

200' OWNERS LIST (KEYPORT)				
Block	Lot	Owner	Owner's Address	
110	23	HOLMDEL POINTE, L.L.C. %SOLOMON ORG.	92 RIVER RD SUMMIT, NJ 07901	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
111	3.01	MD LIQUOR & WINE HOLDING LLC	117 HWY 35 S KEYPORT, NJ 07735	
111	4	ONE HUNDRED SEVENTEEN SHG REALTY LL	1820 ROUTE 33 NEPTUNE NJ 07753	

200' OWNERS LIST (HAZLET)				
Block	Lot	Owner	Owner's Address	
164	1	3445 ROUTE 35 INVESTORS TIC I LLC	116 ROUTE 22 EAST N. PLAINFIELD, NJ 07060	
210	2	HD DEVELOP. OF MD % PROP. TAX DEPT.	PO BOX 105842 REF 0926 ATLANTA, GA 30348	

UTILITIES

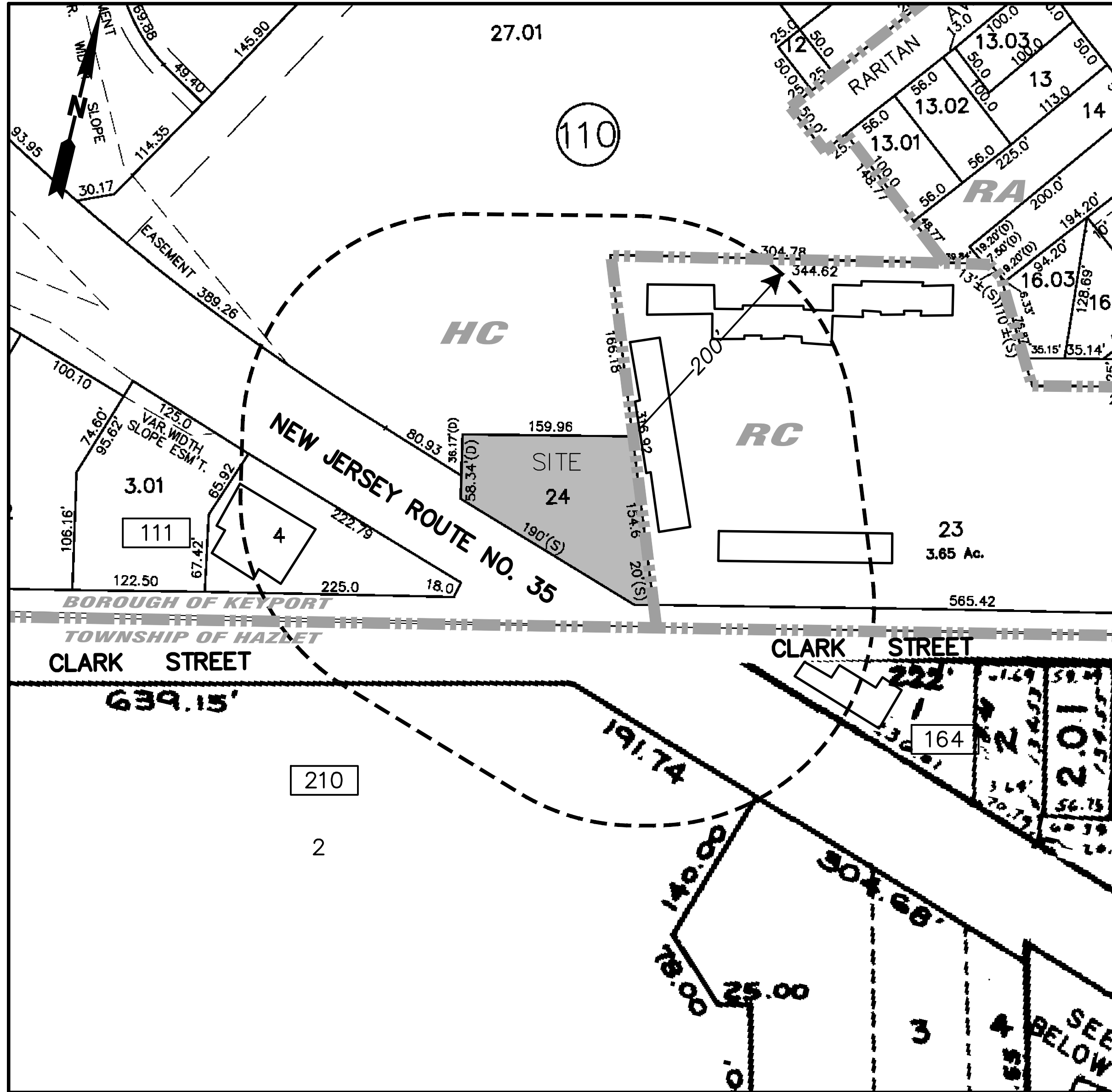
BAYSHORE REGIONAL SEWERAGE AUTHORITY	100 OAK STREET UNION BEACH NJ 07735
BAYSHORE OUTFALL AUTHORITY	PO BOX 184 BELFORD NJ 07718
SHORELANDS WATER CO., INC.	1709 UNION AVENUE PO BOX 158 HAZLET NJ 07730
COMCAST CABLEVISION OF MONMOUTH COUNTY	403 SOUTH STREET EATONTOWN NJ 07724
JERSEY CENTRAL POWER & LIGHT	300 MADISON AVENUE PO BOX 1911 MORRISTOWN NJ 07962-1911
HAZLET TOWNSHIP SEWER UTILITY DEPARTMENT	1766 UNION AVE PO BOX 66 HAZLET NJ 07730
AT & T COMPANY	900 US HIGHWAY 202/206 BEDMINSTER NJ 07921
NJ AMERICAN WATER CO	661 SHREWSBURY AVENUE SHREWSBURY NJ 07702
VERIZON - NEW JERSEY	PO BOX 152206 IRVING TX 75015
NEW JERSEY NATURAL GAS CO	1415 WYCKOFF ROAD PO BOX 1464 WALL NJ 07719

GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:

EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO, NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
- ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.

PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 105 NEW JESEY STATE HIGHWAY 35 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY



TAX MAP & 200' RADIUS MAP

SCALE: 1" = 80'

SCHEDULE OF GENERAL REQUIREMENTS				
ZONE HC (HIGHWAY COMMERCIAL)				
EXISTING USE: VACANT/ABANDONED				
PROPOSED USE: RETAIL (P)				
REGULATION	REQUIREMENT	EXISTING	PROPOSED	
MIN. LOT AREA	10,000 S.F.	14,608 S.F.	14,608 S.F.	
MIN. LOT WIDTH	100'	164.63'	164.63'	
MIN. FRONT YARD	50'	11.13'	11.13'	
MIN. SIDE YARD - ONE SIDE	6'	22.86'	22.9'	
MIN. SIDE YARD - BOTH SIDES	16'	53.69'	53.7'	
MIN. REAR YARD	20'	32.36'	32.4'	
MAX. BUILDING COVERAGE	35%	18.9%	18.9%	
MAX. BUILDING HEIGHT	3.5 STORIES/40'	2 STORIES/440'	1 STORY/20'	
MAX. LOT COVERAGE	90%	56.7% (5,355 S.F.)	80.0% (11,691 S.F.)	
MIN. PARKING SETBACK TO RESIDENCE OR STREET LINE (V)	5'	N/A	2' (V)	

* - DENOTES EXISTING VIOLATION
(V) - DENOTES NEW VARIANCE REQUIRED
(P) - PERMITTED USE

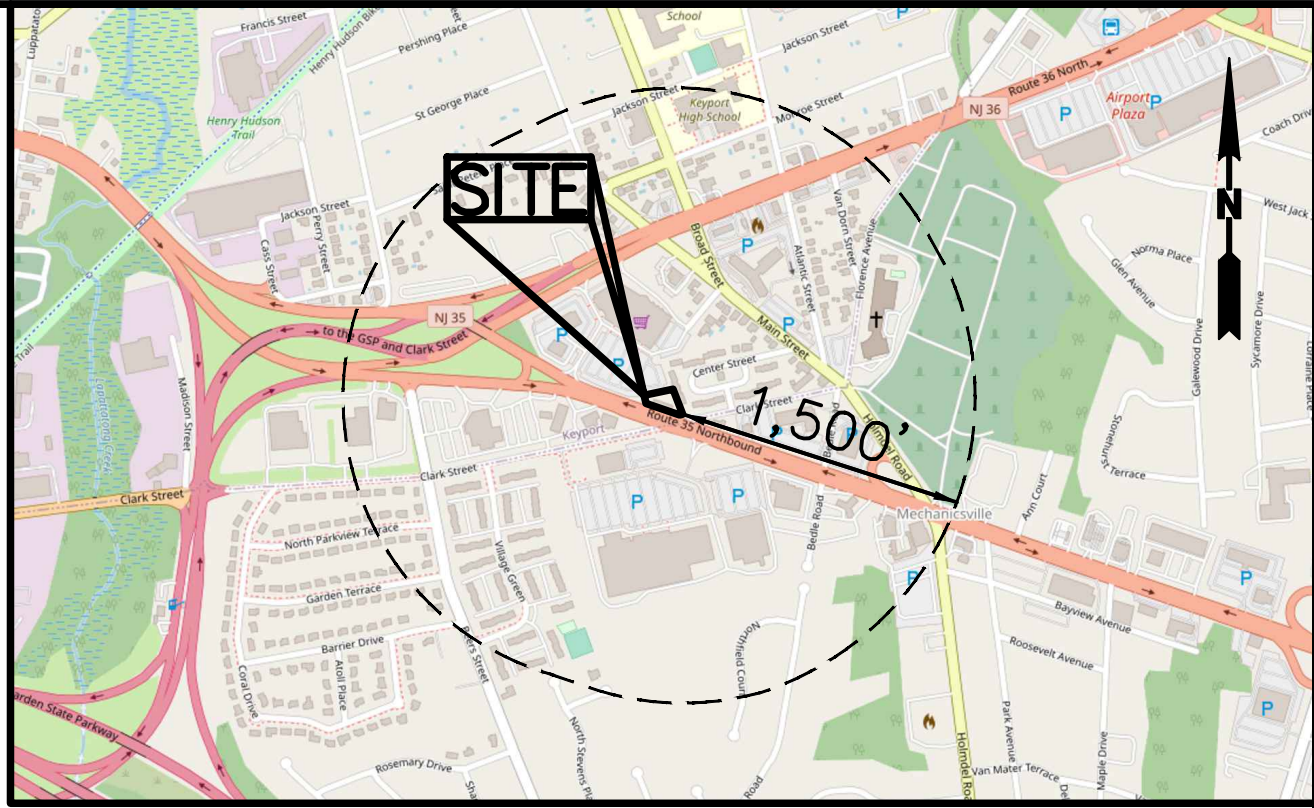
NOTES:

(1) SECTION 25:1-18 - OFF STREET PARKING AND LOADING FACILITIES SHALL NOT BE CLOSER THAN FIVE (5') FEET TO ANY R-ZONED LOT OR ANY STREET RIGHT-OF-WAY LINE

ADDITIONAL ORDINANCE RELIEF

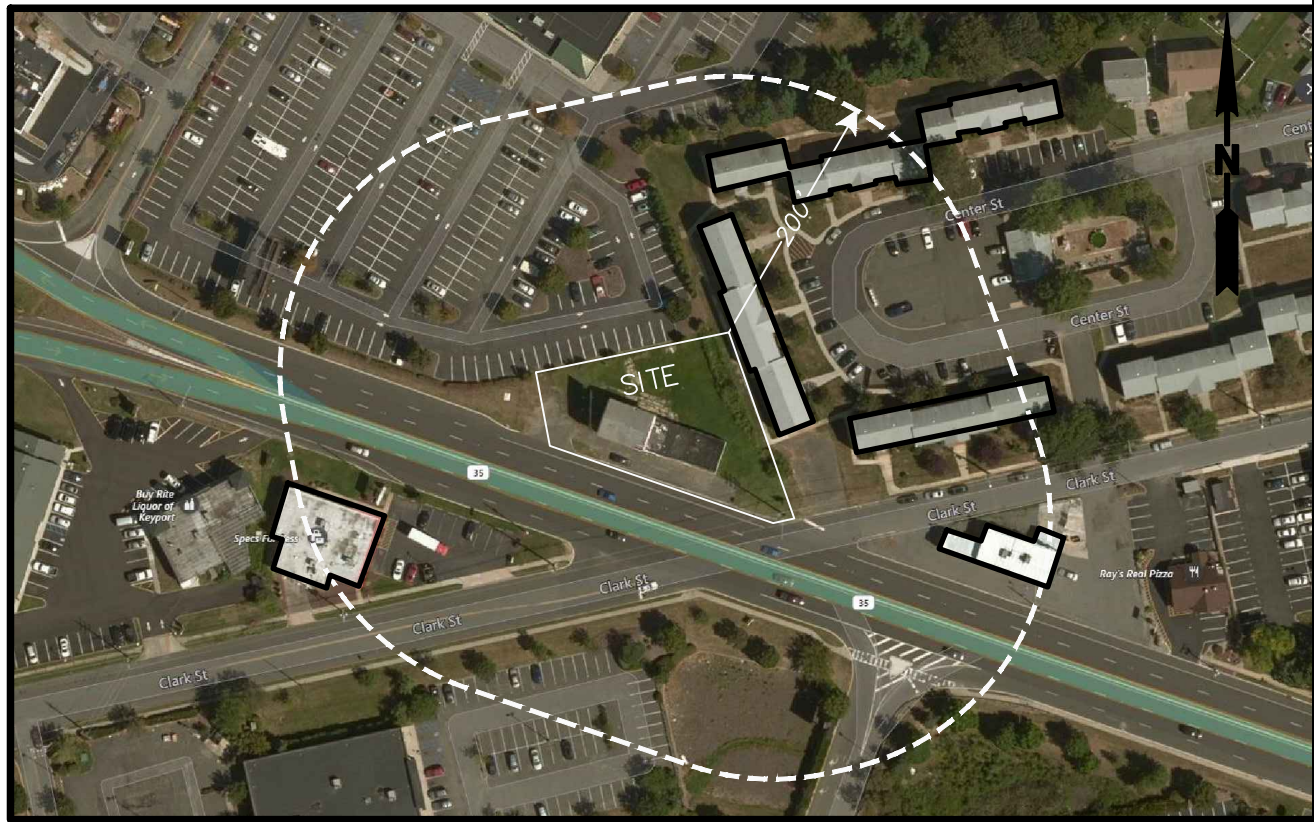
SECTION 25:1-18.A.2. EACH OFF-STREET PARKING SPACE SHALL HAVE A MINIMUM AREA OF 180 SQUARE FEET (9' X 20') EXCLUSIVE OF ACCESS DRIVES AND AISLES AND SHALL BE OF USABLE SHAPE AND CONDITION. THIS SITE PLAN PROPOSES 9' X 18' PARKING SPACES WITH AN AVAILABLE 2 FEET OF OVERHANG AT ALL STALLS. WAIVER REQUESTED.

PARKING REQUIREMENTS	
REQUIREMENT: RETAIL SALES (1ST FLOOR) ONE SPACE FOR EVERY 200 S.F. OF GROSS FLOOR AREA 2,758 S.F. / 200 S.F. = 13.8 (USE 14 SPACES)	
TOTAL SPACES REQUIRED = 14 SPACES TOTAL SPACES PROPOSED = 14 SPACES	



KEY MAP

SCALE: 1" = 1,000'



AERIAL MAP

SCALE: 1" = 150'

OWNER/APPLICANT/ENGINEER

SITE PLAN OF 105 NUSH ROUTE 35
BLOCK 110 LOT 24 ZONE HC-HIGHWAY COMMERCIAL
DATE MARCH 31, 2021 SCALE AS SHOWN
APPLICANT NICKAY CONSTRUCTION INC.
ADDRESS 1600 EAST EDGAR ROAD, HWY 1 & 9 NORTH, LUNDEN, NJ 07036

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD

NVMI LLC 11 LORIAN ROAD
(OWNER) WARREN, NJ 07059
(ADDRESS)

(OWNER SIGNATURE) DATE

I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.

JOSEPH N. BACHI 328 PARK AVENUE P.E. #24GE05325200
(NAME) SCOTCH PLAINS, N.J. 07076 (ADDRESS) (TITLE & LICENSE No.)

Joseph N. Bachi 3/13/2023
(ENGINEER SIGNATURE) DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION

(DATE) (MUNICIPAL ENGINEER)

SHEET	TITLE	ISSUED	REVISED
1	COVER SHEET	3/31/2021	3/13/2023
2	SITE PLAN	3/31/2021	3/13/2023
3	GRADING & DRAINAGE PLAN	3/31/2021	3/13/2023
4	LIGHTING & LANDSCAPE PLAN	3/31/2021	3/13/2023
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY	2/27/2023	N/A

COVER SHEET PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY			
EKA ASSOCIATES, P.A. Engineers • Surveyors • Planners 328 Park Avenue, Scotch Plains, N.J. 07076 908-322-2030			
REVISIONS: 3/13/2023 - REVISED PER BOARD ENGINEER COMMENTS		Joseph N. Bachi JOSEPH N. BACHI, P.E. PROFESSIONAL ENGINEER N.J. LICENSE NO. 24GE05325200	
Job No. 847709	Date 3/31/2021	Scale AS SHOWN	Drawn SK Map No. Sheet 1 of 4

SCHEDULE OF GENERAL REQUIREMENTS			
ZONE HC (HIGHWAY COMMERCIAL)			
EXISTING USE: VACANT/ABANDONED			
PROPOSED USE: RETAIL (P)			
REGULATION	REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	10,000 S.F.	14,608 S.F.	14,608 S.F.
MIN. LOT WIDTH	100'	164.63'	164.63'
MIN. FRONT YARD	50'	11.13'	11.13'
MIN. SIDE YARD - ONE SIDE	6'	22.86'	22.9'
MIN. SIDE YARD - BOTH SIDES	16'	53.69'	53.7'
MIN. REAR YARD	20'	32.36'	32.4'
MAX. BUILDING COVERAGE	35%	18.9%	18.9%
MAX. BUILDING HEIGHT	3.5 STORIES/40'	2 STORIES/24.0'	1 STORY/20'
MAX. LOT COVERAGE	90%	36.7% (5,355 S.F.)	80.0% (11,691 S.F.)
MIN. PARKING SETBACK TO RESIDENCE OR STREET LINE(I)	5'	N/A	2'(V)

* - DENOTES EXISTING VIOLATION
(V) - DENOTES NEW VARIANCE REQUIRED
(P) - PERMITTED USE

NOTES:

(1) SECTION 25:1-18 - OFF STREET PARKING AND LOADING FACILITIES SHALL NOT BE CLOSER THAN FIVE (5') FEET TO ANY R-ZONED LOT OR ANY STREET RIGHT-OF-WAY LINE

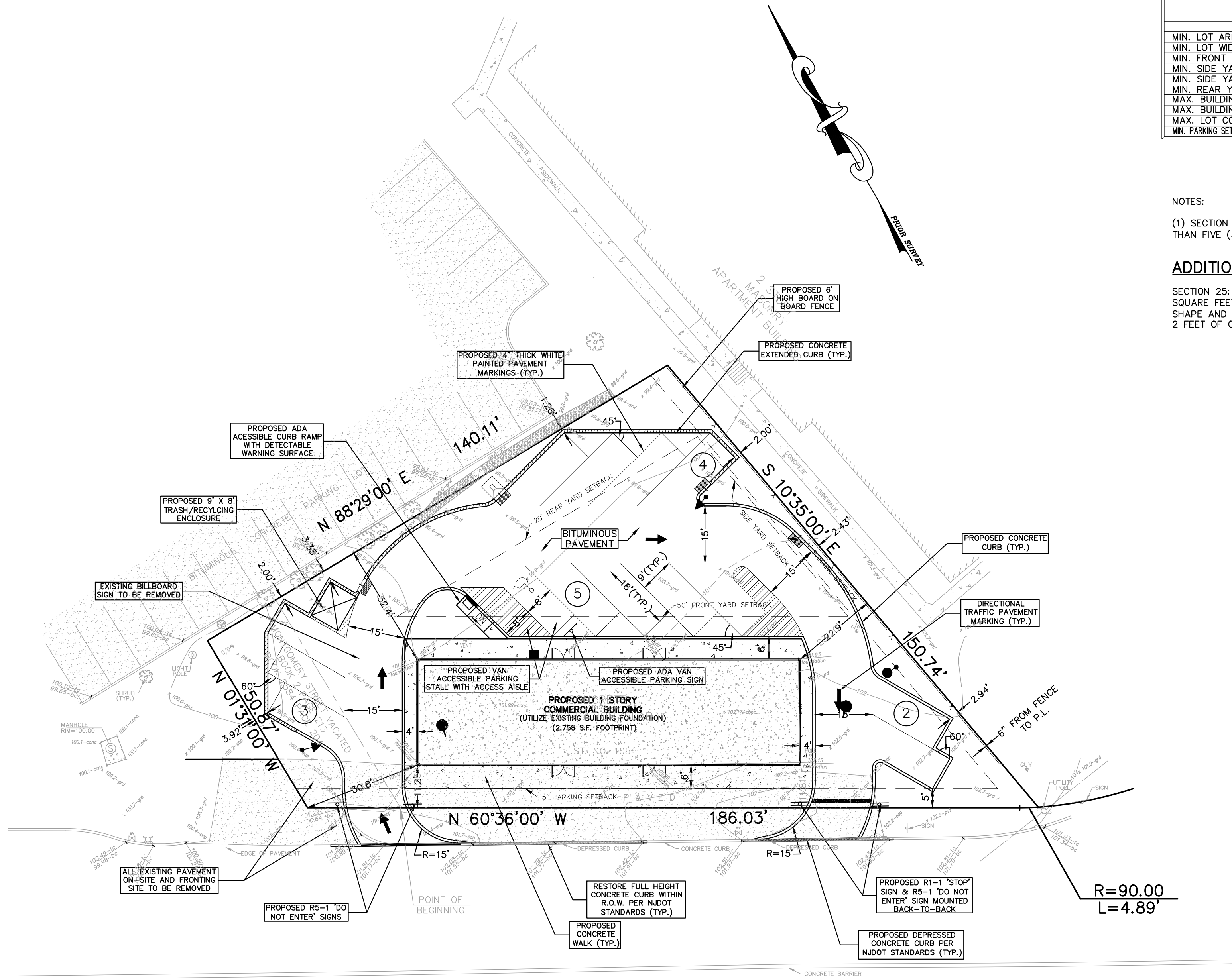
ADDITIONAL ORDINANCE RELIEF

SECTION 25:1-18.A.2. EACH OFF-STREET PARKING SPACE SHALL HAVE A MINIMUM AREA OF 180 SQUARE FEET (9' X 20') EXCLUSIVE OF ACCESS DRIVES AND AISLES AND SHALL BE OF USABLE SHAPE AND CONDITION. THIS SITE PLAN PROPOSES 9' X 18' PARKING SPACES WITH AN AVAILABLE 2 FEET OF OVERHANG AT ALL STALLS. WAIVER REQUESTED.

PARKING REQUIREMENTS	
REQUIREMENT:	
RETAIL SALES (1ST FLOOR)	
ONE SPACE FOR EVERY 200 S.F. OF GROSS FLOOR AREA	
2,758 S.F. / 200 S.F. = 13.8 (USE 14 SPACES)	
TOTAL SPACES REQUIRED = 14 SPACES	
TOTAL SPACES PROPOSED = 14 SPACES	

GENERAL NOTES:

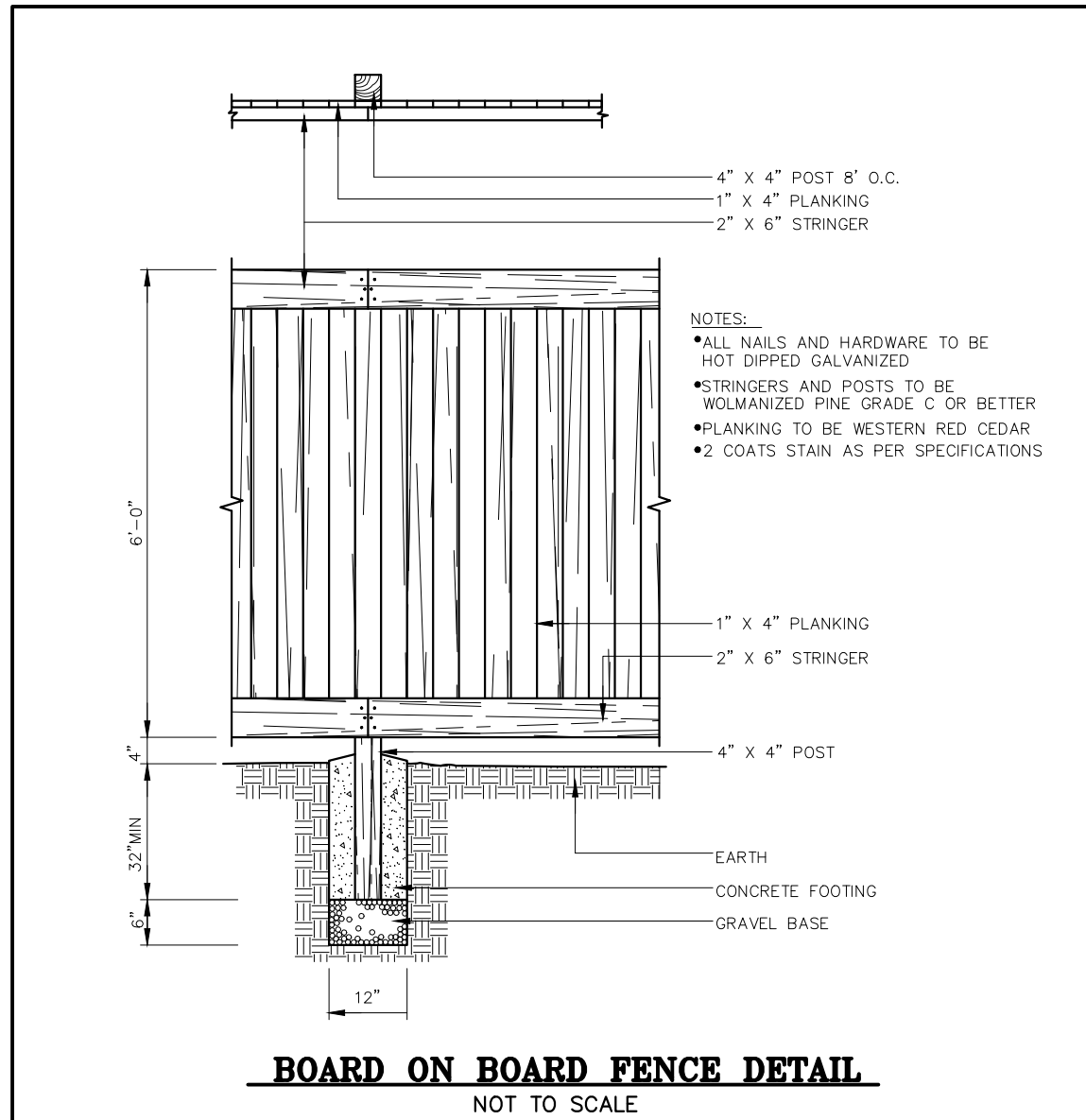
- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NUDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
- ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE, CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.



NEW JERSEY STATE HWY. ROUTE 35

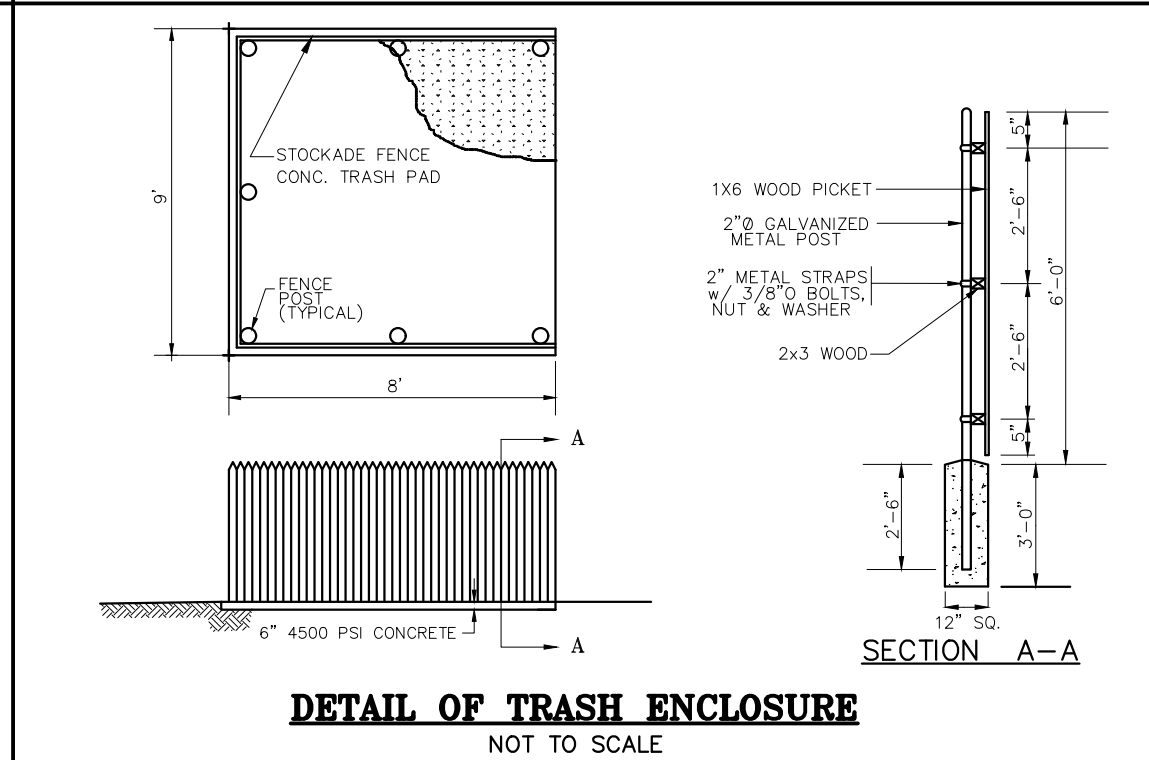
(WIDTH VARIES)

GRAPHIC SCALE



BOARD ON BOARD FENCE DETAIL

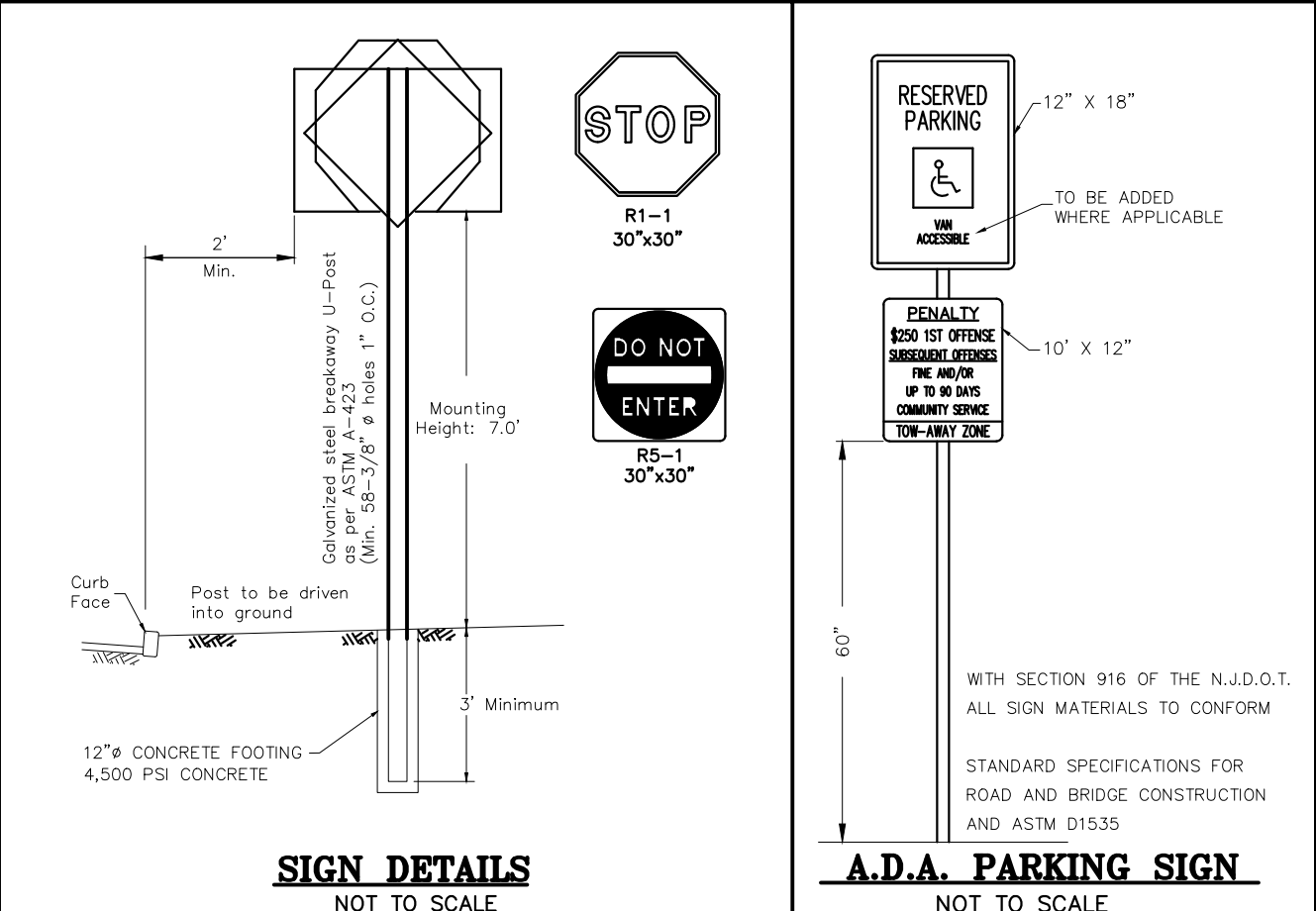
NOT TO SCALE



DETAIL OF TRASH ENCLOSURE

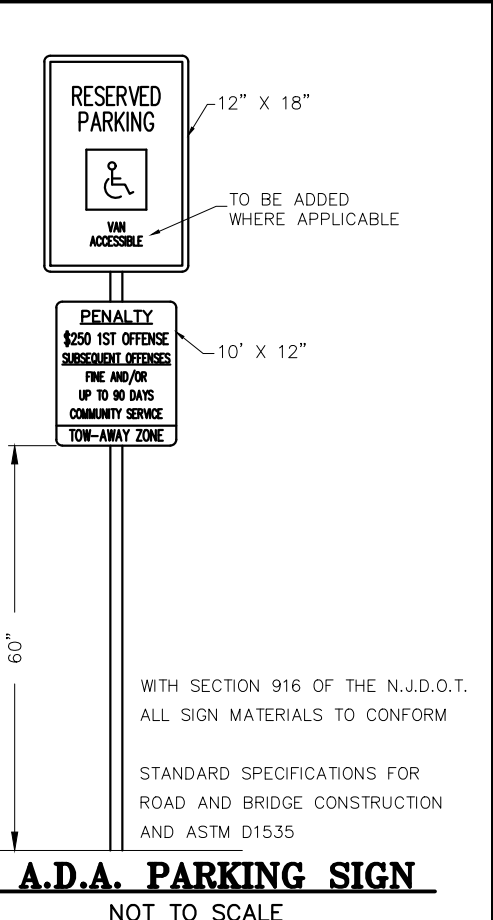
NOT TO SCALE

LEGEND	
-se	- EXISTING SIDEWALK ELEVATION
-grd	- EXISTING GROUND ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION
-dc	- EXISTING DEPRESSED CURB
⊙	- EXISTING SANITARY MANHOLE
⊕	- EXISTING STORM MANHOLE
⊕	- EXISTING UTILITY POLE
⊕	- EXISTING WATER VALVE
⊕	- EXISTING TREE AND SIZE
⊕	- EXISTING TREES TO BE REMOVED
-FB	- PROPOSED CONTOUR
-SP	- PROPOSED SPOT ELEVATION
-pav	- EXISTING PAVEMENT ELEVATION
-gnd	- EXISTING GRAVEL ELEVATION
-bldg	- EXISTING BUILDING ELEVATION
-conc	- EXISTING CONCRETE ELEVATION
TG	- EXISTING TOP OF GRATE ELEVATION
INV.	- EXISTING INVERT
-E.P.	- EXISTING SPOT ELEVATION
-200	- EXISTING EDGE OF PAVEMENT ELEVATION



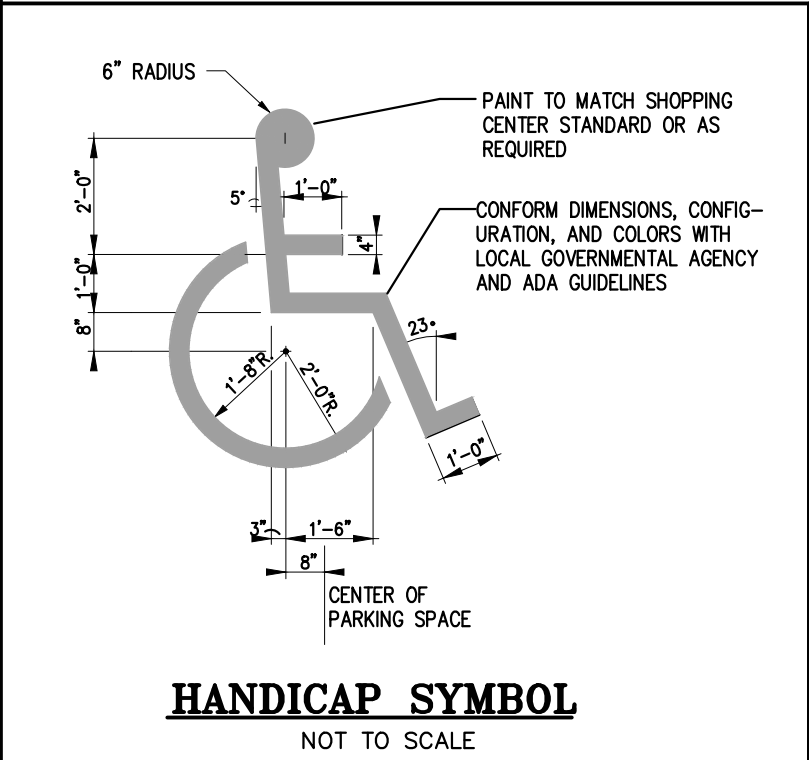
SIGN DETAILS

NOT TO SCALE



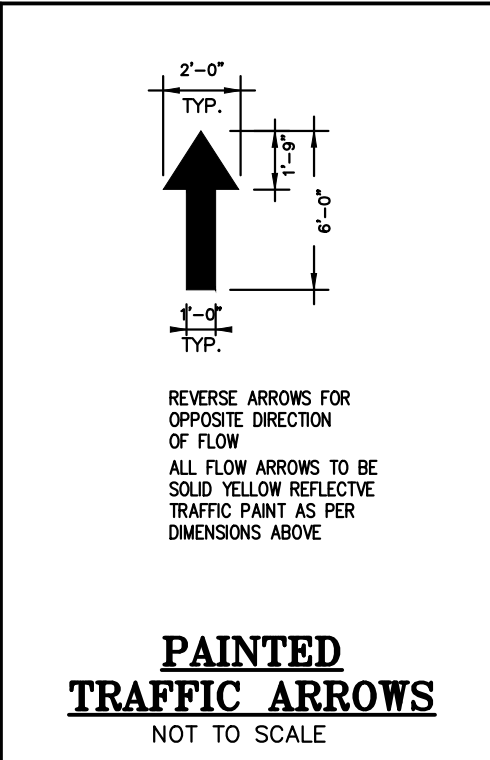
A.D.A. PARKING SIGN

NOT TO SCALE



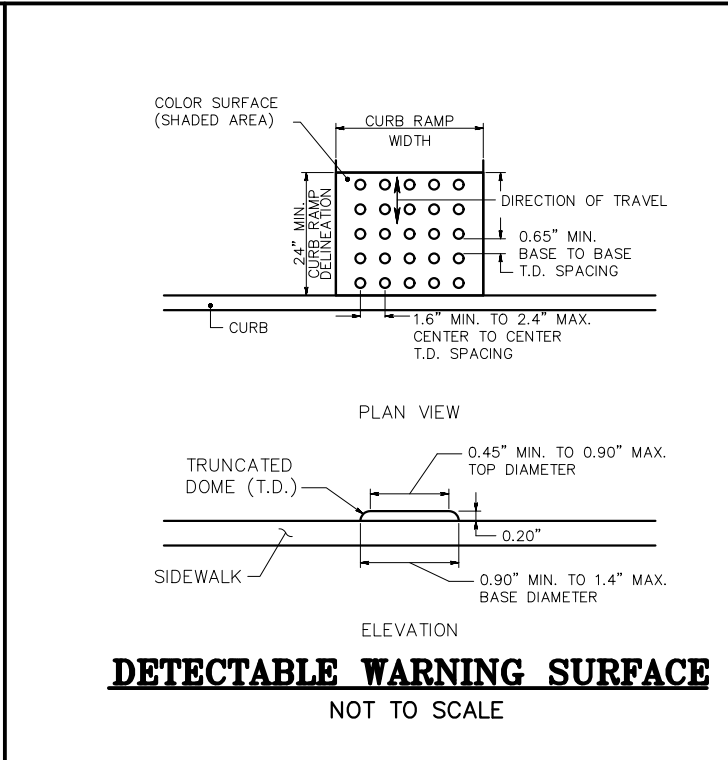
HANDICAP SYMBOL

NOT TO SCALE



PAINTED TRAFFIC ARROWS

NOT TO SCALE



DETECTABLE WARNING SURFACE

NOT TO SCALE

**SITE PLAN
PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY**

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
3/13/2023 - REVISED PER BOARD ENGINEER COMMENTS

Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24605325200

Job No. 844934

Date 3/31/2021

Scale 1"=20'

Drawn SK

Map No.

Sheet 2 of 4

Streetworks



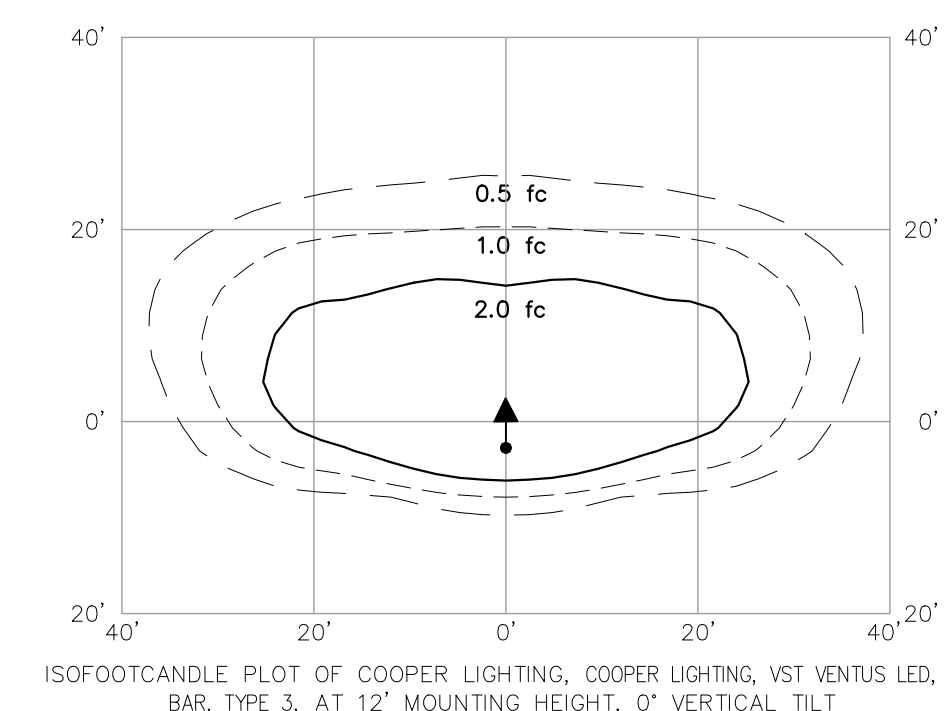
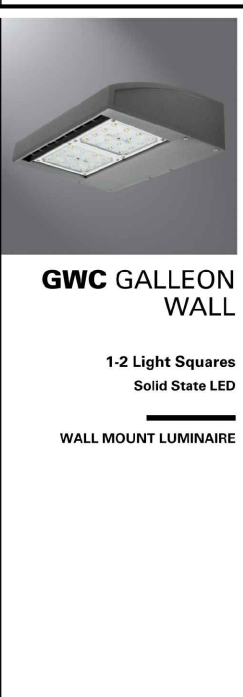
DIMENSIONS				
DIMENSIONAL DATA				
Number of Light Bars	14" (355mm)	Weight	EPH (Square Feet)	
2-4	12-1/2" (317mm) 30 lbs (13.6 kg) 30 lbs (13.6 kg)	1.00	1.00	
5-8	12-1/2" (317mm) 30 lbs (13.6 kg) 30 lbs (13.6 kg)	1.50	1.50	
9-12	22-3/8" (569mm) 30 lbs (13.6 kg) 44 lbs (20.0 kg)	1.01	1.46	



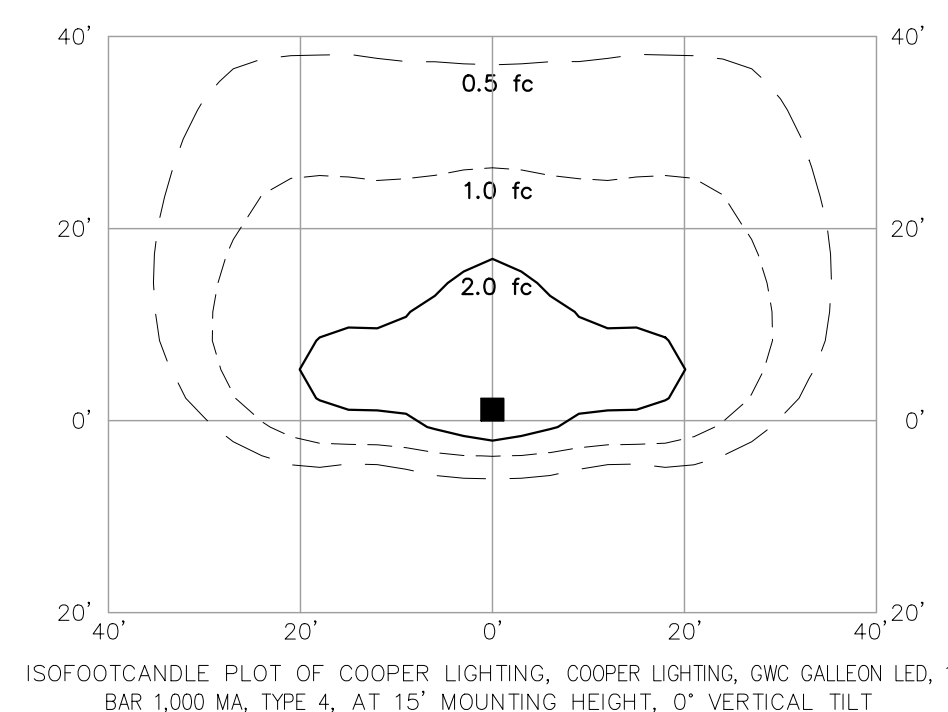
McGraw-Edison



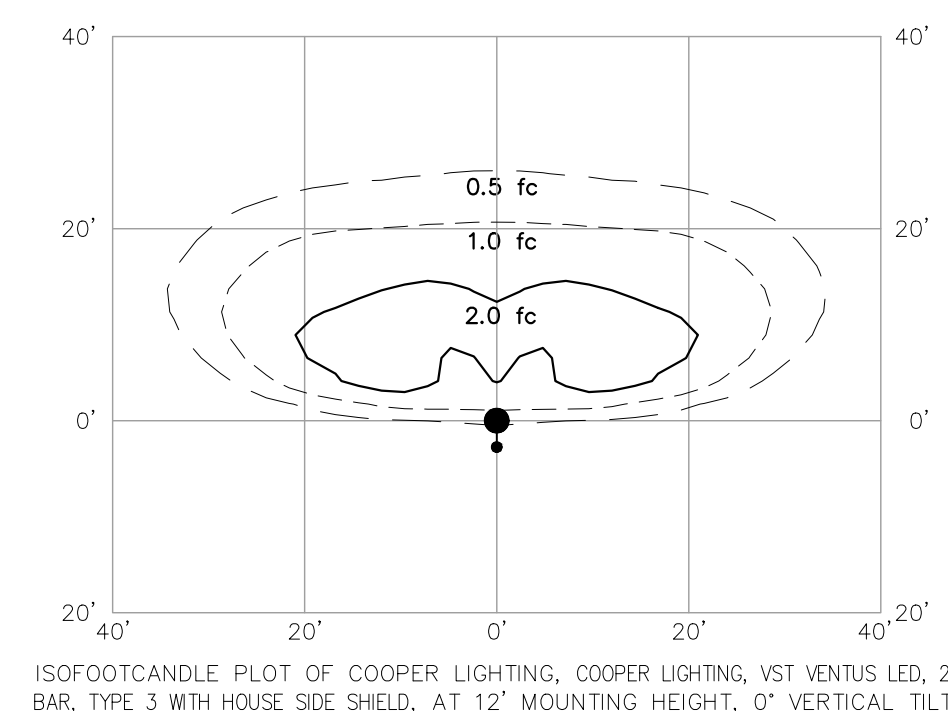
DIMENSIONS				
HOOK & LOCK MOUNTING				
BATTERY BACKUP AND THRU-BRANCH BACK BOX				



LIGHT FIXTURE DETAIL
SCALE: 1" = 20'



LIGHT FIXTURE DETAIL
SCALE: 1" = 20'



LIGHT FIXTURE DETAIL
SCALE: 1" = 20'

0.5 FOOTCANDLE LIMIT (TYP.)
1.0 FOOTCANDLE LIMIT (TYP.)
2.0 FOOTCANDLE LIMIT (TYP.)

PROPOSED 12' HIGH
FREESTANDING LIGHT

PROPOSED 15' HIGH
BUILDING MOUNTED LIGHT

PROPOSED 1' STORY
COMMERCIAL BUILDING
(UTILIZE EXISTING BUILDING FOUNDATION)
(2,758 S.F. FOOTPRINT)

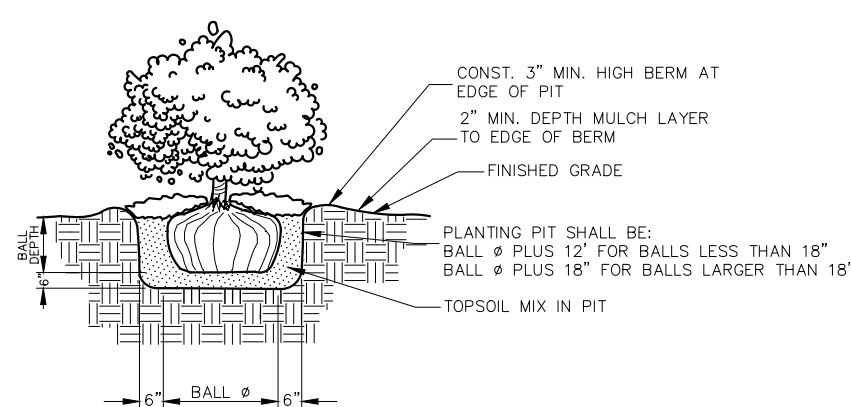
PROPOSED 12' HIGH
FREESTANDING LIGHT

NEW JERSEY STATE HWY. ROUTE 35

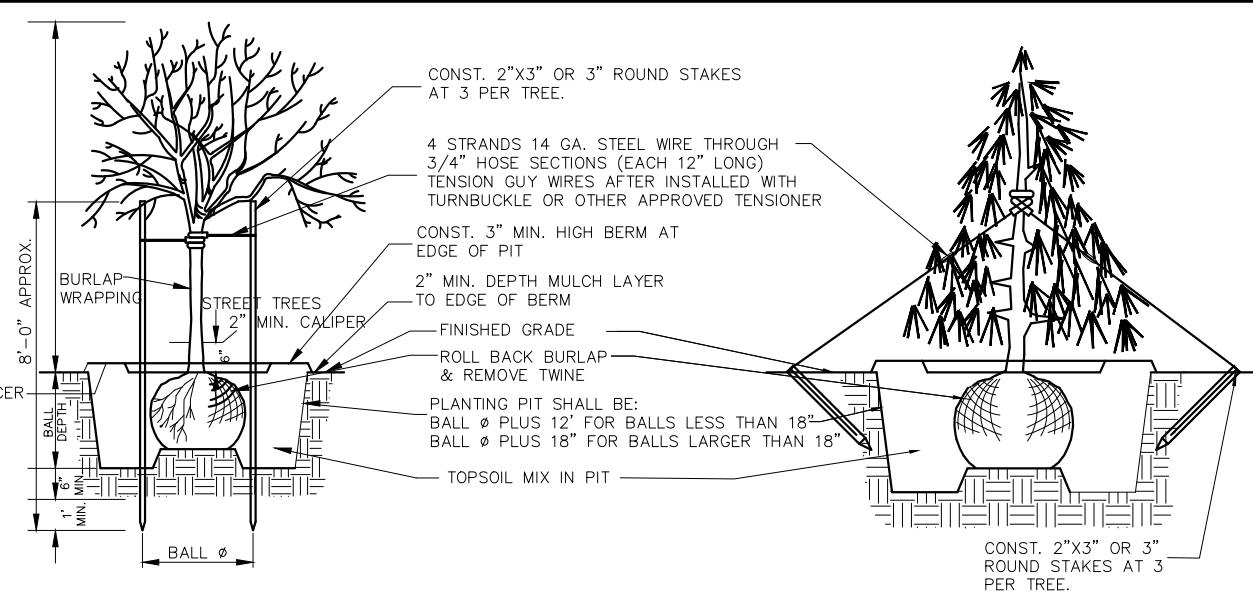
PROPOSED LUMINAIRE SCHEDULE							
Symbol	Qty	Label	Arrangement	Tilt	Height	LLF	Description
●	2	VST-ED2-LED-E-U-SL3	SINGLE	0°	12'	0.76	COOPER LIGHTING, VST VENTUS LED, 2 BAR, TYPE 3
■	1	GWC-AF-01-LED-EI-SL4	SINGLE	0°	15'	0.76	COOPER LIGHTING, GWC GALLEON LED, 1 BAR, 1,000 MA, TYPE 4
●	1	VST-ED2-LED-E-U-SL3-HSS	SINGLE	0°	12'	0.76	COOPER LIGHTING, VST VENTUS LED, 2 BAR, TYPE 3 WITH HOUSE SIDE SHIELD

CALCULATION SCHEDULE							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	1.65	4.1	0.4	4.13	10.25
							2.46

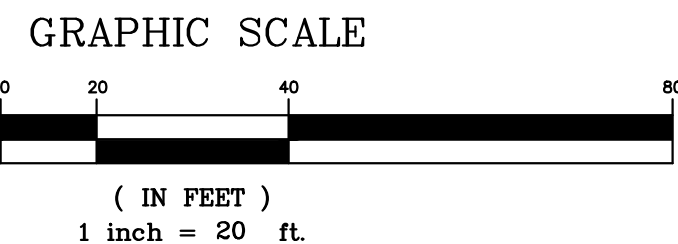
PLANTING SCHEDULE					
TAG	QTY	SYMBOL	LATIN NAME	COMMON NAME	REMARKS
CF	3	⊗	CORNUS FLORIDA	FLOWERING DOGWOOD	2-2 1/2" CAL. B&B
EA	2	⊗	EUONYMUS ALATUS 'COMPACTUS'	DWARF WINKED BURNING BUSH	18"-24" B&B
IC	3	⊗	SKY PENCIL HOLLY	ILEX CRENATA 'SKY PENCIL'	2'-3" B&B
CA	6	⊗	CAULOPHOTHOS AUSTRIACA 'KARL FOERSTER'	FEATHER REED GRASS 'KARL FOERSTER'	#3 B&B
VM	100	⊗	VINCA MINOR	PERIWINKLE	2 1/4" PLUG ----
TO	13	⊗	THUJA STANDISHII X PLICATA	THUJA GREEN GIANT ARBORVITAE	5'-6" B&B



SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS & EVERGREEN TREE PLANTING DETAILS
NOT TO SCALE



GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NUDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
- ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE, CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.

LEGEND

---	EXISTING SIDEWALK ELEVATION	---	PROPOSED CONTOUR
---	EXISTING GROUND ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING CENTERLINE ELEVATION	---	EXISTING PAVEMENT ELEVATION
---	EXISTING TOP OF CURB ELEVATION	---	EXISTING GRAVEL ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION	---	EXISTING BUILDING ELEVATION
---	EXISTING DEPRESSED CURB	---	EXISTING CONCRETE ELEVATION
---	EXISTING SANITARY MANHOLE	---	EXISTING TOP OF GRATE ELEVATION
---	EXISTING STORM MANHOLE	---	EXISTING INVERT
---	EXISTING UTILITY POLE	---	EXISTING SPOT ELEVATION
---	EXISTING WATER VALVE	---	EXISTING EDGE OF PAVEMENT ELEVATION
---	EXISTING TREE AND SIZE	---	---
---	EXISTING TREES TO BE REMOVED	---	---

LIGHTING & LANDSCAPE PLAN PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

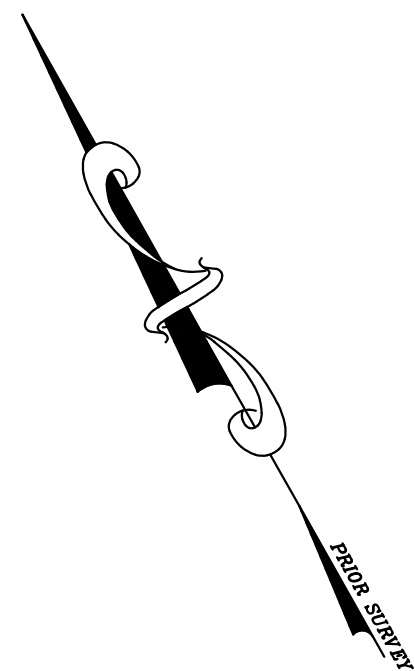
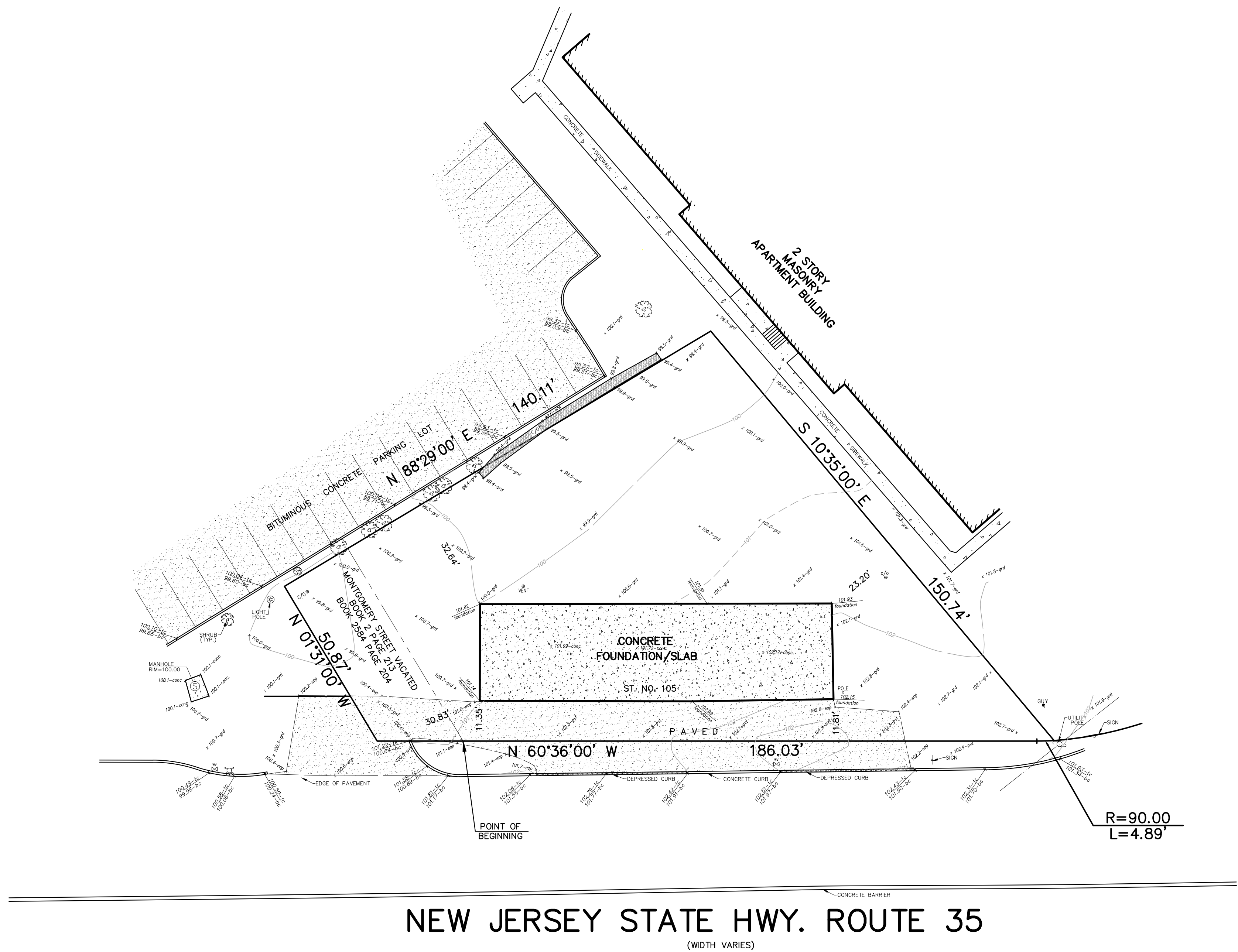
EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
3/13/2023 - REVISED PER BOARD ENGINEER COMMENTS

Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24605325200

Job No. 844934 Date 3/31/2021 Scale 1"=20' Drawn MW Map No. Sheet 4 of 4



NOTES

1. THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEPTIONS:

	YES	NO
A. DEED OF RECORD	☒	☐
B. FILED MAP	☐	☒
C. FIELD SURVEY	☒	☐
D. TITLE SEARCH	☒	☐
E. TAX MAP	☒	☐
F. OTHER (SEE REFERENCES)	☒	☐

2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.

3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.

5. NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.

6. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS.

7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION =100.00 (ASSUMED).

8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(045:6-36.3) AND N.J.A.C. 13:40-5.1(d).

9. PARCEL CONTAINS 14,608 S.F. ±.

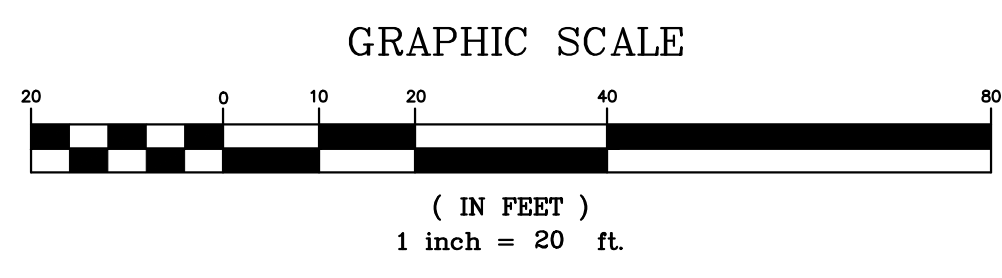
RECORD DEED
DEED BOOK 9276, PAGE 5247

TAX MAP
SHEET No. 2

REFERENCE
N/A

FILED MAP DATA
N/A

LEGEND			
	-sw	EXISTING SIDEWALK ELEVATION	
	-grd	EXISTING GROUND ELEVATION	
	-cl	EXISTING CENTERLINE ELEVATION	
	-tc	EXISTING TOP OF CURB ELEVATION	
	-bc	EXISTING BOTTOM OF CURB ELEVATION	
	-dc	EXISTING DEPRESSED CURB	
	SM	EXISTING SANITARY MANHOLE	
	FH	EXISTING FIRE HYDRANT	
	SMH	EXISTING STORM MANHOLE	
	GW	EXISTING GUY WIRE	
	UP	EXISTING UTILITY POLE	
	WV	EXISTING WATER VALVE	
	GV	EXISTING GAS VALVE	
	TR	EXISTING TREE AND SIZE	
	-ts	EXISTING TOP OF SLOPE	
	-bs	EXISTING BOTTOM OF SLOPE	
	100	PROPOSED CONTOUR	
	100.00	PROPOSED SPOT ELEVATION	
	-pav	EXISTING PAVEMENT ELEVATION	
	-grd	EXISTING GRAVEL ELEVATION	
	-bldg	EXISTING BUILDING ELEVATION	
	-fnc	EXISTING FENCE ELEVATION	
	-conc	EXISTING CONCRETE ELEVATION	
	TG	EXISTING TOP OF GRATE ELEVATION	
	INV.	EXISTING INVERT	
	100.00	EXISTING SPOT ELEVATION	
	-ep	EXISTING EDGE OF PAVEMENT ELEVATION	
	200	EXISTING CONTOUR	
	-tw	EXISTING TOP OF WALL	
	-bw	EXISTING BOTTOM OF WALL	



BOUNDARY & TOPOGRAPHIC SURVEY
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:

WAYNE K. APPLGATE, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 35347

Job No. 847709

Date 2/27/2023

Scale 1" = 20'

Drawn WKA

Map No. FILE

Sheet 1 of 1