1 TO 5/15 8/15 TO 10/1	2/15 TO 5/1 8/15 TO 10/15	1.0
WINTER BARLEY	96	2.2	8/1 TO 9/15	8/15 TO 10/1	8/15 TO 10/15	1.0
ANNUAL RYEGRASS	100	1.0	3/15 TO 6/1 8/1 TO 9/15	3/15 TO 6/1 8/1 TO 9/15	2/15 TO 5/1 8/15 TO 10/15	0.5
WINTER CEREAL RYE	112	2.8	8/1 TO 11/1	8/1 TO 10/15	8/1 TO 12/15	1.0
COOL SEASON GRASSES						
PEARL MILLET	20	0.5	6/1 TO 8/1	5/15 TO 8/15	5/1 TO 9/1	1.0
MILLET (GERMAN OR HUNGARIAN)	30	0.7	6/1 TO 8/1	5/15 TO 8/15	5/1 TO 9/1	1.0

RECOMMENDED SEED MIXTURE

1. SEEDING RATE FOR WARM SEASON GRASS SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.
2. MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDED AREA CAN BE IRRIGATED.
3. PLANT HARDINESS ZONE (SEE FIG. 7.1)

   ZONE 5 - PORTIONS OF SUSSEX AND WARREN COUNTIES
   ZONE 6 - PORTIONS OF BERGEN, CAMDEN, ESSEX AND GLOUCESTER, ALL OF HUNTERDON, PORTIONS OF MERCER AND MIDDLESEX, ALL OF MORRIS AND PASSAIC, PORTIONS OF SOMERSET, SUSSEX, UNION AND WARREN COUNTIES.
   ZONE 7 - ATLANTIC, PORTION OF BERGEN, ALL OF BURLINGTON, CAPE MAY AND CUMBERLAND, PORTIONS OF ESSEX AND GLOUCESTER, ALL OF HUDSON, PORTION OF MIDDLESEX, ALL OF MONMOUTH, OCEAN AND SALEM AND PORTION OF UNION COUNTY.
4. TWICE THE DEPTH FOR SANDY SOILS

B. CONVENTIONAL SEEDING. APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.

C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING (ALSO SEE SECTION IV MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

PRELIMINARY & FINAL MAJOR SITE PLAN

OYSTER BAY APARTMENTS

LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY - NEW JERSEY
TAX MAP SHEET 8 - DATED 09/09/95

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JAMES A. KENNEDY, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 41275

SOIL EROSION AND SEDIMENT CONTROL PLAN

4 OF 4

FILENAME: SE-1
DRAWN BY: KS/ARC
DATE: 06/04/22

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