

PRELIMINARY & FINAL MAJOR SITE PLAN

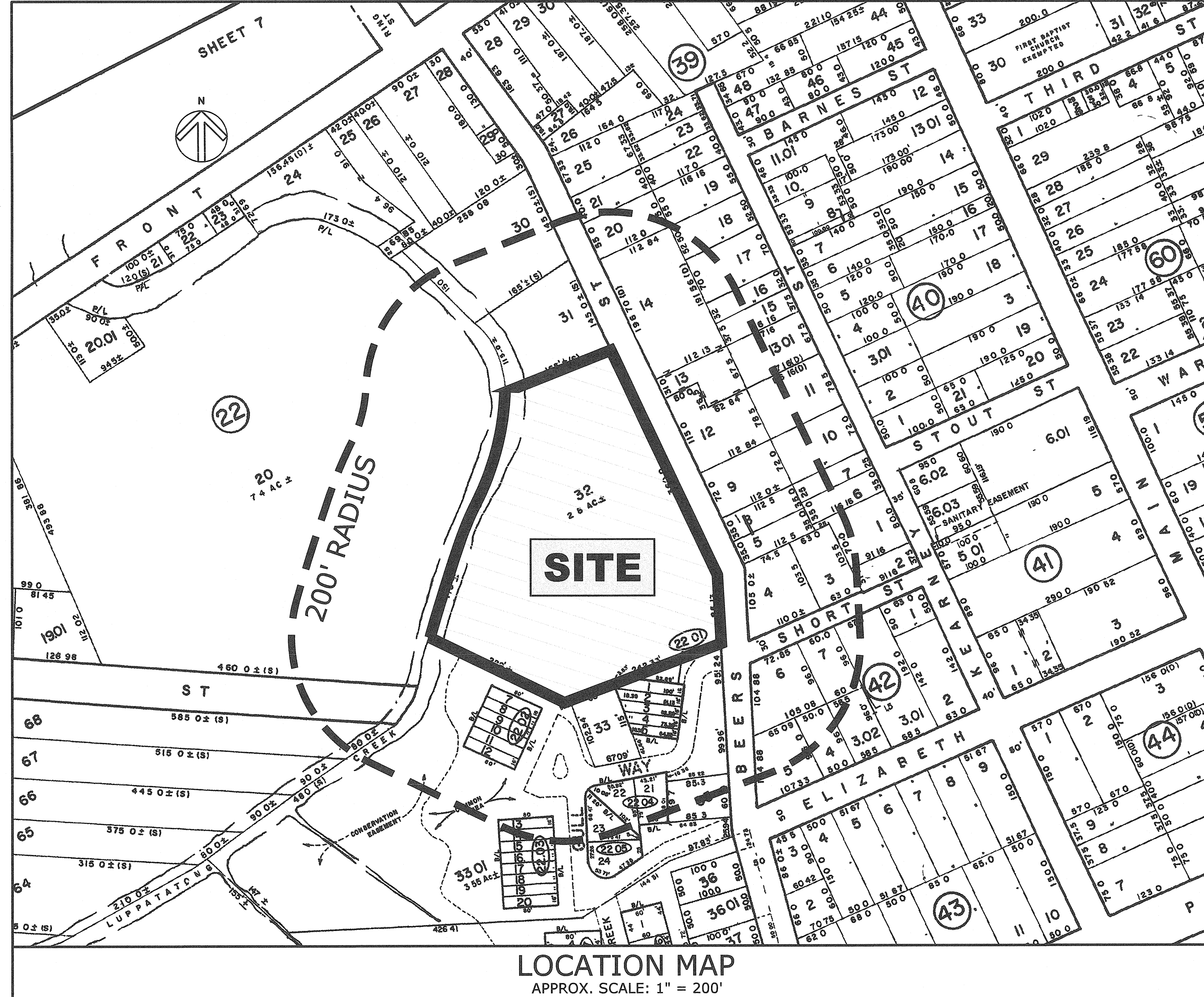
OYSTER BAY APARTMENTS

PREPARED FOR:

LOT 32 OF BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY
TAX MAP SHEET 8

BLOCK	LOT	ADDRESS	BLOCK	LOT	ADDRESS
22	33	COLORIO, DOREEN & JERRY 6 GULL WAY KEYPORT, NJ 07735	39	4.01	HILL, CHERYL 14 SHORT KEYPORT, NJ 07735
22	33.01	SANDPiper HOMEOWNERS ASSO % 439 STILLWELLS CORNER RD FREEHOLD, NJ 07728	39	5.01	BURLEW, RYAN 53 BEERS STREET KEYPORT, NJ 07735
22	35	BROOKING, DANIEL M & JENINE 114 BEERS STREET KEYPORT, NJ 07735	39	6	AUMACK, HARRY 52 KEARNEY KEYPORT, NJ 07735
22	67	METRICK, SUZANNE FAITH 5 LUPPATONG AVE KEYPORT, NJ 07735	39	8	AUMACK, HARRY III & MARGARET E 52 KEARNEY STREET KEYPORT, NJ 07735
22	68	CATANZARITE, SHANA 1 LUPPATONG KEYPORT, NJ 07735	39	11	SMITH, RITA 36 KEARNEY STREET KEYPORT, NJ 07735
22.01	1	MARIOCCA, VICTORIA 1 GULL WAY KEYPORT, NJ 07735	39	12.01	45 BEERS, LLC 5030 SHAPTO ROAD TINTON FALLS, NJ 07724
22.01	2	PINTO, JOSEPH 2 GULL WAY KEYPORT, NJ 07735	39	13.01	MINUTELLA, JOSEPH & DOREEN A 34 KEARNEY STREET KEYPORT, NJ 07735
22.01	3	CARDELLA, MICHAEL & ESPOSITO, CATHERINE 3 GULL WAY KEYPORT, NJ 07735	39	15	HILA, JOHN & KATHLEEN 30 KEARNEY ST KEYPORT, NJ 07735
22.01	4	LOPEZ, RAFAEL 4 GULL WAY KEYPORT, NJ 07735	39	16	CUTTS, MORGAN L 28 KEARNEY ST KEYPORT, NJ 07735
22.01	5	SMITH, STEVEN 5 GULL WAY KEYPORT, NJ 07735	39	20	MAYS, KYLE LARKEY & SCURA, MARISA 25 BEERS ST KEYPORT, NJ 07735
22.02	7	FINNEY, JAMES PATRICK JR 7 GULL WAY KEYPORT, NJ 07735	39	21	EVANS, FRANK & KILLEN, KASEY 27 BEERS ST KEYPORT, NJ 07735
22.02	8	GLIMORE, WILLIAM 2 TARA LIN DR HAZLET, NJ 07735	42	3.01	MARDOZA, DANIEL J III & STEPHANIE 75 ELIZABETH ST KEYPORT, NJ 07735
22.02	9	MCDONALD, DARNELL JKELLY, CHRISTINE 9 GULL WAY KEYPORT, NJ 07735	42	3.02	LYNCH, PATRICK J 77 ELIZABETH STREET KEYPORT, NJ 07735
22.02	10	PICCONI, JOSEPH 10 GULL WAY KEYPORT, NJ 07735	42	4	WALKER, THOMAS H & ANNA I 44 VALMONT ST KEYPORT, NJ 07735
22.02	11	MAHONEY, JANET 11 GULL WAY KEYPORT, NJ 07735	42	5	SHAW, MICHAEL G & KATHLEEN H 95 ELIZABETH KEYPORT, NJ 07735
22.02	12	INGUAGGIATO, JOS & CAMPBELL, HEATHER 12 GULL WAY KEYPORT, NJ 07735	42	6	SHORT ST REALTY, LLC 1430 FOREST AVENUE LAKEWOOD, NJ 08701
22.03	13	MIETZ, EILEEN A & RYAN, MICHAEL J 13 SHORY ST KEYPORT, NJ 07735	42	7	KWIECINSKI, PAUL G & ELENA S 15 SHORY ST KEYPORT, NJ 07735
22.03	14	JACOVINO, DEBORAH 14 GULL WAY KEYPORT, NJ 07735	TO BE RECEIVED		
22.04	21	ADVANI, MAHINDER & BETH 21 GULL WAY KEYPORT, NJ 07735			
22.04	22	BOTTGER, ALAN 22 GULL WAY KEYPORT, NJ 07735			
22.05	23	RUSO, MICHAEL F JR 23 GULL WAY KEYPORT, NJ 07735			
39	1	MURPHY, JOHN J & MARIE Y 54 KEARNEY STREET KEYPORT, NJ 07735			
39	2	KAPLAN, MORDECHAI & GAYLE 58 KEARNEY STREET KEYPORT, NJ 07735			
39	3	CASSIDY, MARJORIE 16 SHORT STREET KEYPORT, NJ 07735			

200' PROPERTY OWNERS



LOCATION MAP
APPROX. SCALE: 1" = 200'

PROJECT ATTORNEY:

JEFFREY B. GALE, ESQ.
GALE & LAUGHLIN, LLP.
2814 HIGHWAY 35
HAZLET, N.J. 07730

PROJECT SURVEYOR:

JOHN T. LUTS, PLS
YORKANIS & WHITE, INC.
23 VILLAGE COURT
HAZLET, N.J. 07730
(732) 888-3211

PROJECT ARCHITECT:

JACK PURVIS, AIA
38 LAKESIDE DRIVE
P.O. BOX 222
FARMINGDALE, NJ 07727
(732) 292-9300

GENERAL NOTES:

- PROPERTY BEING KNOWN AS LOT 32 OF BLOCK 22 AS SHOWN ON SHEET 8 OF THE CURRENT OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, DATED SEPTEMBER 9, 1995.
- PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL IS HEREBY REQUESTED FOR THE CONSTRUCTION OF A "WORKSHOP" BUILDING, GAZEBO, RELOCATION OF TRASH ENCLOSURE, SIGN REPLACEMENT, AND SIDEWALK RELOCATION.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE RC RESIDENTIAL DISTRICT C ZONE.
- THIS PROJECT DESIGN IS CONSISTENT WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS AS PROMULGATED BY THE DEPARTMENT OF COMMUNITY AFFAIRS. NO WAIVERS OR DE MINIMIS EXCEPTIONS TO THE STANDARDS ARE REQUESTED.
- TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JOHN T. LUTS, PLS OF YORKANIS & WHITE, INC ON NOVEMBER 11, 2021, AND CERTIFIED TO KENNEDY CONSULTING ENGINEERS, LLC.
- OUTBOUND INFORMATION SHOWN HEREON TAKEN FROM "ALTANPS LAND TITLE SURVEY OF PROPERTY BELONGING TO KEYPORT LEGION APARTMENTS, INC. DESIGNATED AS LOT NO. 32, BLOCK 22, AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY, STATE OF NEW JERSEY ALSO KNOWN AS 50 BEERS STREET, BOROUGH OF KEYPORT, MONMOUTH COUNTY, STATE OF NEW JERSEY", PREPARED BY RAMSAY LAND SURVEYING, P.C., DATED OCTOBER 31, 2019.
- WETLANDS ON OR ADJACENT TO THE SUBJECT PROPERTY WERE DELINEATED IN THE FIELD BY ENVIRONMENTAL CONSULTANT DONALD A. DIMARZIO, P.P.
- A PORTION OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22 IS SITUATED IN FLOOD ZONE "AE" (EL 11); ZONE "AE" (EL 12) & ZONE "X" (OTHER), AS SHOWN ON A CERTAIN MAP ENTITLED: "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 37 OF 457, BOROUGH OF KEYPORT, COMMUNITY-PANEL NUMBER 340304 0037 F; MAP NO. 34025C0037F"; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 25, 2008.

PROPERTY IS ALSO SITUATED IN FLOOD ZONE "AE" (EL 13); ZONE "AE" (EL 14); ZONE "VE" (EL 15); ZONE "X" (OTHER) AND ZONE "X" (OTHER), AS SHOWN ON A CERTAIN MAP ENTITLED: "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 37 OF 457, BOROUGH OF KEYPORT, COMMUNITY-PANEL NUMBER 340304 0037 G; MAP NO. 34025C0037G"; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED PRELIMINARY JANUARY 31, 2014.
- PROPERTY OWNER/APPLICANT:
OYSTER BAY URBAN RENEWAL, LLC.
50 BEERS STREET
KEYPORT, NJ 07735
- UTILITIES:
WATER SERVICE: BOROUGH OF KEYPORT WATER/SEWER DEPARTMENT
SEWER SERVICE: BOROUGH OF KEYPORT WATER/SEWER DEPARTMENT
TELEPHONE SERVICE: VERIZON
ELECTRIC SERVICE: JERSEY CENTRAL POWER & LIGHT
CABLE TELEVISION: COMCAST CABLE COMPANY
GAS SERVICE: NEW JERSEY NATURAL GAS COMPANY

ZONING SUMMARY - BLOCK 22, LOT 32 RESIDENTIAL DISTRICT C (RC)				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	3 AC.	115,993 S.F. (2.662 AC.)	115,993 S.F. (2.662 AC.)	EXISTING NON CONFORMANCE
MAXIMUM DENSITY	20 UNITS / AC.	78.13 UNITS / AC	78.13 UNITS / AC	EXISTING NON CONFORMANCE
MINIMUM LOT WIDTH	200 FT.	438 FT.	438 FT.	EXISTING NON CONFORMANCE
MAXIMUM LOT COVERAGE	80%	62.6%	62.6%	EXISTING NON CONFORMANCE
MINIMUM USABLE OPEN SPACE	400 SF PER D.U. (8,200 SF)	33,555 SF	33,555 SF	EXISTING NON CONFORMANCE
MAXIMUM BUILDING HEIGHT	3 STORIES / 40 FT	10 STORES/40 FT	10 STORES/40 FT	EXISTING NON CONFORMANCE
MAXIMUM STRUCTURE LENGTH	200 FT.	218.54 FT	218.54 FT	EXISTING NON CONFORMANCE
MINIMUM SETBACK REQUIREMENTS				
FROM PUBLIC R.O.W.	30 FT.	56.3 FT.	56.3 FT.	
FROM ANY OTHER PROPERTY LINE	50 FT.	36.6 FT.	36.6 FT.	EXISTING NON CONFORMANCE
VARIANCE:				

*DENSITY: 208 UNITS / 2.662 AC = 78.13 UNITS/AC

SITE PLAN OF: _____
BLOCK: _____ LOT: _____ ZONE: _____
DATE: _____ SCALE: _____
APPLICANT: _____
ADDRESS: _____
I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD: _____
(OWNER) _____ (DATE) _____
I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.
(NAME) _____ (TITLE & LICENSE) _____
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION.
(DATE) _____ (MUNICIPAL ENGINEER) _____
APPROVED BY PLANNING BOARD:
PRELIMINARY: _____
FINAL: _____
(CHAIRMAN) _____ (DATE) _____
I HAVE NO OBJECTION TO THE BOARD GRANTING A COMPLETENESS WAIVER FOR THIS ITEM, PROVIDED THE APPLICANT REVISES THE PLANS TO INCLUDE THE SAME.

INDEX OF SHEETS			
TITLE SHEET	FILE	NO.	PLAN DATE
EXISTING CONDITIONS AND DEMOLITION PLAN	TS-1	1 OF 4	10/25/23
SUBDIVISION LAYOUT PLAN	EX-1	2 OF 4	10/25/23
CRITICAL AREAS PLAN	SP-1	3 OF 4	10/25/23
	CA-1	4 OF 4	10/25/23

PARKING SUMMARY	
*AS PER RISIS, N.J.A.C. 5:21-4.14 - NUMBER OF SPACES	
*GARDEN APARTMENTS 1.8 SPACES PER DWELLING UNIT	
*PARKING REQUIRED: (208) 1 BEDROOM APARTMENTS * 1.8 SPACES PER UNIT = 375 SPACES	
*PARKING PROVIDED: 115 SURFACE SPACES (INCLUDING 4 BARRIER FREE SPACES) (EXISTING NONCONFORMANCE)	

10/25/23	REVISED PER NIDEP COMMENTS	KS/ARC
03/21/23	REVISED PER RESOLUTION COMPLIANCE	KS/ARC
03/09/23	REVISED PER NIDEP COMMENTS	KS/ARC
02/14/23	REVISED PER RESOLUTION COMPLIANCE	KS/ARC

PRELIMINARY & FINAL MAJOR SITE PLAN

OYSTER BAY APARTMENTS

LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT
MONMOUTH COUNTY - NEW JERSEY
TAX MAP SHEET 8 - DATED 09/09/95

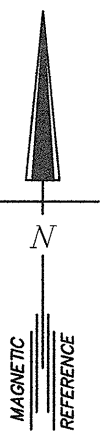
Kennedy Consulting Engineers, LLC
211 Maple Avenue
Red Bank, New Jersey 07701
732.212.9393 TEL • 732.212.9399 FAX

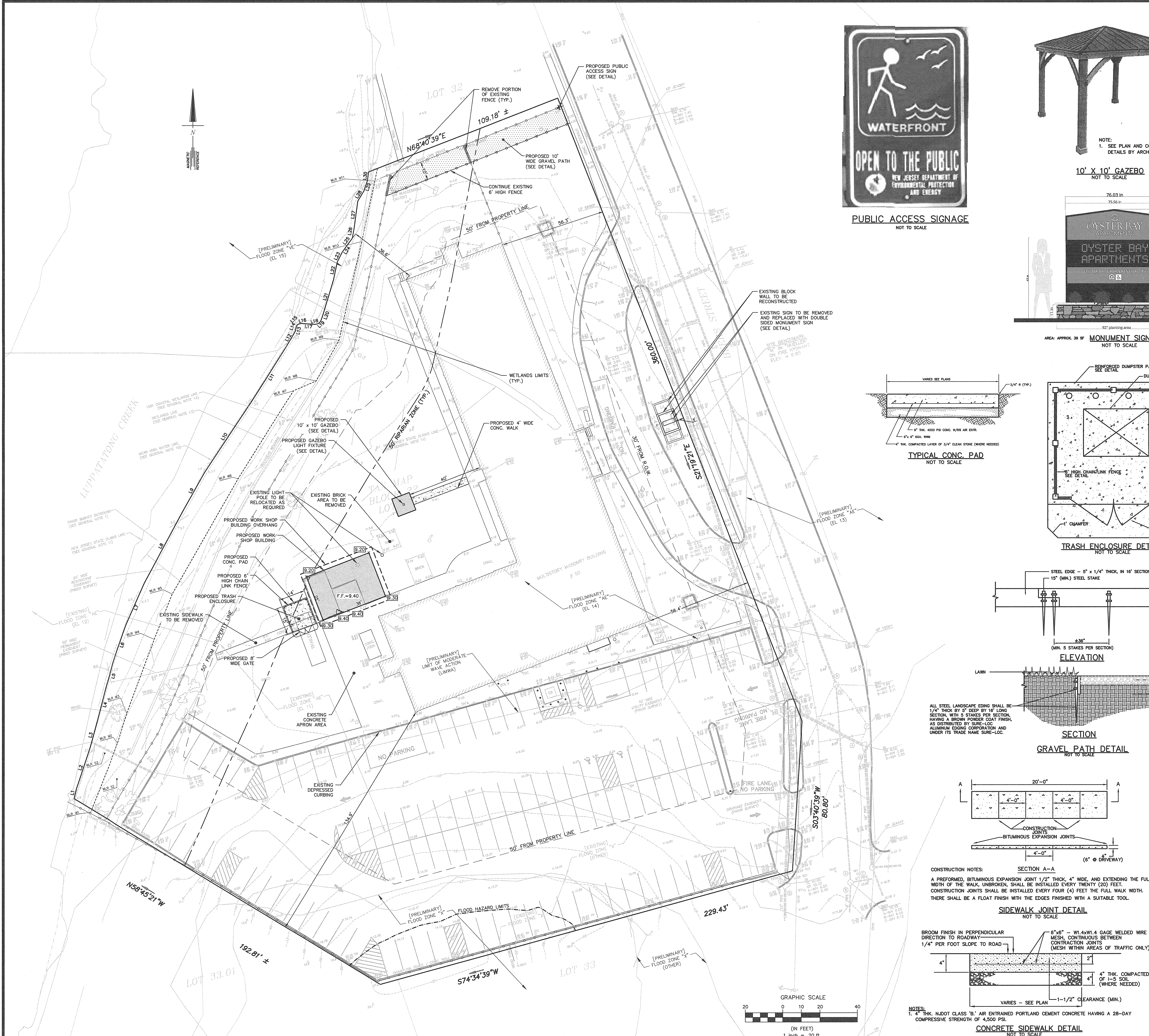
JAMES A. KENNEDY, P.E.
NEW JERSEY PROFESSIONAL ENGINEER NO. 41275

TITLE SHEET
1 OF 4
FILENAME: TS-1
DRAWN BY: KS/ARC
DATE: 06/04/22
DIGITAL SIGNATURE VALID FOR PDF ONLY

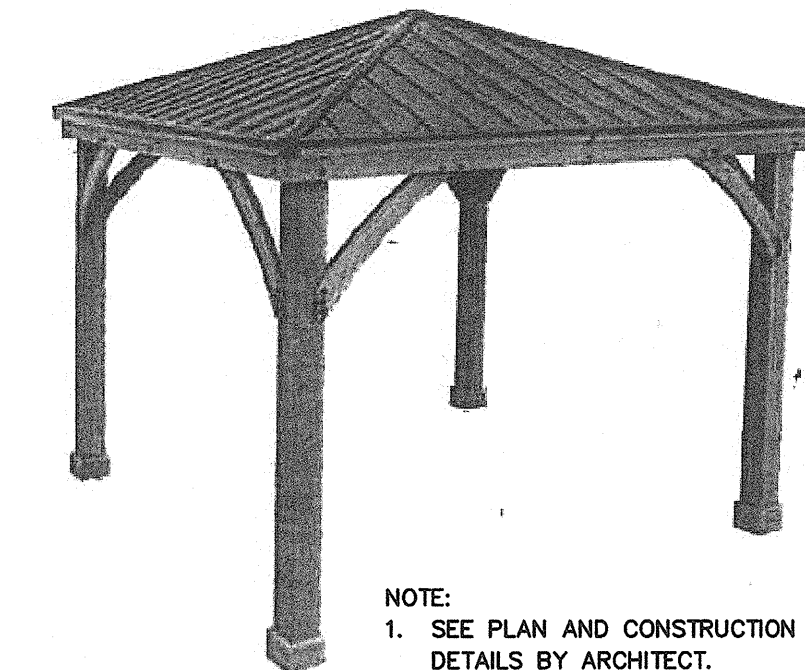


1. THE WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
-NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
-MONTHLY MAINTENANCE MANUALS
-CURRENT PRACTICE STANDARDS
-CURRENT MANUFACTURER'S SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
-CURRENT, PREVAILING UTILITY CONTRACTOR OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
2. ALL BARRIER FENCE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE AMERICANS WITH DISABILITY ACT, AND THE NJ BARRIER FENCE SUBCODE.
3. CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY EQUIPMENT USAGE FOR DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
4. THE CONTRACTOR IS DESIGNATED AS THE RESPONSIBLE PARTY DURING CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN. AS SUCH, CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
5. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTE SITE IMPROVEMENTS.
6. ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE FREEDOM SOIL CONSERVATION ACT.
7. ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS.
8. ALL ROAD DRAIN LEADS TO BE DIRECTED TOWARDS STABILIZED SURFACES, USING SLOPE FLASHINGS, LEAKAGE DRAINAGE, AND OTHER METHODS.
9. THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED PRIOR TO EXCAVATION OF ANY SITE OR WITHIN 96 HRS. (800) 272-7600.
10. ALL UTILITY CONNECTIONS AND RELATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY AND REQUEST TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
11. EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
12. ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
13. ALL WATER AND SEWER MAINS SHALL BE INSTALLED WITH A HORIZONTAL SEPARATION OF 10" OR A VERTICAL SEPARATION OF 18", OR BE ENCASED IN CONCRETE, 8" THICK, ON TOP OF OTHER SIZE OF CONSTRUCTION.
14. ALL WATER MAINS SHALL BE SETTLED TO A DEPTH TO OBTAIN A MINIMUM OF FOUR (4) FEET OF COVER TO THE TOP OF THE PIPE.
15. ALL PROPOSED WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON, CLASS 52, AT THE SIZE INDICATED ON PLAN.
16. ALL PROPOSED SANITARY SEWER MAIN EXTENSIONS SHALL BE CONSTRUCTED OF 8" DIA. DUCTILE IRON, CLASS 52, AT THE SIZE INDICATED ON PLAN. ALL SEWER CONSTRUCTION SUBJECT TO NHDOT APPROVAL AND OTHER AUTHORITY INSPECTIONS.
17. ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE COST EXPENSE OF THE CONTRACTOR.
18. DURING ROAD WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI.
19. CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIR TO EXISTING ROADWAYS.
20. CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONTRACT DOCUMENTS.
21. ALL IMPROVEMENTS SHOWN ON THIS PLAN TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
22. CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL, IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
23. THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL, FINRA AND AGENCY APPROVALS. THIS PLAN MAY NOT BE UTILIZED FOR CONSTRUCTION UNLTI MARKED "FOR CONSTRUCTION".
24. SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY INFORMATION AS LOT 32 IN BLOCK 22, BOROUGH OF KEPTON, MONTGOMY COUNTY OF NEW JERSEY", PREPARED BY RAYMOND LAND SURVEYING, INC., DATED OCTOBER 31, 2019.
25. OUTBOUND SURVEY INFORMATION SHOWN HEREON TAKEN FROM "ALTA/NPS LAND TITLE SURVEY OF PROPERTY BELONGING TO KEPTON LEGION APARTMENTS, INC. DESIGNATED BY LOT 32 IN BLOCK 22, SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF KEPTON, MONTGOMY COUNTY, NEW JERSEY, STATE OF NEW JERSEY ALSO KNOWN AS "KEPTON LEGION APARTMENTS, INC. PROPERTY", PREPARED BY RAYMOND LAND SURVEYING, INC., PREPARED BY RAYMOND LAND SURVEYING, P.C., DATED OCTOBER 31, 2019.
26. NO BASEMENTS ARE PROPOSED.



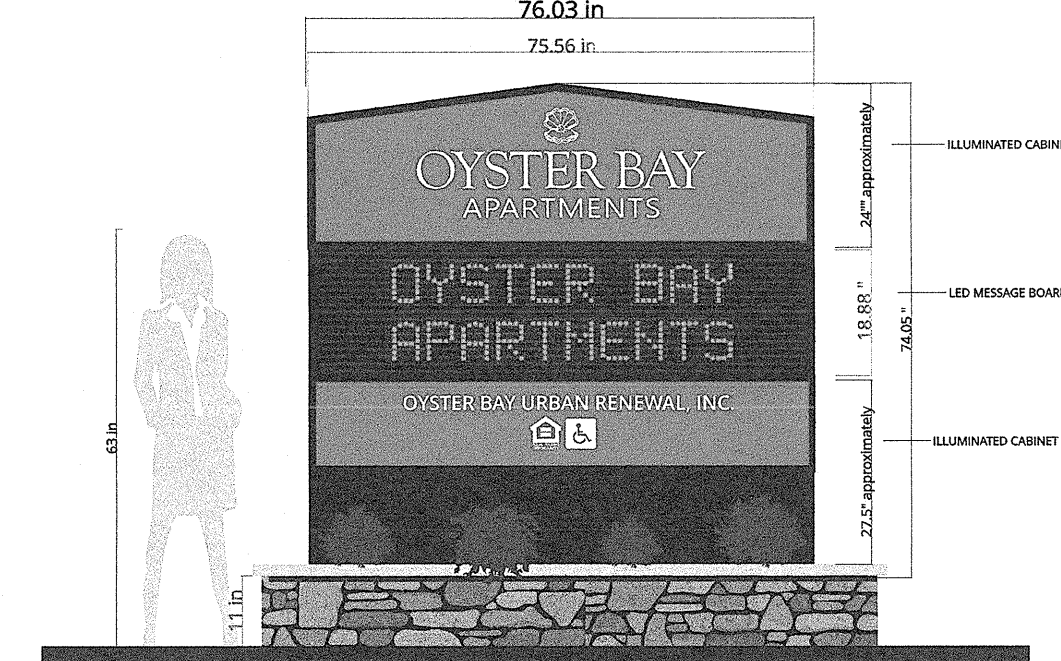


PUBLIC ACCESS SIGNAGE
NOT TO SCALE



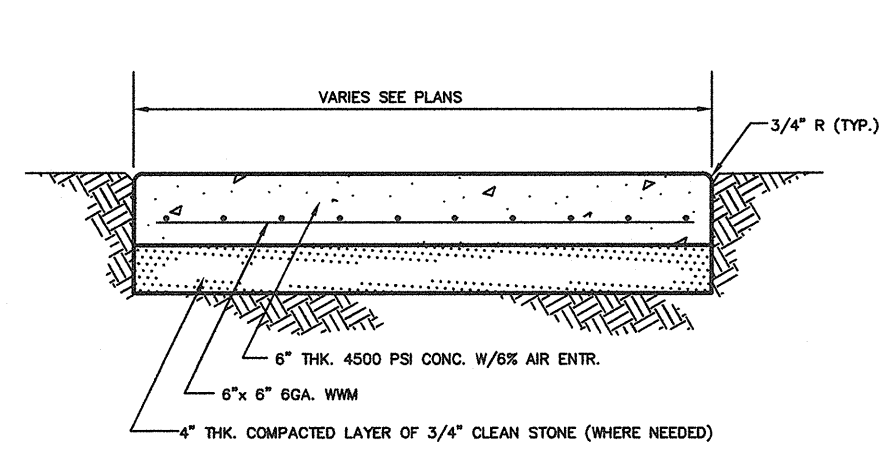
NOTE:
1. SEE PLAN AND CONSTRUCTION DETAILS BY ARCHITECT.

10' X 10' GAZEBO
NOT TO SCALE

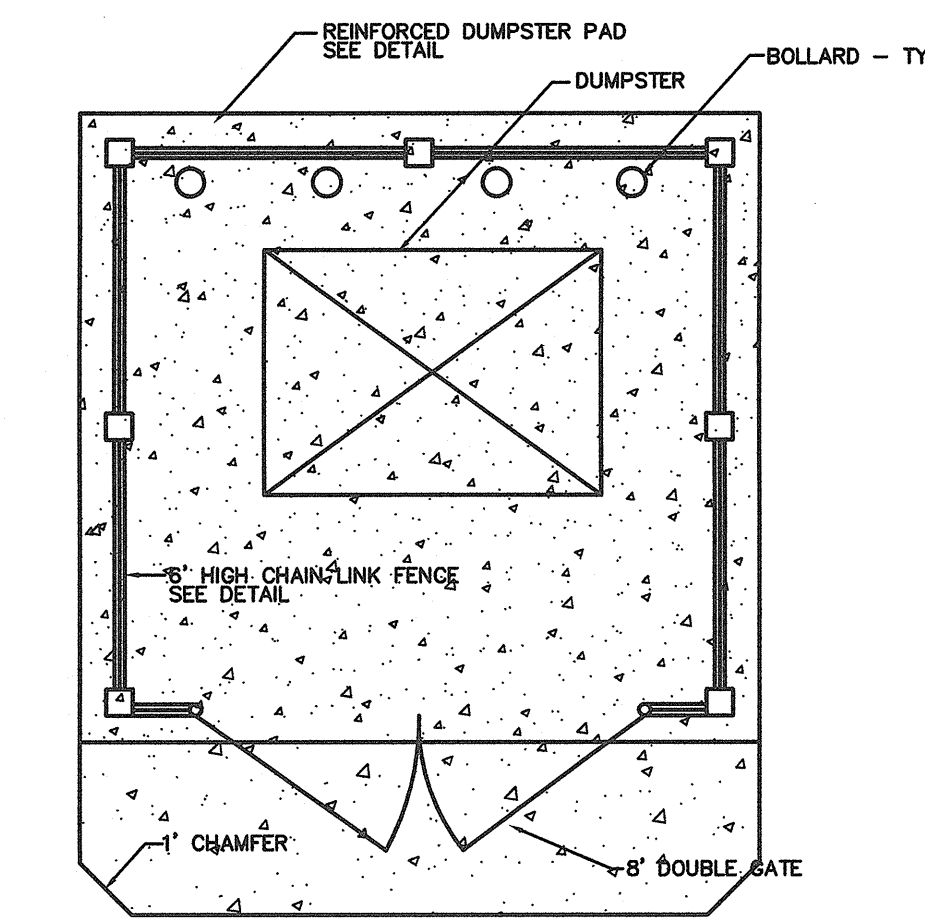


NOTE:
1. SIGN SHALL BE DOUBLE FACED, WITH LED MESSAGE BOARD.
2. SIGN SHALL BE INTERNALLY ILLUMINATED.

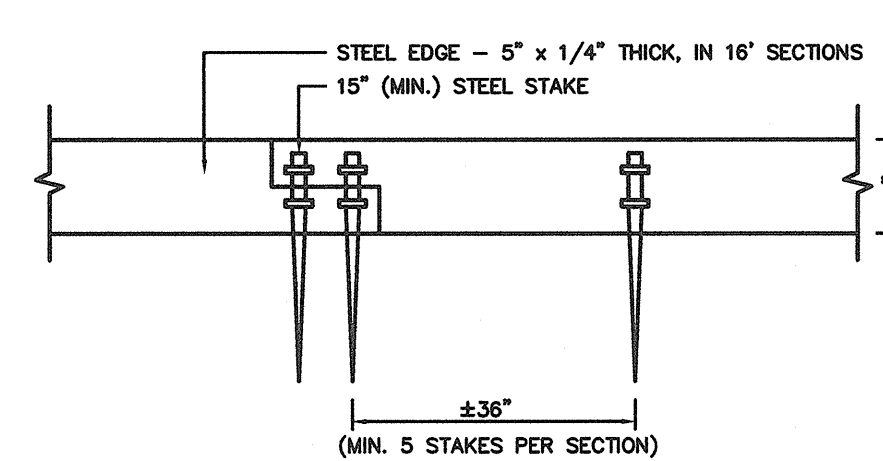
MONUMENT SIGN
NOT TO SCALE



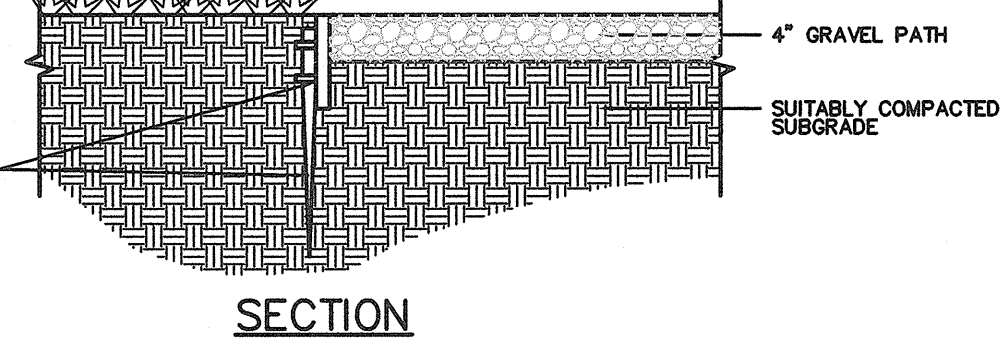
TYPICAL CONC. PAD
NOT TO SCALE



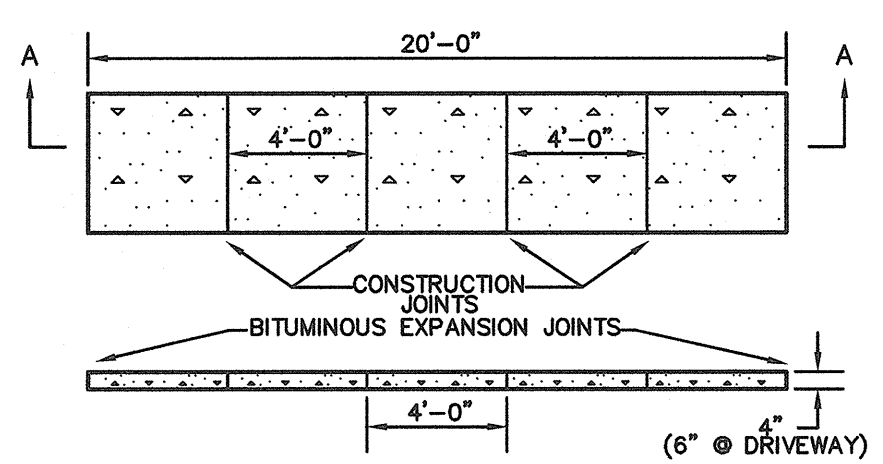
TRASH ENCLOSURE DETAIL
NOT TO SCALE



ELEVATION



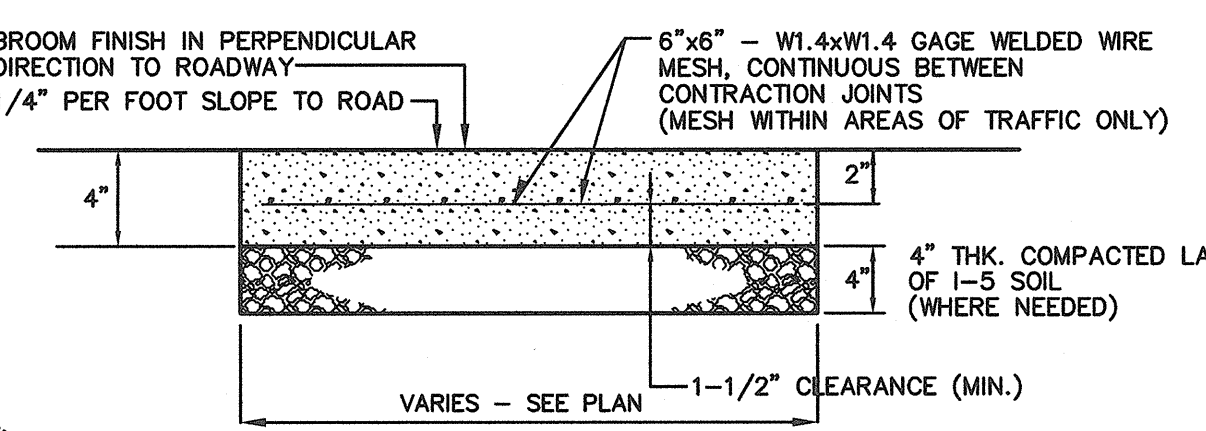
SECTION
GRAVEL PATH DETAIL
NOT TO SCALE



SECTION A-A

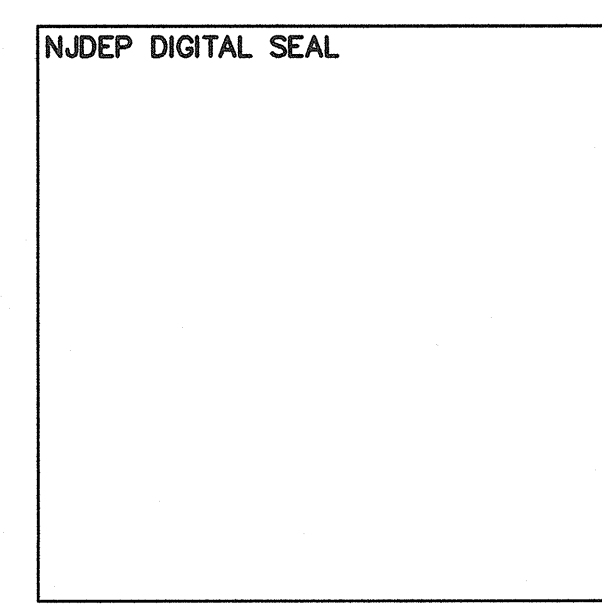
CONSTRUCTION NOTES:
A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY TWENTY (20) FEET. CONSTRUCTION JOINTS SHALL BE INSTALLED EVERY FOUR (4) FEET THE FULL WALK WIDTH. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.

SIDEWALK JOINT DETAIL
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE

NOTES:
1. 4" THK. MUDOT CLASS 'B' AIR ENTRAINED PORTLAND CEMENT CONCRETE HAVING A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.



- General Construction Notes**
- ALL WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
-MUTCD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
-MONMOUTH COUNTY DESIGN STANDARDS
-MUNICIPAL DESIGN STANDARDS
-CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
-CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
 - ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE AMERICANS WITH DISABILITY ACT, AND THE NJ BARRIER FREE SUBCODE.
 - CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
 - THE CONTRACTOR IS DESIGNATED AS THE RESPONSIBLE PARTY DURING CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON. AS SUCH, CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
 - CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
 - ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE FREEDHOLD SOIL CONSERVATION DISTRICT STANDARDS.
 - ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS.
 - ALL ROOF DRAIN LEADERS TO BE DIRECTED TOWARDS STABILIZED SURFACES, USING SPLASH BLOBS, LEADERS, OR OTHER METHODS.
 - THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED PRIOR TO EXCAVATION ON-SITE OR WITHIN R.O.W. (800) 272-1000
 - ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY AND ARCHITECT TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
 - EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
 - ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - ALL WATER AND SEWER MAINS SHALL BE INSTALLED WITH A HORIZONTAL SEPARATION OF 12" OR A VERTICAL SEPARATION OF 18", OR BE ENCASED IN CONCRETE, 8" THICK, 10' ON EITHER SIDE OF CROSSINGS.
 - ALL WATER MAINS SHALL BE INSTALLED AT A DEPTH TO OBTAIN A MINIMUM OF FOUR (4) FEET OF COVER TO THE TOP OF THE PIPE.
 - ALL PROPOSED WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON, CLASS 52, AT THE SIZE INDICATED ON PLAN.
 - ALL PROPOSED SANITARY SEWER MAIN EXTENSIONS SHALL BE CONSTRUCTED OF 8" MINIMUM DIAMETER PVC SDR-35 OR APPROVED EQUAL. ALL SEWER CONSTRUCTION SUBJECT TO MAJOR APPROVALS AND OTHER AUTHORITY INSPECTION.
 - ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - DURING R.O.W. WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI.
 - CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIR TO EXISTING ROADWAYS.
 - CONCRETE SHALL BE MUDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
 - ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER NOT CONTRARY TO LOCAL OR STATE ORDINANCES.
 - CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
 - THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL, FIRE AND AGENCY APPROVALS. THIS PLAN NOT TO BE UTILIZED FOR CONSTRUCTION UNTIL MARKED "FOR CONSTRUCTION".
 - SURVEY INFORMATION SHOWN HEREON TAKEN FROM "TOPOGRAPHICAL SURVEY MAP OF PROPERTY KNOWN AS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JOHN T. LUTS, PLS OF YORKTOWN & WHITE, INC ON NOVEMBER 11, 2021, AND CERTIFIED TO KENNEDY CONSULTING ENGINEERS, LLC.
 - OUTBOUND INFORMATION SHOWN HEREON TAKEN FROM "ALTA/AMPS LAND TITLE SURVEY OF PROPERTY BELONGING TO KEYPORT LEGION APARTMENTS, INC. DESIGNATED AS LOT NO. 32, BLOCK 22, AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY, STATE OF NEW JERSEY ALSO KNOWN AS 50 BEERS STREET, BOROUGH OF KEYPORT, MONMOUTH COUNTY, STATE OF NEW JERSEY", PREPARED BY RAMSAY LAND SURVEYING, P.C., DATED OCTOBER 31, 2019.
 - NO BASEMENTS ARE PROPOSED.



NOTE:
1. LIGHT FIXTURE SHALL BE EXTERIOR RATED

GAZEBO LIGHT FIXTURE
NOT TO SCALE

10/25/23	REVISED PER NUDEP COMMENTS	KS/ARC
06/26/23	REVISED PER NUDEP COMMENTS	KS/ARC
03/21/23	REVISED PER RESOLUTION COMPLIANCE	KS/ARC
03/09/23	REVISED PER NUDEP COMMENTS	KS/ARC
02/14/23	REVISED PER RESOLUTION COMPLIANCE	KS/ARC
11/08/22	REVISED PER TWP. REVIEW	KS/ARC

PRELIMINARY & FINAL MAJOR SITE PLAN	
OYSTER BAY APARTMENTS LOT 32 IN BLOCK 22, BOROUGH OF KEYPORT MONMOUTH COUNTY - NEW JERSEY TAX MAP SHEET 8 - DATED 09/09/95	
 Kennedy Consulting Engineers, LLC 211 Maple Avenue Red Bank, New Jersey 07701 732.212.9393 TEL • 732.212.9399 FAX	
JAMES A. KENNEDY, P.E. NEW JERSEY PROFESSIONAL ENGINEER NO. 41275	
LAYOUT, GRADING, & UTILITY PLAN	
3 OF 4	
FILENAME: LP-1 DRAWN BY: KS/ARC DATE: 06/04/22	
DIGITAL SIGNATURE VALID FOR PDF ONLY	

