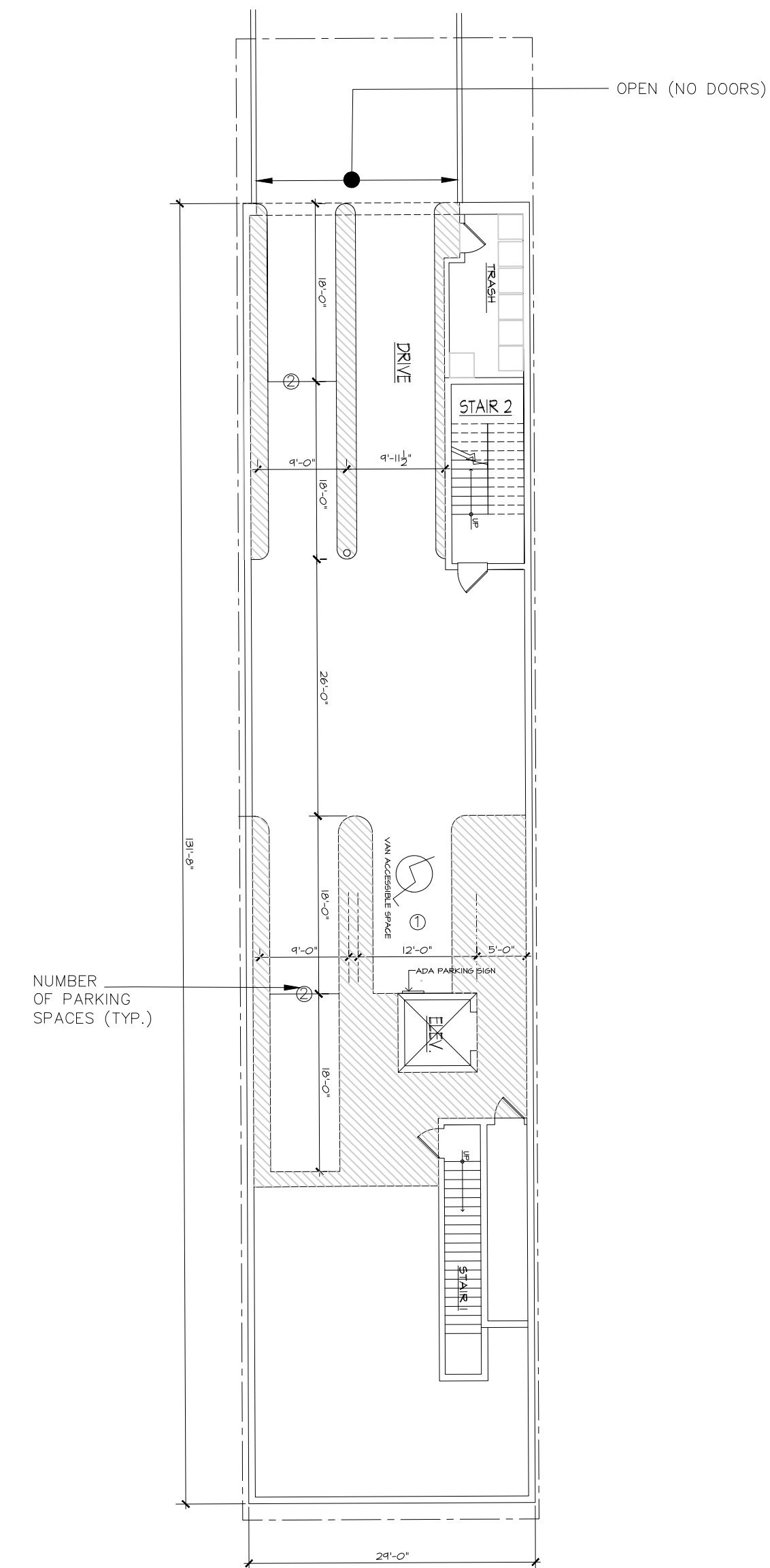
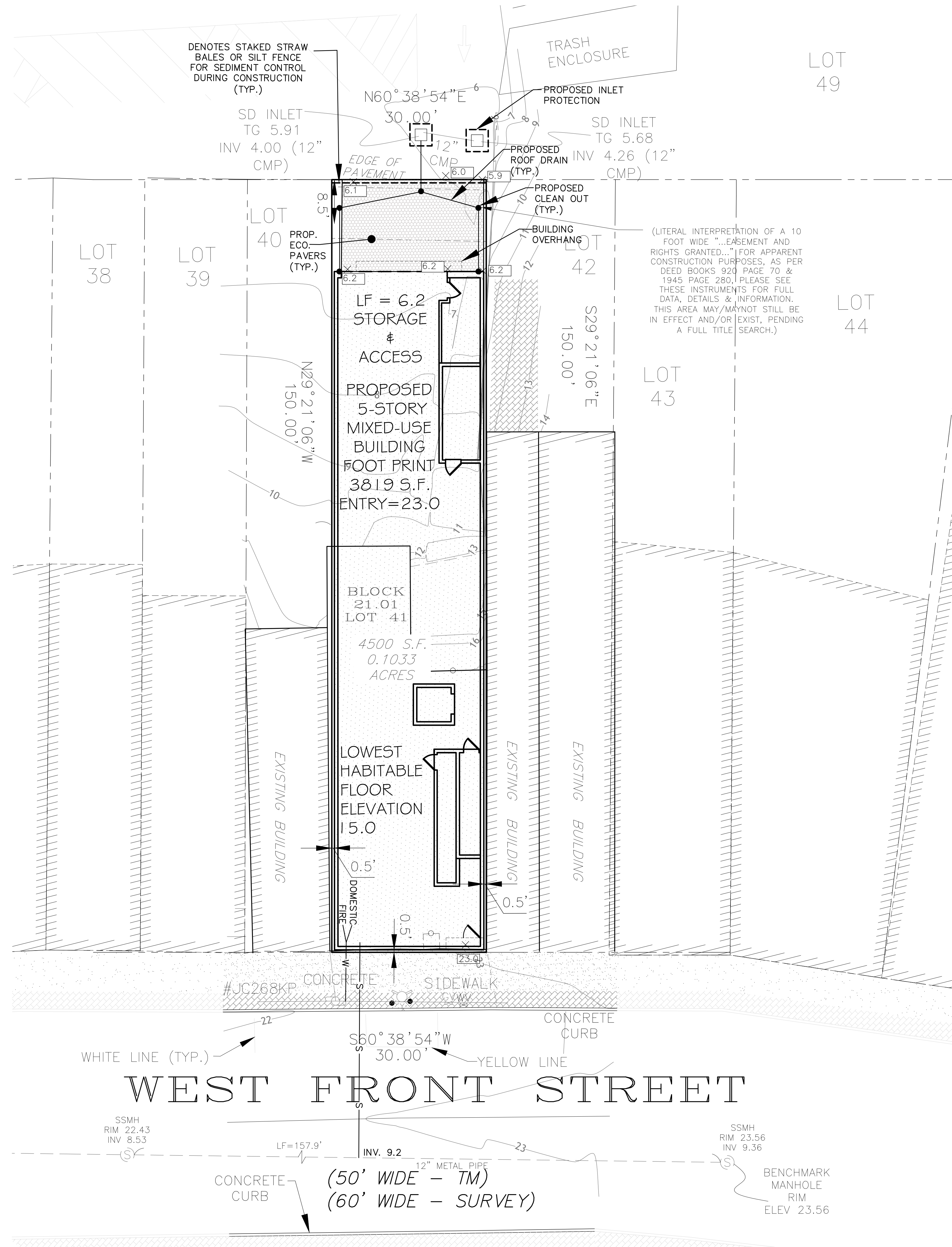
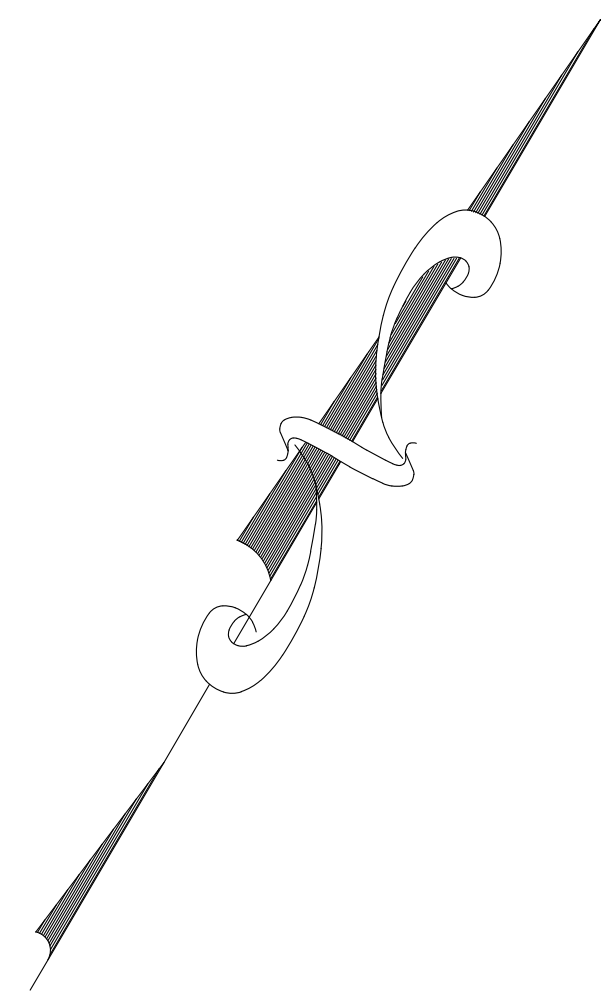


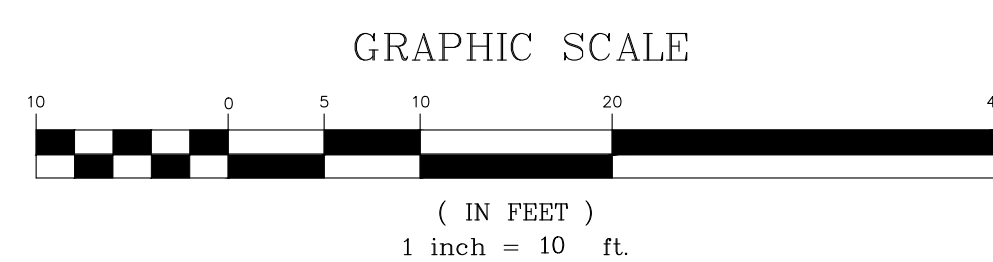


LOWER LEVEL FLOOR PLAN
NOT TO SCALE

NOTES:

1. PROPOSED ROOF DRAIN COLLECTION SYSTEM WILL BE COLLECTED AND CONVEYED INTERNALLY THROUGH THE BUILDING AND DISCHARGED VIA 6" PVC PIPING UNDERGROUND INTO BOROUGH STORM SEWER SYSTEM.
2. PROPOSED SIDEWALK, CURB, AND PAVEMENT DISTURBANCE SHALL COMPLY WITH MONMOUTH COUNTY STANDARDS.
3. THE ENTIRE SITE AREA WILL BE THE LIMIT OF DISTURBANCE. SILT FENCE SHALL BE TEMPORARILY INSTALLED ACROSS THE REAR PROPERTY LINE DURING CONSTRUCTION, AND MOVED WHEN NECESSARY TO FACILITATE CONSTRUCTION VEHICLE/EQUIPMENT ENTERING AND LEAVING SITE.
4. PAVEMENT REPAIR FOR THE ROOF DRAIN CONNECTION INTO THE BOROUGH STORM SEWER SYSTEM SHALL COMPLY WITH KEYPORT BOROUGH STANDARDS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH BOROUGH ENGINEER THE APPROPRIATE SHUT DOWN OF PUBLIC PARKING SPACES AT THE REAR OF PROPERTY.
6. UTILIZE EXISTING WATER SERVICE AND SEWER LATERALS (WATER VALVE AND CLEAN OUT LOCATIONS UNKNOWN, BUT INSIDE WALK AREA) FOR RESIDENTIAL SERVICE (SERVICE FROM MAINS IN WEST FROM STREET).
7. NEW COMBINED WATER SERVICE/FIRE PROTECTION AND SEWER LATERAL FOR THE RESTAURANT. INTERNAL METER AFTER WATER SERVICE/FIRE PROTECTION LINE SPLIT. SIDEWALK, CURB AND PAVEMENT WITHIN WEST FRONT STREET R.O.W. TO BE REPAIRED AS NECESSARY IN ACCORDANCE TO BOROUGH'S STANDARDS.
8. MAIN ENTRANCE AT 31 WEST FRONT STREET- ELEVATION 23. EXISTING SIDEWALK GRADE. INTERIOR HALL WAY TO ELEVATOR AND STEPS. SECONDARY ACCESS FROM LOWER LEVEL VIA BOTH STAIRS AND ELEVATOR.

EXISTING FEATURES	LEGEND	PROPOSED FEATURES
EXIST. TREE CANOPY LINE		PROP. TREE CANOPY LINE
EXIST. SANITARY MANHOLE		PROP. SURFACE FLOW DIRECTION
EXIST. INLET		PROP. LIMIT OF DISTURBANCE
EXIST. UTILITY POLE		PROP. INLET W/ SEDIMENT BARRIER
EXIST. FIRE HYDRANT		PROP. SILT FENCE
EXIST. SPOT ELEVATION		PROP. SPOT ELEVATION
EXIST. WATER LINE		PROP. TOP CURB/OUTTER GRADE
EXIST. SANITARY SEWER		PROP. CONTOUR
EXIST. STORM SEWER		PROP. SANITARY SEWER MANHOLE
EXIST. CONTOUR		PROP. SANITARY SEWER
EXIST. FENCE		PROP. STORM SEWER MANHOLE
EX. TOP CURB/OUTTER GRADE		PROP. INLET
		PROP. STORM SEWER
		PROP. FLARED END SECTION
		PROP. WATER LINE
		PROP. WATER VALVE
		PROP. HYDRANT
		PROP. UTILITY POLE



NO	DESCRIPTION	DATE	BY
1	REV. PER KEYPORT PLANNING BOARD ENGINEERING & PLANNING REVIEW LETTER, DATED 4/14/21 & NEW BUILDING FOOT PRINT	6/18/21	CPG

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 246427889-000 •
100 RKE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH: 609-448-0500
12 ROBENS PARK
41 WATER STREET
TOMES RIVER, N.J. 08753
PH: 732-244-0888

DATE: 3/2/21
SCALE: 1" = 10'
DRAWN:
CHECKED:
SHEET: 3 OF 5
POCKET:

LORALI E. TOTTEN
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

PRELIMINARY and FINAL SITE PLAN
LOT 41
BLOCK 21.01
(TAX MAP SHEET NO. 7, CC ZONE)
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY

SITE PLAN

FILE NO. N-6493
DATE FILED: 6/18/21
BY: [Signature]