

200' OWNERS LIST (KEYPORT)				
Block	Lot	Owner	Owner's Address	
110	23	TEANECK ROAD PARTNERS, LLC	190 MAIN STREET, STE 201 HACKENSACK, NJ 07601	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
111	3.01	MD LIQUOR & WINE HOLDING LLC	117 HWY 355 KEYPORT, NJ 07735	
111	4	ONE HUNDRED SEVENTEEN SHG REALTY LL	1820 ROUTE 33 NEPTUNE NJ 07753	

200' OWNERS LIST (HAZLET)				
Block	Lot	Owner	Owner's Address	
164	1	3445 ROUTE 35 INVESTORS TIC I LLC	116 ROUTE 22 EAST N. PLAINFIELD, NJ 07060	
210	2	HD DEVELOP. OF MD % PROP. TAX DEPT.	PO BOX 105842 REW 0926 ATLANTA, GA 30348	

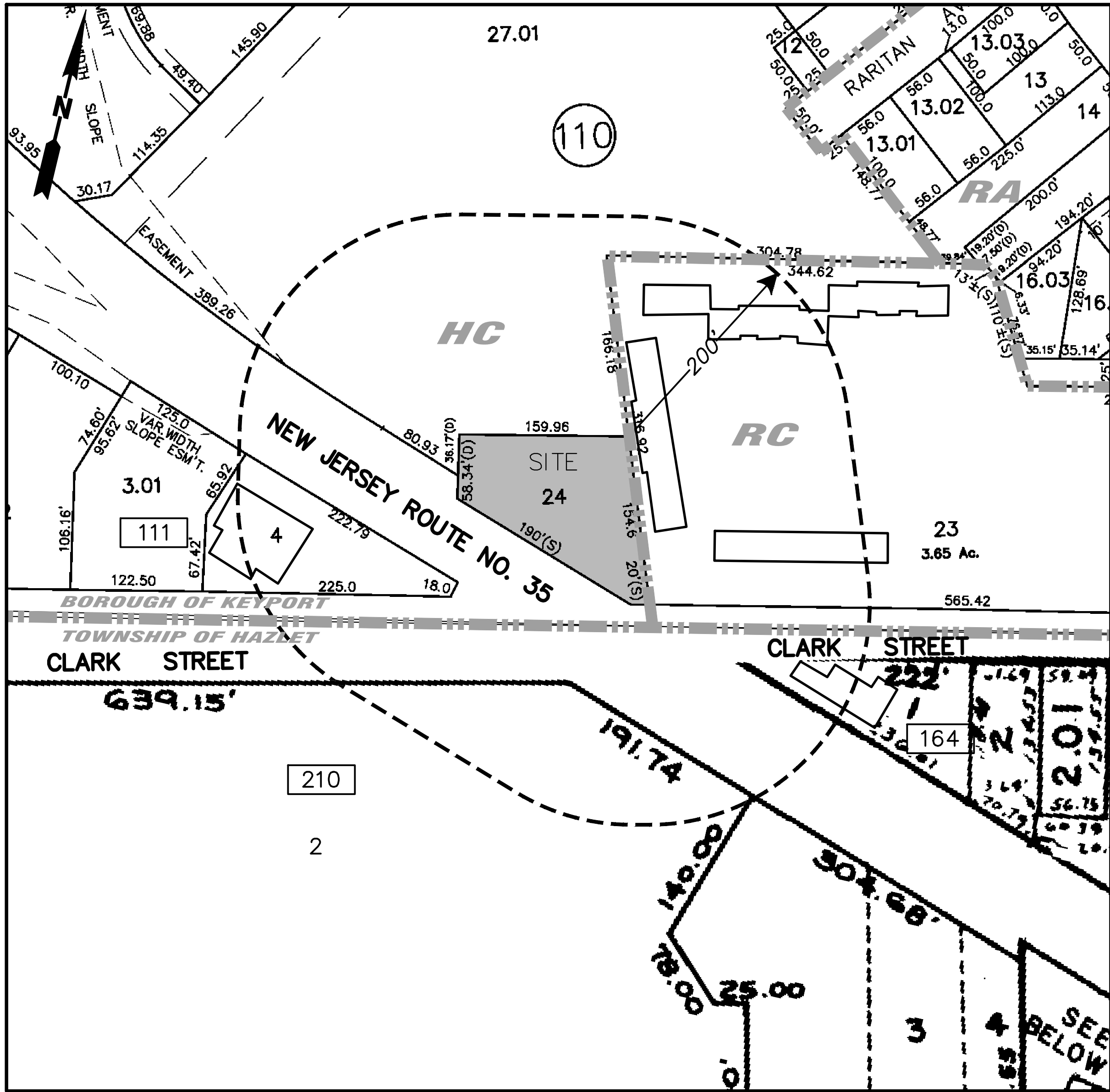
UTILITIES

BAYSHORE REGIONAL SEWERAGE AUTHORITY	100 OAK STREET UNION BEACH NJ 07735 PO BOX 184 BELFORD NJ 07718
BAYSHORE OUTFALL AUTHORITY	1709 UNION AVENUE PO BOX 158 HAZLET NJ 07730
SHORELANDS WATER CO., INC.	403 SOUTH STREET EATONTOWN NJ 07724 300 MADISON AVENUE PO BOX 1911 MORRISTOWN NJ 07962-1911
COMCAST CABLEVISION OF MONMOUTH COUNTY	1766 UNION AVE PO BOX 66 HAZLET NJ 07730
JERSEY CENTRAL POWER & LIGHT	900 US HIGHWAY 202/206 BEDMINSTER NJ 07921
HAZLET TOWNSHIP SEWER UTILITY DEPARTMENT	661 SHREWSBURY AVENUE SHREWSBURY NJ 07702 PO BOX 152206 IRVING TX 75015
AT & T COMPANY	1415 WYCKOFF ROAD PO BOX 1464 WALL NJ 07719
NJ AMERICAN WATER CO	
VERIZON - NEW JERSEY	
NEW JERSEY NATURAL GAS CO	

GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENTS OR DEED RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
- ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.
- ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION SHALL BE RESTORED BY THE APPLICANT. THE APPLICANT WILL BE REQUIRED TO REPAIR ANY SIDEWALK AND CURB DAMAGED DURING CONSTRUCTION IN ACCORDANCE WITH THE BOROUGH'S IMPROVEMENT STANDARDS AND TO THE SATISFACTION OF THE BOROUGH ENGINEER.
- PROPOSED HOURS OF OPERATIONS ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT
- A PRIVATE HAULER SHALL SERVICE THE ON-SITE REFUSE AND RECYCLING.
- THE APPLICANT IS PROHIBITED FROM ALLOWING CUSTOMER LINEUPS OUTSIDE OF THE ENTRANCE DOOR TO THE BUILDING. IF THE APPLICANT EXPERIENCES AN OVERFLOW OF CUSTOMERS, A REMOTE POINT-OF-SALE SYSTEM SHALL BE IMPLEMENTED.
- ALL PROPOSED STORMWATER INLETS AND STRUCTURES SHALL HAVE WATERTIGHT CONNECTIONS.

AMENDED PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 105 NEW JESEY STATE HIGHWAY 35 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY



TAX MAP & 200' RADIUS MAP
SCALE: 1" = 80'

SCHEDULE OF GENERAL REQUIREMENTS			
ZONE HC (HIGHWAY COMMERCIAL)			
EXISTING USE: VACANT/ABANDONED			
PROPOSED USE: RETAIL (P)			
REGULATION	REQUIREMENT	EXISTING (2)	PROPOSED
MIN. LOT AREA	10,000 S.F.	14,608 S.F.	14,608 S.F.
MIN. LOT WIDTH	100'	164.63'	164.63'
MIN. FRONT YARD	50'	—	11.97' (v)
MIN. SIDE YARD — ONE SIDE	6'	—	22.2'
MIN. SIDE YARD — BOTH SIDES	16'	—	53.4'
MIN. REAR YARD	20'	—	38.7'
MAX. BUILDING COVERAGE	35%	—	16.7%
MAX. BUILDING HEIGHT	3.5 STORIES/40'	—	1 STORY/20'
MAX. LOT COVERAGE	90%	30.5% (4,448 S.F.)	70.94% (10,363 S.F.)
MIN. PARKING SETBACK TO RESIDENCE OR STREET LINE(1)	5'	—	2' (v)

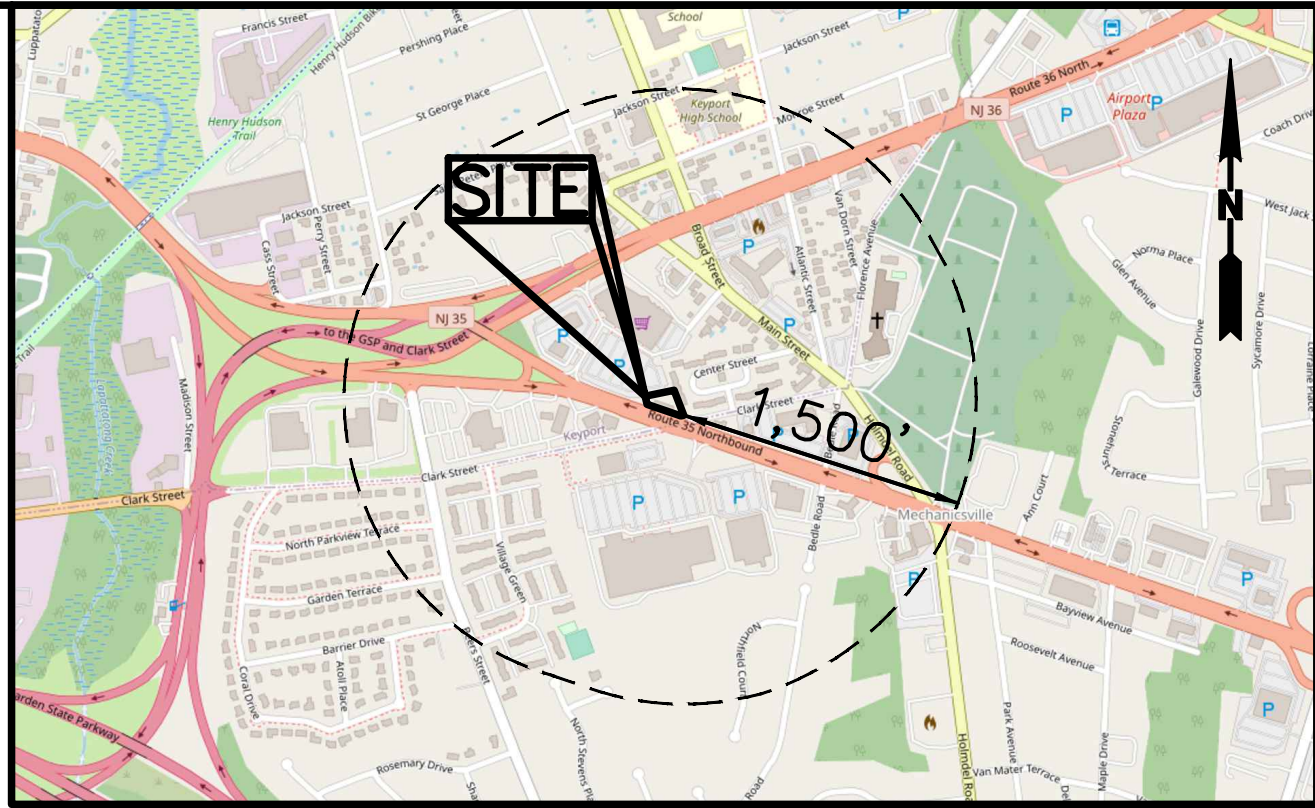
* — DENOTES EXISTING VIOLATION
(v) — DENOTES NEW VARIANCE REQUIRED
(P)— PERMITTED USE

NOTES: (1) SECTION 25:1-18 — OFF STREET PARKING AND LOADING FACILITIES SHALL NOT BE CLOSER THAN FIVE (5') FEET TO ANY R-ZONED LOT OR ANY STREET RIGHT-OF-WAY LINE
(2) EXISTING CONDITIONS LISTED ARE FROM THE PREVIOUS STRUCTURE, WHICH NO LONGER EXISTS ON THE PROPERTY.

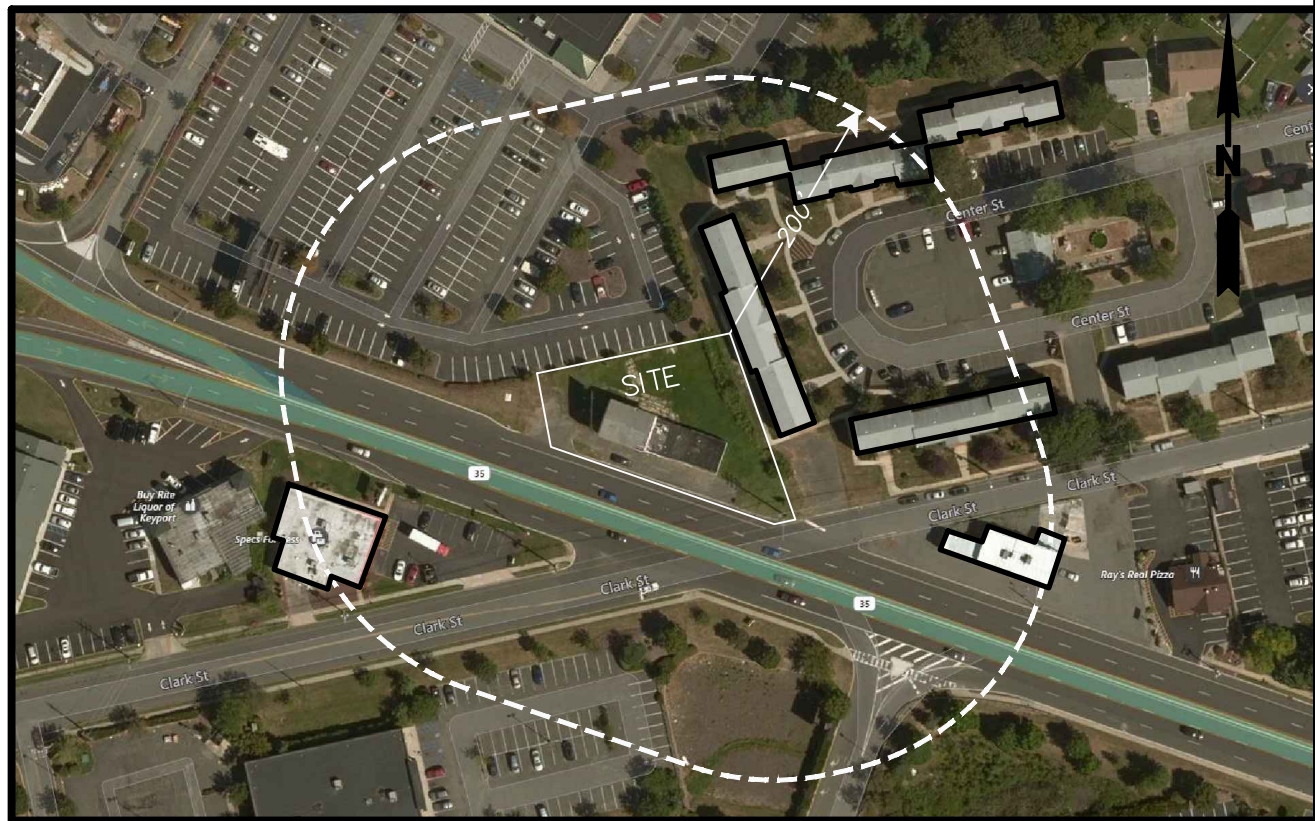
ADDITIONAL ORDINANCE RELIEF

SECTION 25:1-18.A.2. EACH OFF-STREET PARKING SPACE SHALL HAVE A MINIMUM AREA OF 180 SQUARE FEET (9' X 20') EXCLUSIVE OF ACCESS DRIVES AND AISLES AND SHALL BE OF USABLE SHAPE AND CONDITION. THIS SITE PLAN PROPOSES 9' X 18' PARKING SPACES WITH AN AVAILABLE 2 FEET OF OVERHANG AT ALL STALLS. WAIVER REQUESTED.

PARKING REQUIREMENTS	
REQUIREMENT: RETAIL SALES ONE SPACE FOR EVERY 300 S.F. OF GROSS FLOOR AREA 2,433 S.F. / 300 S.F. = 8.1 (USE 8 SPACES)	
TOTAL SPACES REQUIRED = 8 SPACES TOTAL SPACES PROPOSED = 11 SPACES (INCLUDES 1 ADA SPACES)	



KEY MAP
SCALE: 1" = 1,000'



AERIAL MAP
SCALE: 1" = 150'

OWNER/APPLICANT/ENGINEER

SITE PLAN OF 105 NUSH ROUTE 35
BLOCK 110 LOT 24 ZONE HC-HIGHWAY COMMERCIAL
DATE MARCH 31, 2024 SCALE AS SHOWN
APPLICANT BLAZE KEYPORT LLC
ADDRESS 38 EMPRESS COURT, FREDHOLD, NJ 07728

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD

NVMI LLC 11 LORIANN ROAD
(OWNER) WARREN, NJ 07059
(ADDRESS)

(OWNER SIGNATURE) DATE

I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.

JOSEPH N. BACHI 328 PARK AVENUE P.E. #24GE05325200
(NAME) SCOTCH PLAINS, N.J. 07076 (TITLE & LICENSE No.)
(ADDRESS)

Joseph N. Bachi 3/26/2025
(ENGINEER SIGNATURE) DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION

(DATE) (LAND USE BOARD ENGINEER)

SHEET	TITLE	ISSUED	REVISED
1	COVER SHEET	9/12/2024	4/29/2025
2	SITE PLAN	9/12/2024	3/26/2025
3	GRADING & DRAINAGE PLAN	9/12/2024	4/29/2025
4	LIGHTING & LANDSCAPE PLAN	9/12/2024	3/26/2025
5	CONSTRUCTION DETAILS	9/12/2024	4/29/2025
1 OF 1	VEHICLE MANEUVERING PLAN	9/12/2024	—
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY	2/27/2023	9/12/2024

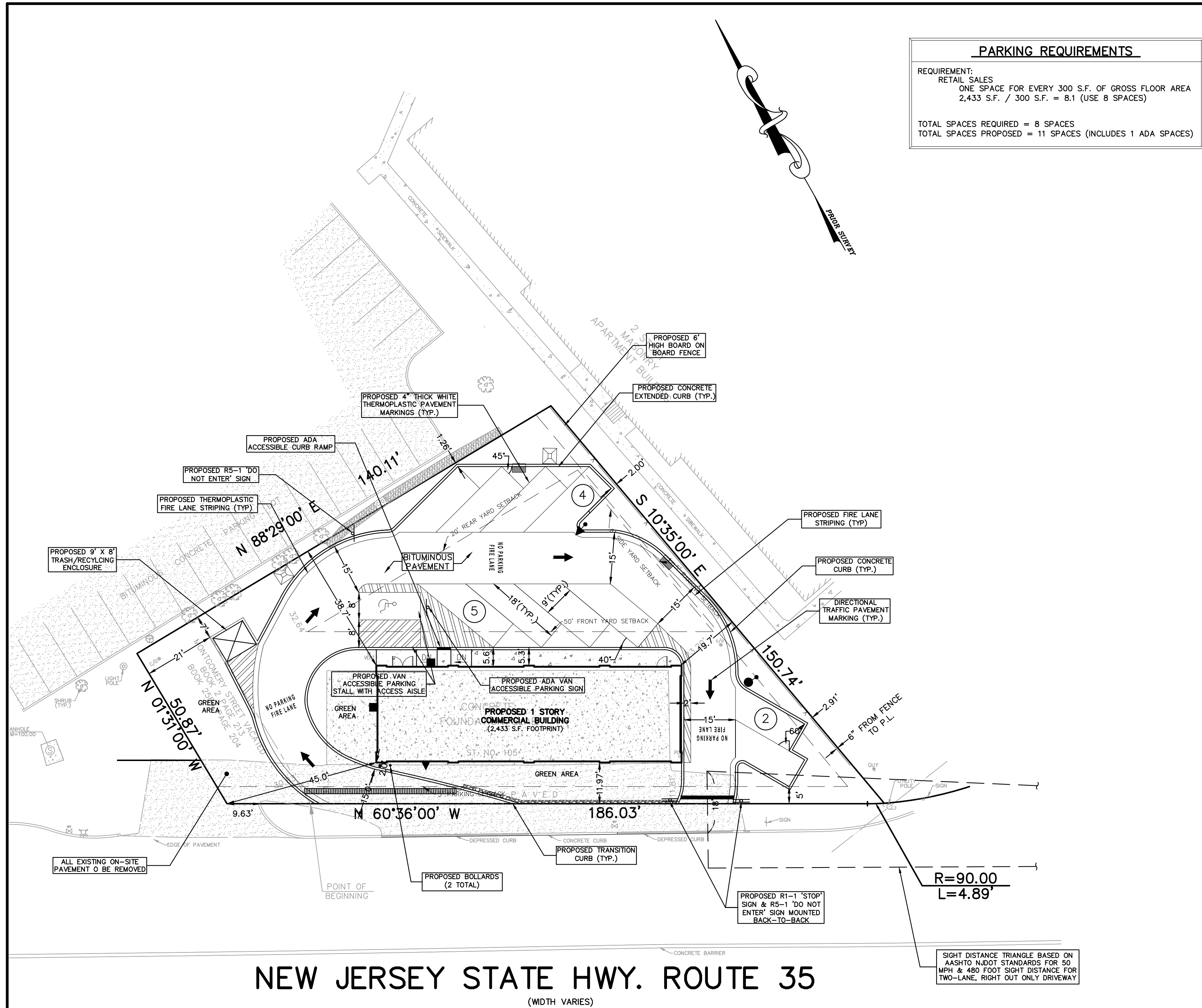
COVER SHEET
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
1/22/2025 — REVISED PER RESOLUTION COMPLIANCE
3/26/2025 — REVISED PER RESOLUTION COMPLIANCE
4/29/2025 — REVISED PER RESOLUTION COMPLIANCE

Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200

Job No. 847709	Date 9/12/2024	Scale AS SHOWN	Drawn SK	Map No.	Sheet 1 of 5
----------------	----------------	----------------	----------	---------	--------------



SCHEDULE OF GENERAL REQUIREMENTS

ZONE HC (HIGHWAY COMMERCIAL)
EXISTING USE: VACANT/ABANDONED
PROPOSED USE: RETAIL (P)

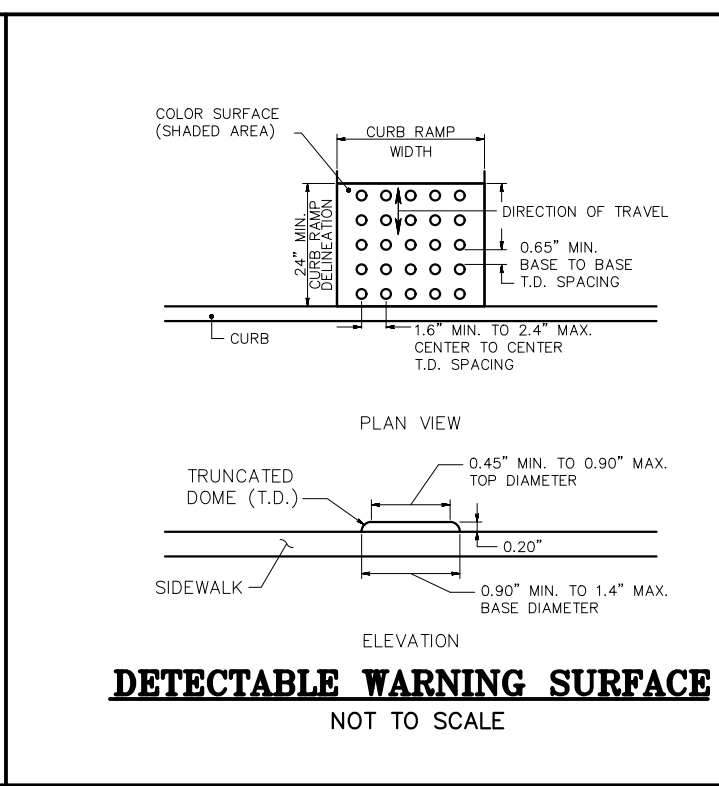
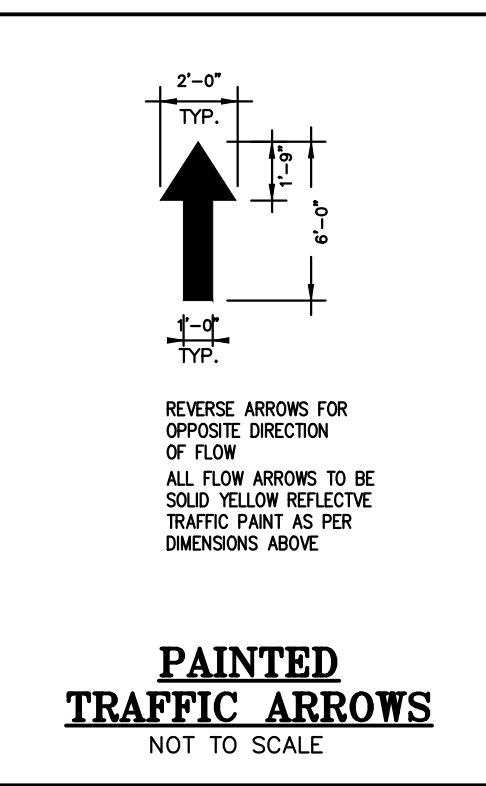
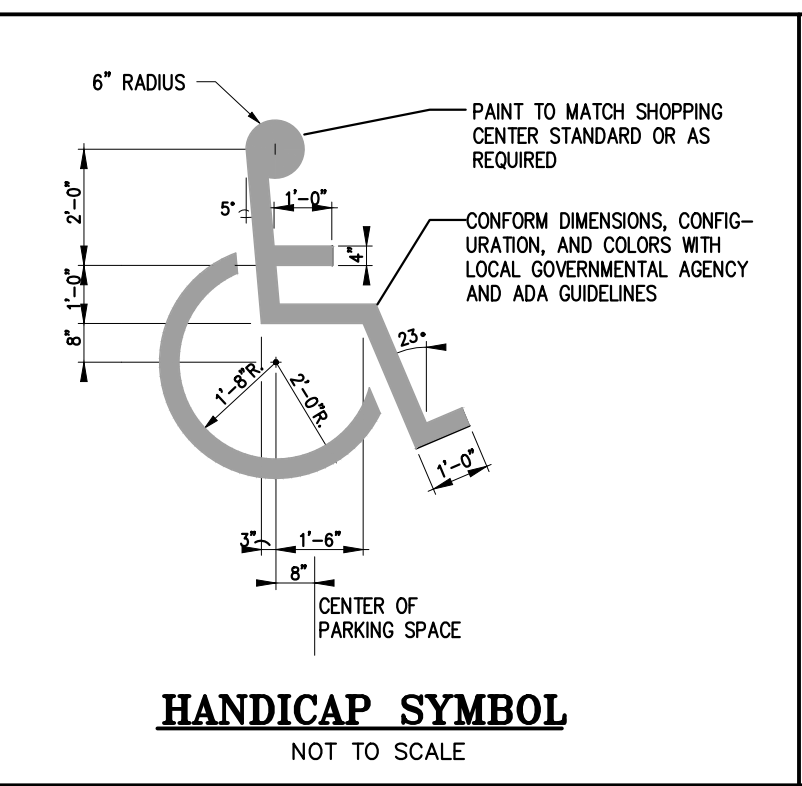
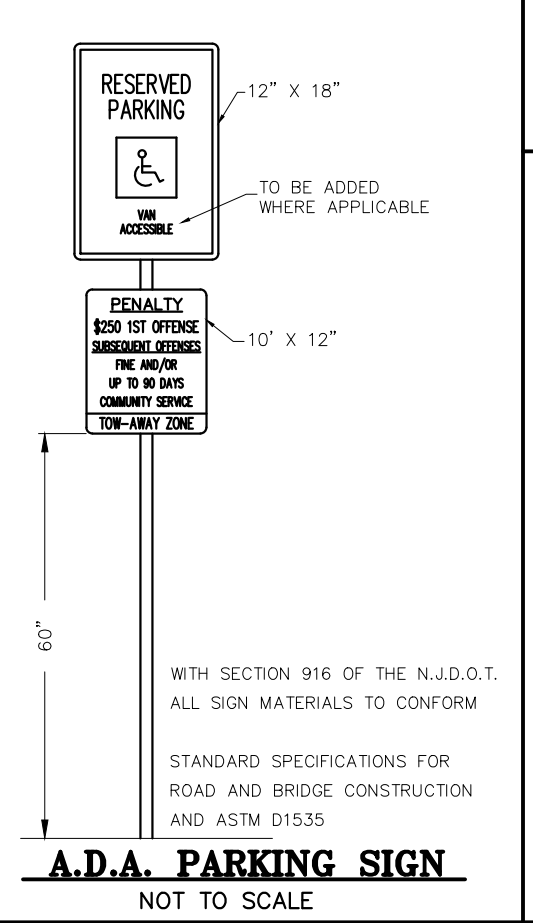
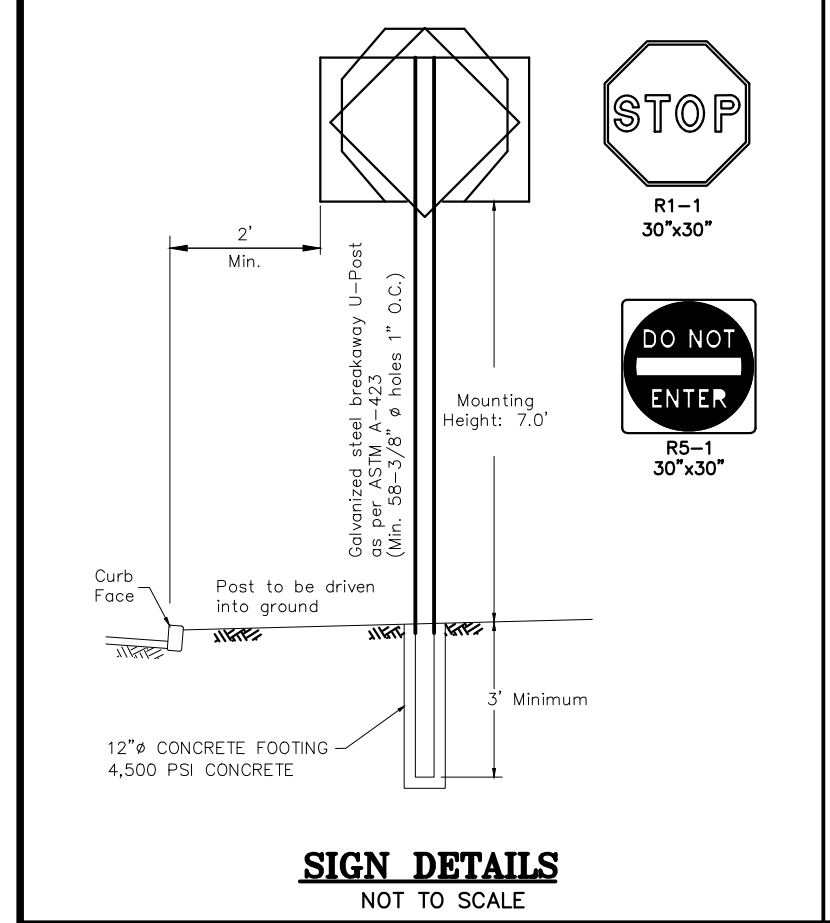
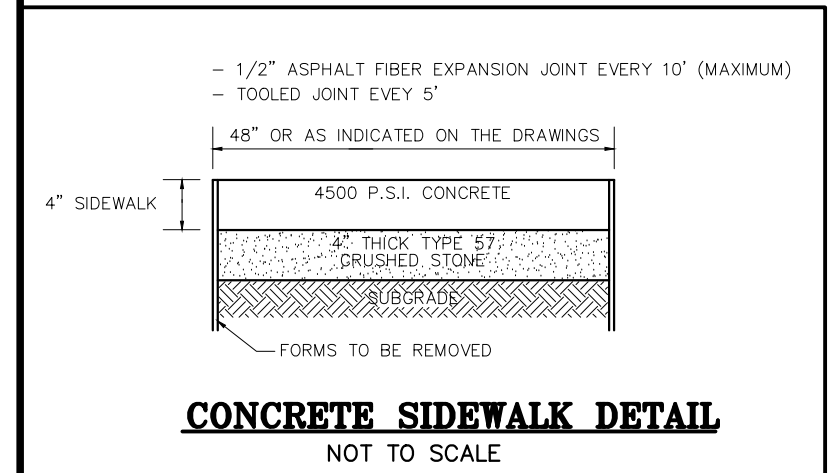
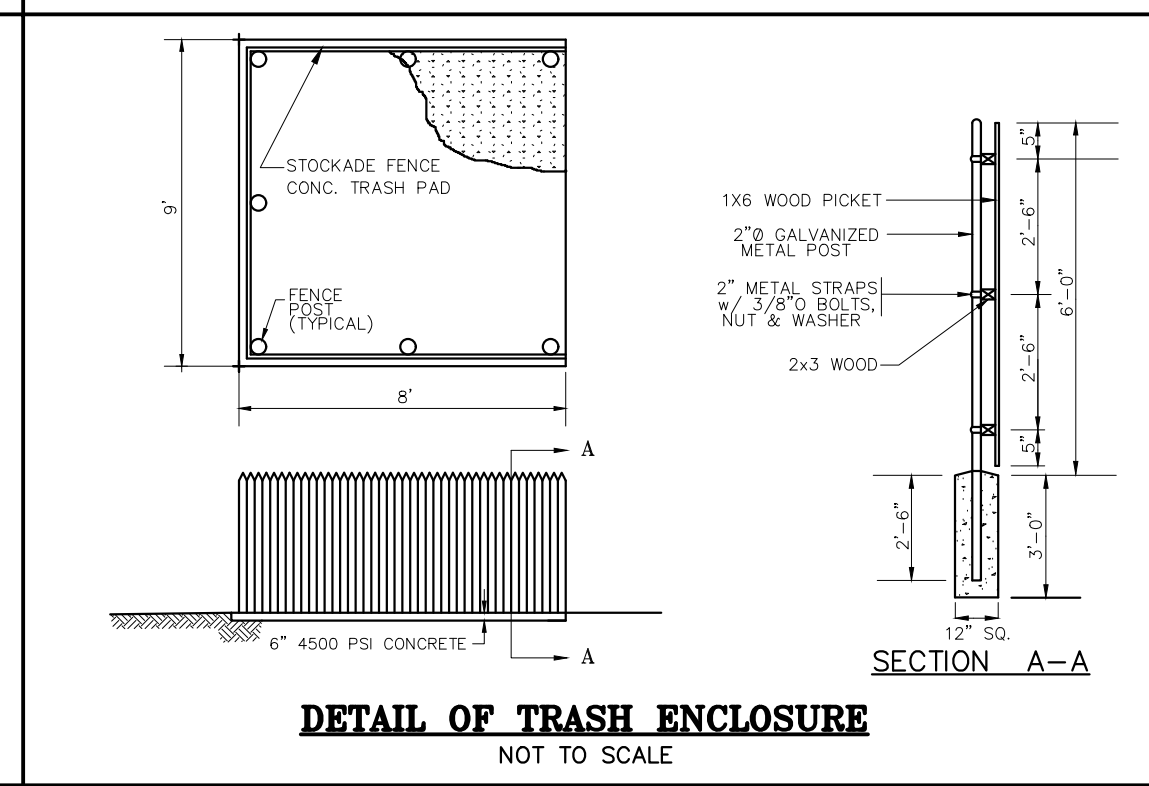
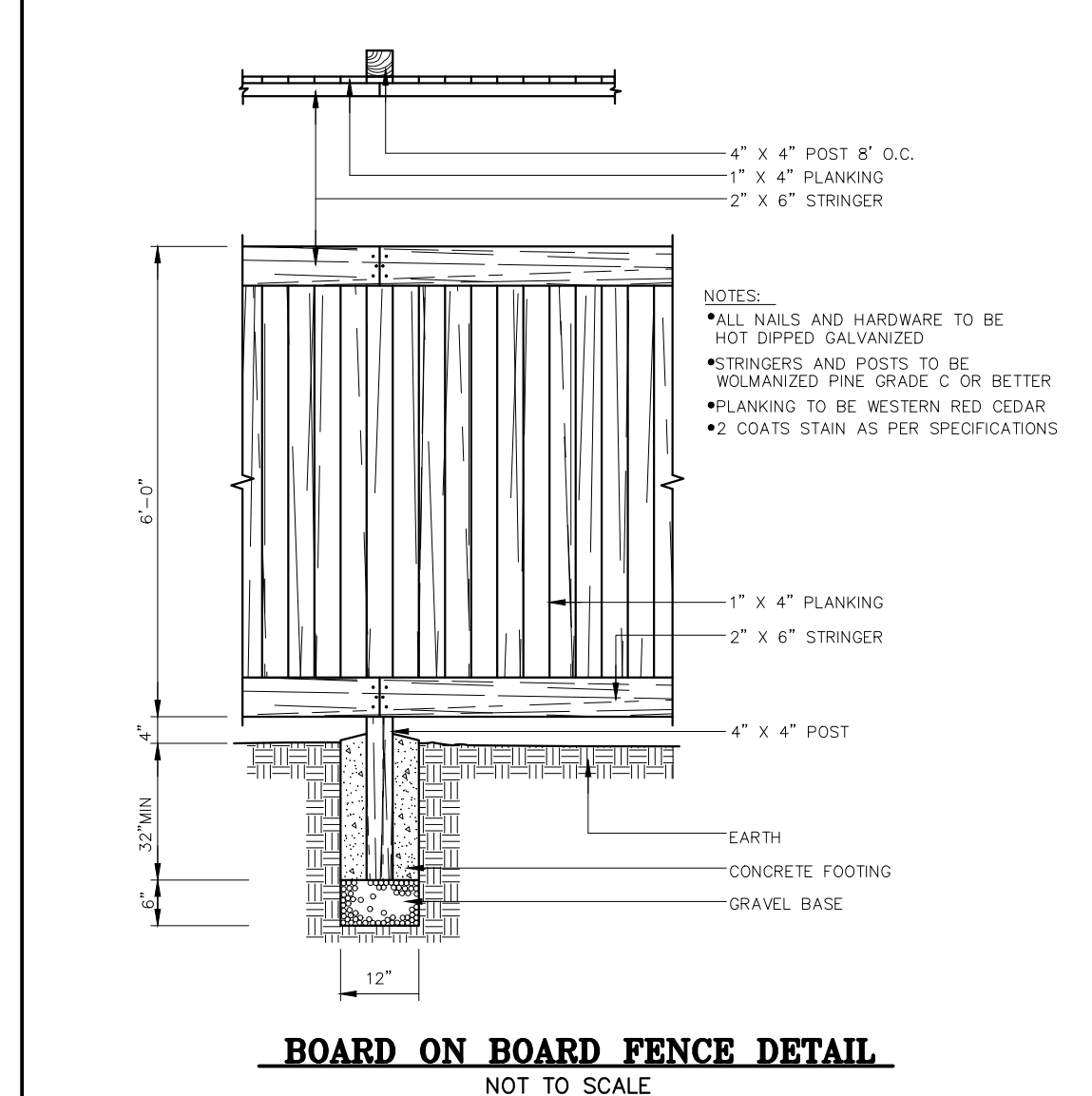
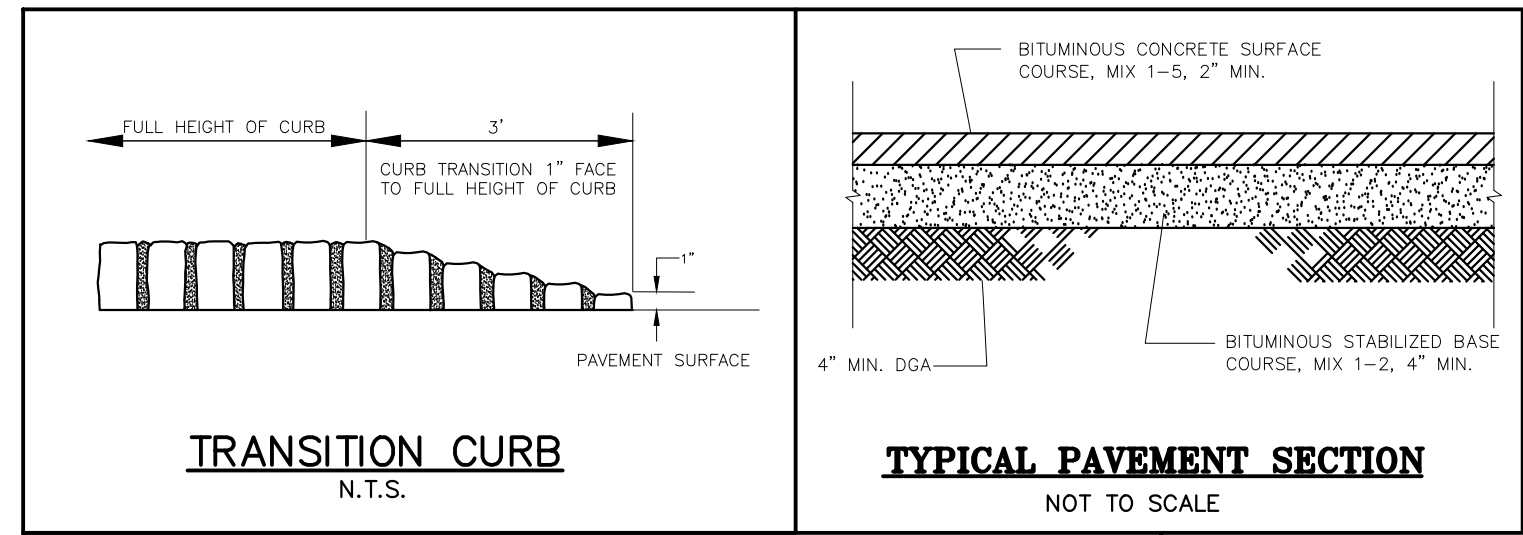
REGULATION	REQUIREMENT	EXISTING (2)	PROPOSED
MIN. LOT AREA	10,000 S.F.	14,608 S.F.	14,608 S.F.
MIN. LOT WIDTH	100'	164.63'	164.63'
MIN. FRONT YARD	50'	11.97' (V)	22.2'
MIN. SIDE YARD - ONE SIDE	6'	-	53.4'
MIN. SIDE YARD - BOTH SIDES	16'	-	38.7'
MIN. REAR YARD	20'	-	16.7%
MAX. BUILDING COVERAGE	35%	-	70.94% (10,363 S.F.)
MAX. BUILDING HEIGHT	3.5 STORIES/40'	-	1 STORY/20'
MAX. LOT COVERAGE	90%	30.5% (4,448 S.F.)	70.94% (10,363 S.F.)
MIN. PARKING SETBACK TO RESIDENCE OR STREET LINE(1)	5'	-	2'(V)

* - DENOTES EXISTING VIOLATION
(V) - DENOTES NEW VARIANCE REQUIRED
(P) - PERMITTED USE

NOTES: (1) SECTION 25:1-18 - OFF STREET PARKING AND LOADING FACILITIES SHALL NOT BE CLOSER THAN FIVE (5') FEET TO ANY R-ZONED LOT OR ANY STREET RIGHT-OF-WAY LINE
(2) EXISTING CONDITIONS LISTED ARE FROM THE PREVIOUS STRUCTURE, WHICH NO LONGER EXISTS ON THE PROPERTY.

ADDITIONAL ORDINANCE RELIEF
SECTION 25:1-18.A.2. EACH OFF-STREET PARKING SPACE SHALL HAVE A MINIMUM AREA OF 180 SQUARE FEET (9' X 20') EXCLUSIVE OF ACCESS DRIVES AND AISLES AND SHALL BE OF USABLE SHAPE AND CONDITION. THIS SITE PLAN PROPOSES 9' X 18' PARKING SPACES WITH AN AVAILABLE 2 FEET OF OVERHANG AT ALL STALLS. WAIVER REQUESTED.

- GENERAL NOTES:**
- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
 - THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
 - AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
 - THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENTS OR DEED RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
 - IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
 - NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
 - DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
 - DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
 - THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
 - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
 - ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
 - ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
 - EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
 - ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.
 - ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION SHALL BE RESTORED BY THE APPLICANT. THE APPLICANT WILL BE REQUIRED TO REPAIR ANY SIDEWALK AND CURB DAMAGES DURING CONSTRUCTION IN ACCORDANCE WITH THE BOROUGH'S IMPROVEMENT STANDARDS AND TO THE SATISFACTION OF THE BOROUGH ENGINEER.
 - PROPOSED HOURS OF OPERATIONS ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT
 - A PRIVATE HAULER SHALL SERVICE THE ON-SITE REFUSE AND RECYCLING.
 - THE APPLICANT IS PROHIBITED FROM ALLOWING CUSTOMER LINEUPS OUTSIDE OF THE ENTRANCE DOOR TO THE BUILDING. IF THE APPLICANT EXPERIENCES AN OVERFLOW OF CUSTOMERS, A REMOTE POINT-OF-SALE SYSTEM SHALL BE IMPLEMENTED.
 - ALL PROPOSED STORMWATER INLETS AND STRUCTURES SHALL HAVE WATERTIGHT CONNECTIONS.



LEGEND

-ss-	EXISTING SIDEWALK ELEVATION	-P&C-	PROPOSED CONTOUR
-grd-	EXISTING GROUND ELEVATION	-SPOT-	PROPOSED SPOT ELEVATION
-cd-	EXISTING CENTERLINE ELEVATION	-P&C-	EXISTING PAVEMENT ELEVATION
-tc-	EXISTING TOP OF CURB ELEVATION	-grd-	EXISTING GRAVEL ELEVATION
-bc-	EXISTING BOTTOM OF CURB ELEVATION	-B&G-	EXISTING BUILDING ELEVATION
-dc-	EXISTING DEPRESSED CURB	-conc-	EXISTING CONCRETE ELEVATION
SM	EXISTING SANITARY MANHOLE	TG	EXISTING TOP OF GRATE ELEVATION
DM	EXISTING STORM MANHOLE	INV.	EXISTING INVERT
UP	EXISTING UTILITY POLE	-SPOT-	EXISTING SPOT ELEVATION
WV	EXISTING WATER VALVE	-E.O.P.	EXISTING EDGE OF PAVEMENT ELEVATION
TS	EXISTING TREE AND SIZE	-200-	EXISTING CONTOUR
X	EXISTING TREES TO BE REMOVED		

SITE PLAN
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
1/22/2025 - REVISED PER RESOLUTION COMPLIANCE
3/26/2025 - REVISED PER RESOLUTION COMPLIANCE

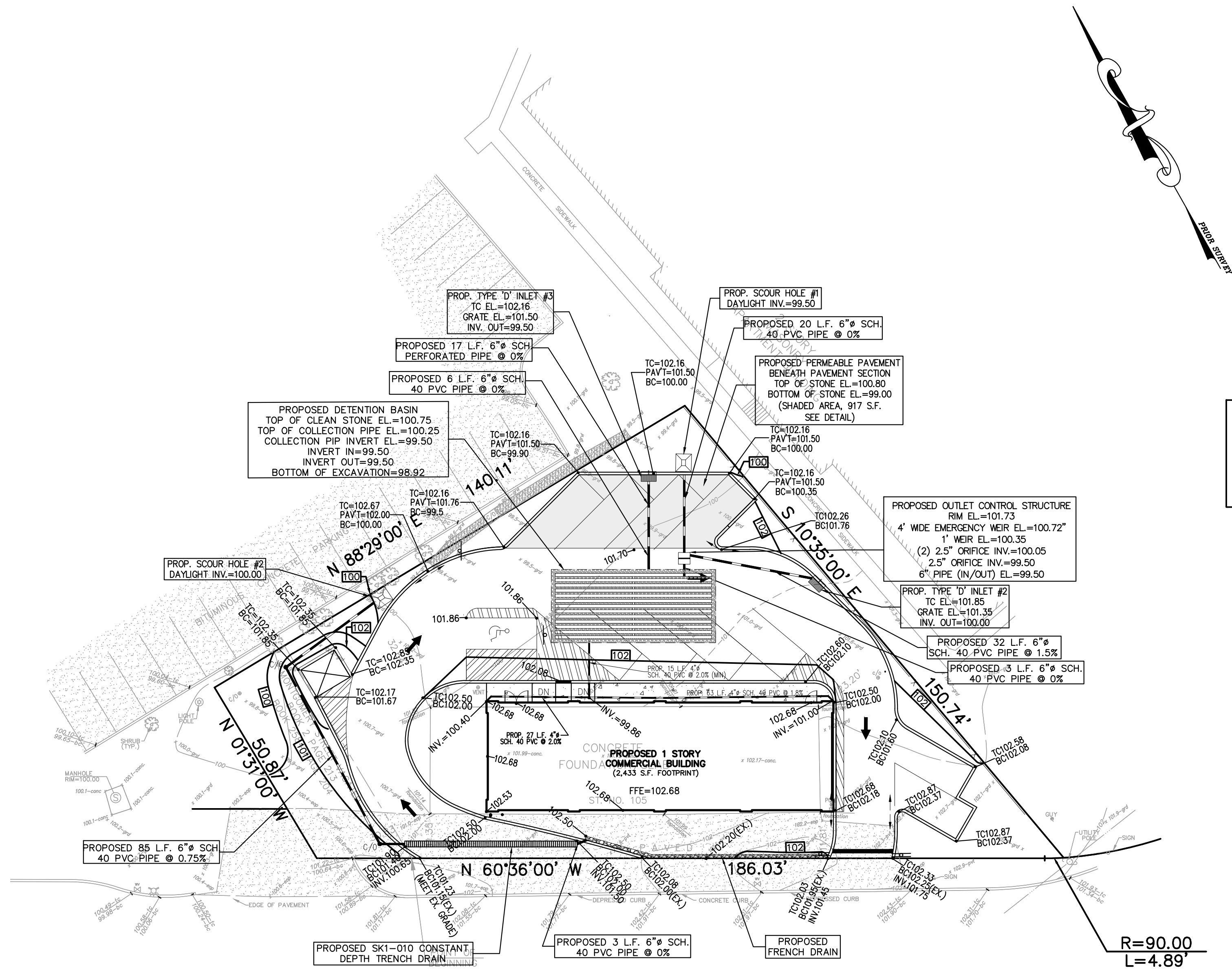
PROFESSIONAL ENGINEER
JOSEPH N. BACH, P.E.
N.J. LICENSE NO. 24GE05325200

Job No. 844934 Date 9/12/2024 Scale 1"=20' Drawn SK Map No. Sheet 2 of 5

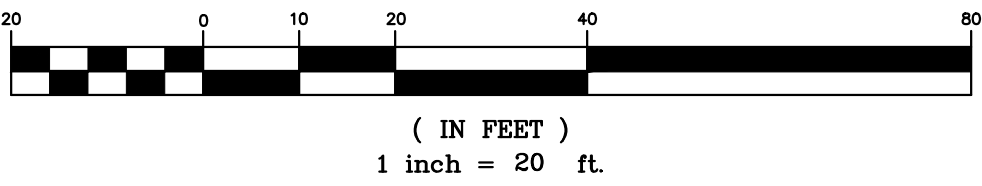
GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENTS OR DEED RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
- ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
- CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
- ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE, CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
- NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.
- ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION SHALL BE RESTORED BY THE APPLICANT. THE APPLICANT WILL BE REQUIRED TO REPAIR ANY SIDEWALK AND DRIVEWAY DAMAGED DURING CONSTRUCTION IN ACCORDANCE WITH THE BOROUGH'S IMPROVEMENT STANDARDS AND TO THE SATISFACTION OF THE BOROUGH ENGINEER.
- PROPOSED HOURS OF OPERATIONS ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT
- A PRIVATE HAULER SHALL SERVICE THE ON-SITE REFUSE AND RECYCLING.
- THE APPLICANT IS PROHIBITED FROM ALLOWING CUSTOMER LINEUPS OUTSIDE OF THE ENTRANCE DOOR TO THE BUILDING. IF THE APPLICANT EXPERIENCES AN OVERFLOW OF CUSTOMERS, A REMOTE POINT-OF-SALE SYSTEM SHALL BE IMPLEMENTED.
- ALL PROPOSED STORMWATER INLETS AND STRUCTURES SHALL HAVE WATERTIGHT CONNECTIONS.

THE PHYSICAL LOCATION AND CONDITION OF THE EXISTING SANITARY LATERAL, INCLUDING DOWNSTREAM TIE-IN POINT SHALL BE PHYSICALLY LOCATED BY TEST PITS PRIOR TO ISSUANCE OF BUILDING PERMITS. ONCE LOCATED, THE ALIGNMENT SHALL BE ADDED TO THE PLANS AND PROVIDED FOR TECHNICAL REVIEW.



GRAPHIC SCALE



LEGEND

-sw	- EXISTING SIDEWALK ELEVATION	TC	- PROPOSED CONTOUR
-g	- EXISTING GROUND ELEVATION	SPOT	- PROPOSED SPOT ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION	-pav	- EXISTING PAVEMENT ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION	-gnd	- EXISTING GRAVEL ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION	-bldg	- EXISTING BUILDING ELEVATION
-dc	- EXISTING DEPRESSED CURB	-conc	- EXISTING CONCRETE ELEVATION
SM	- EXISTING SANITARY MANHOLE	TC	- EXISTING TOP OF GRATE ELEVATION
SM	- EXISTING STORM MANHOLE	INV.	- EXISTING INVERT
UT	- EXISTING UTILITY POLE	SPOT	- EXISTING SPOT ELEVATION
WV	- EXISTING WATER VALVE	-E.D.P.	- EXISTING EDGE OF PAVEMENT ELEVATION
TR	- EXISTING TREE AND SIZE	-200	- EXISTING CONTOUR
X	- EXISTING TREES TO BE REMOVED		

GRADING & DRAINAGE PLAN AMENDED PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

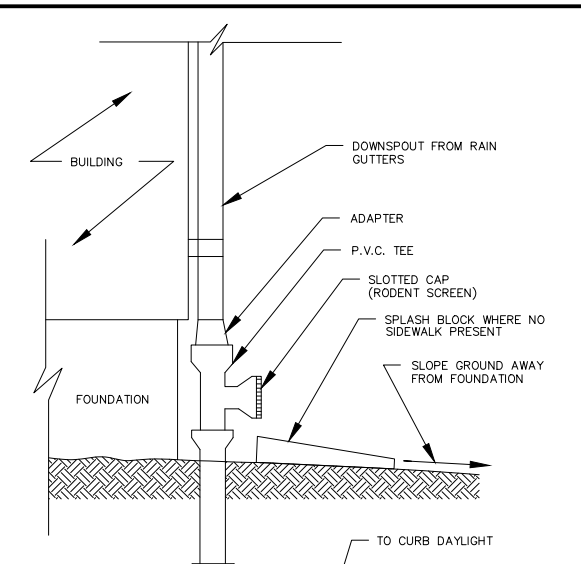
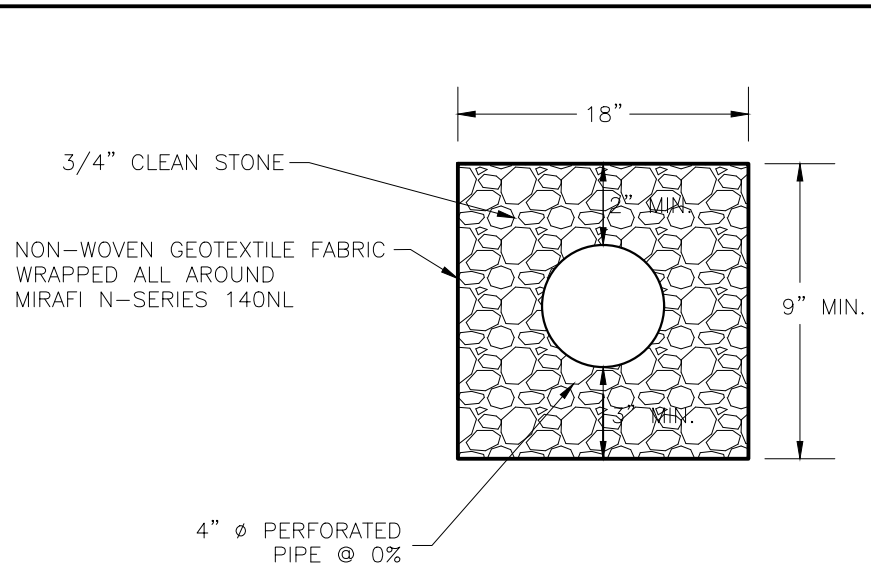
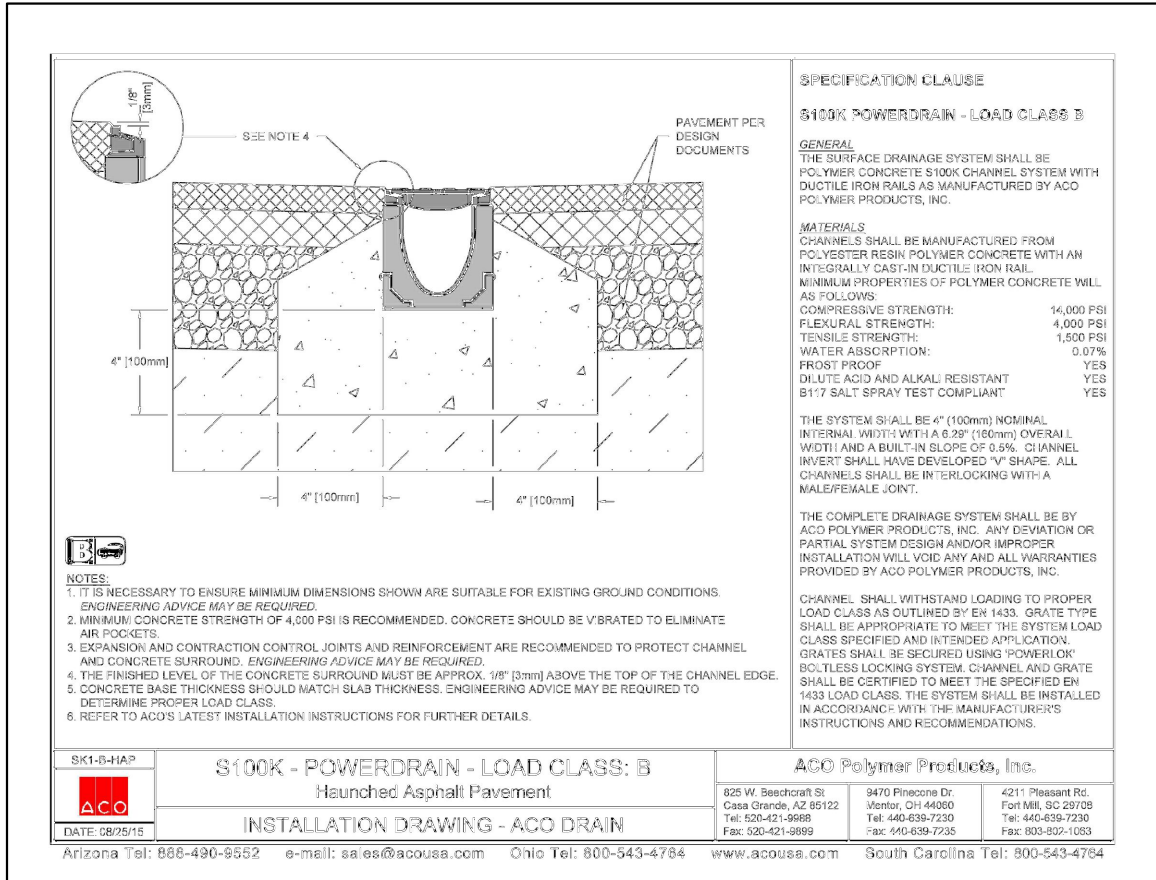
EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
1/22/2025 - REVISED PER RESOLUTION COMPLIANCE
3/26/2025 - REVISED PER RESOLUTION COMPLIANCE
4/29/2025 - REVISED PER RESOLUTION COMPLIANCE

Joseph N. Bach
JOSEPH N. BACH, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200

Job No. 844934 Date 9/12/2024 Scale 1"=20' Drawn SK Map No. Sheet 3 of 5



EAT•N
Powering Business Worldwide

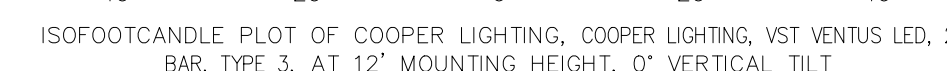
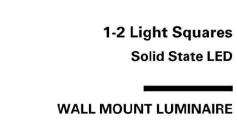


VST
VENTUS LED
2 - 12 LightBARs
Solid State LED

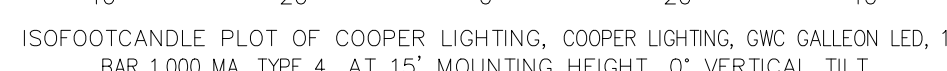
EATON
Powering Business World



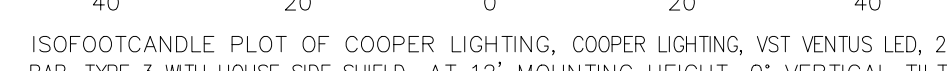
GWC GALLEON
WALL



SCALE: 1" = 20'



SCALE: 1" = 20'



SCALE: 1" = 20'



20 0 10 20 40 80

(IN FEET)

1 inch = 20 ft.

PROPOSED LUMINAIRE SCHEDULE

CALCULATION SCHEDULE

PLANTING SCHEDULE



NOTE:
BASES REQUIRED WHEN LIGHT POLE DISTANCE BEHIND CURB IS LESS THAN THREE FEET.

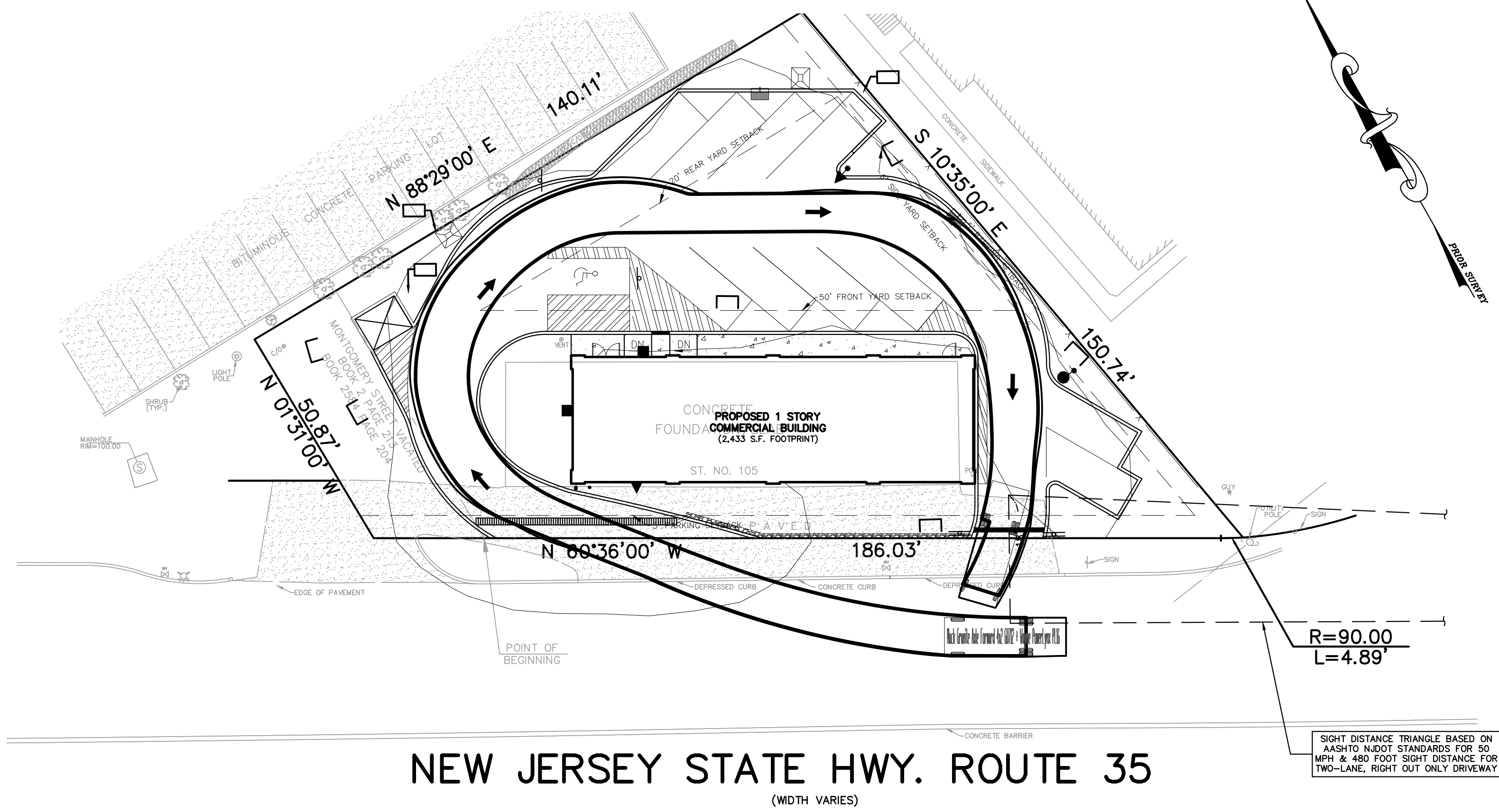
1. THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
2. THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
3. AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
4. THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENT OR EASEMENT RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
5. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
6. NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
7. DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27-01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
8. DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
9. THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
10. THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
11. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
12. CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
13. ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
14. ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
NJDOT "STANDARD" SPECIFICATIONS FOR ROAD AND BRIDGE
CONSTRUCTION", AS CURRENTLY AMENDED,
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
16. ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
17. ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
18. EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
19. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
20. NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.
21. ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION SHALL BE RESTORED BY THE APPLICANT. THE APPLICANT WILL BE REQUIRED TO REPAIR ANY SIDEWALK AND CURB DAMAGED DURING CONSTRUCTION IN ACCORDANCE WITH THE BOROUGH'S IMPROVEMENT STANDARDS AND TO THE SATISFACTION OF THE BOROUGH ENGINEER.
22. PROPOSED HOURS OF OPERATION ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT
23. A PRIVATE HAULER SHALL SERVICE THE ON-SITE REFUSE AND RECYCLING.
24. THE APPLICANT IS PROHIBITED FROM ALLOWING CUSTOMER LINEUPS OUTSIDE OF THE ENTRANCE DOOR TO THE BUILDING. IF THE APPLICANT EXPERIENCES AN OVERFLOW OF CUSTOMERS, A REMOTE POINT-OF-SALE SYSTEM SHALL BE IMPLEMENTED.
25. ALL PROPOSED STORMWATER INLETS AND STRUCTURES SHALL HAVE WATERTIGHT CONNECTIONS.

	- EXISTING SIDEWALK ELEVATION		- PROPOSED CONTOUR
	- EXISTING GROUND ELEVATION		- PROPOSED SPOT ELEVATION
	- EXISTING CENTERLINE ELEVATION		- EXISTING PAVEMENT ELEVATION
	- EXISTING TOP OF CURB ELEVATION		- EXISTING GRAVEL ELEVATION
	- EXISTING BOTTOM OF CURB ELEVATION		- EXISTING BUILDING ELEVATION
	- EXISTING DEPRESSED CURB		- EXISTING CONCRETE ELEVATION
	- EXISTING SANITARY MANHOLE		- EXISTING TOP OF GRATE ELEVATION
	- EXISTING STORM MANHOLE		- EXISTING INVERT
	- EXISTING UTILITY POLE		- EXISTING SPOT ELEVATION
	- EXISTING WATER VALVE		- EXISTING EDGE OF PAVEMENT ELEVATION
	- EXISTING TREE AND SIZE		- EXISTING CONTOUR
	- EXISTING TREES TO BE REMOVED		

EKA ASSOCIATES, P.A.

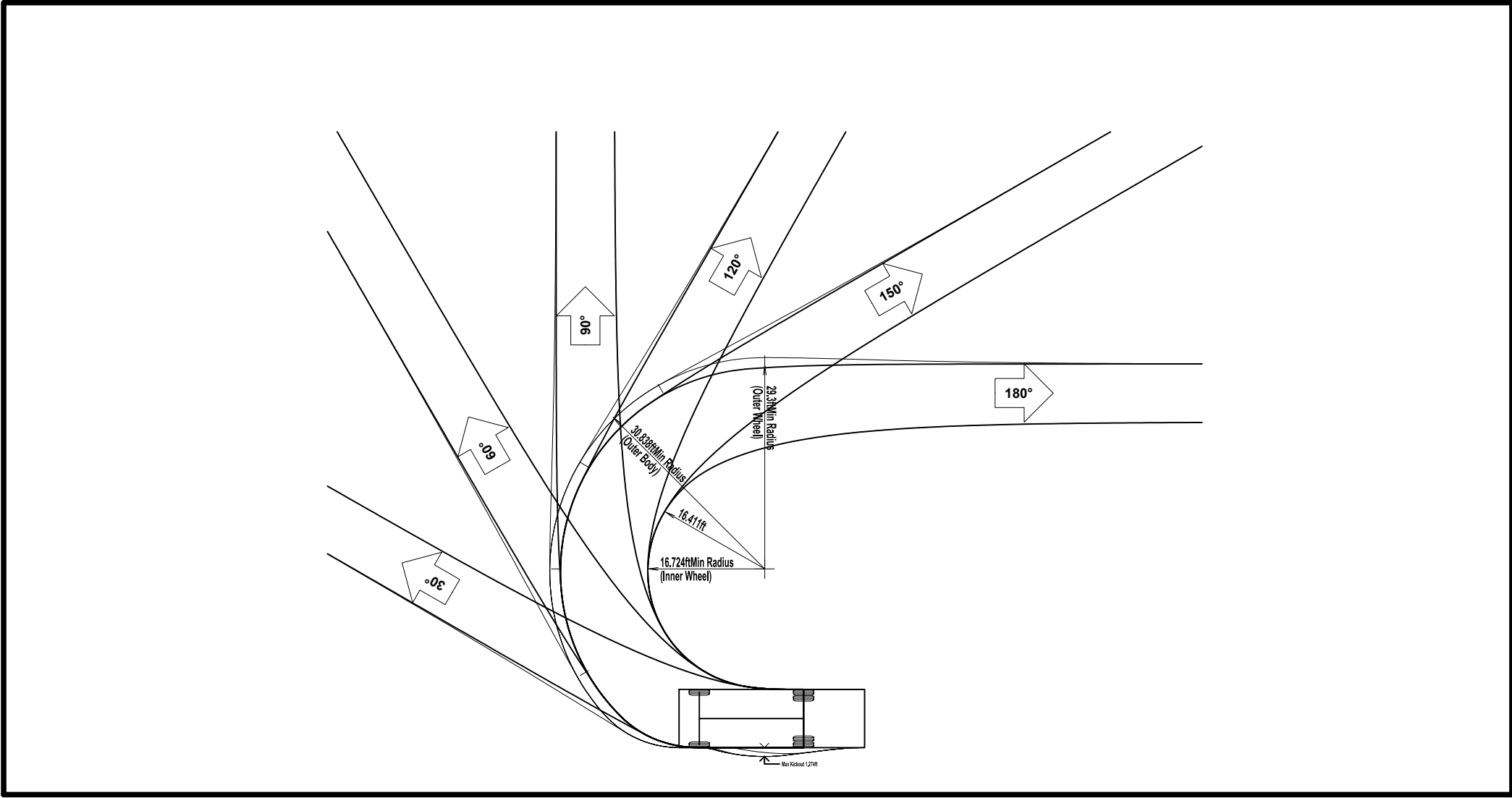
Joseph N Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200

Job No. 847709	Date 9/12/2024	Scale 1"=20'	Drawn MW	Map No.	Sheet 4 of 5
----------------	----------------	--------------	----------	---------	--------------

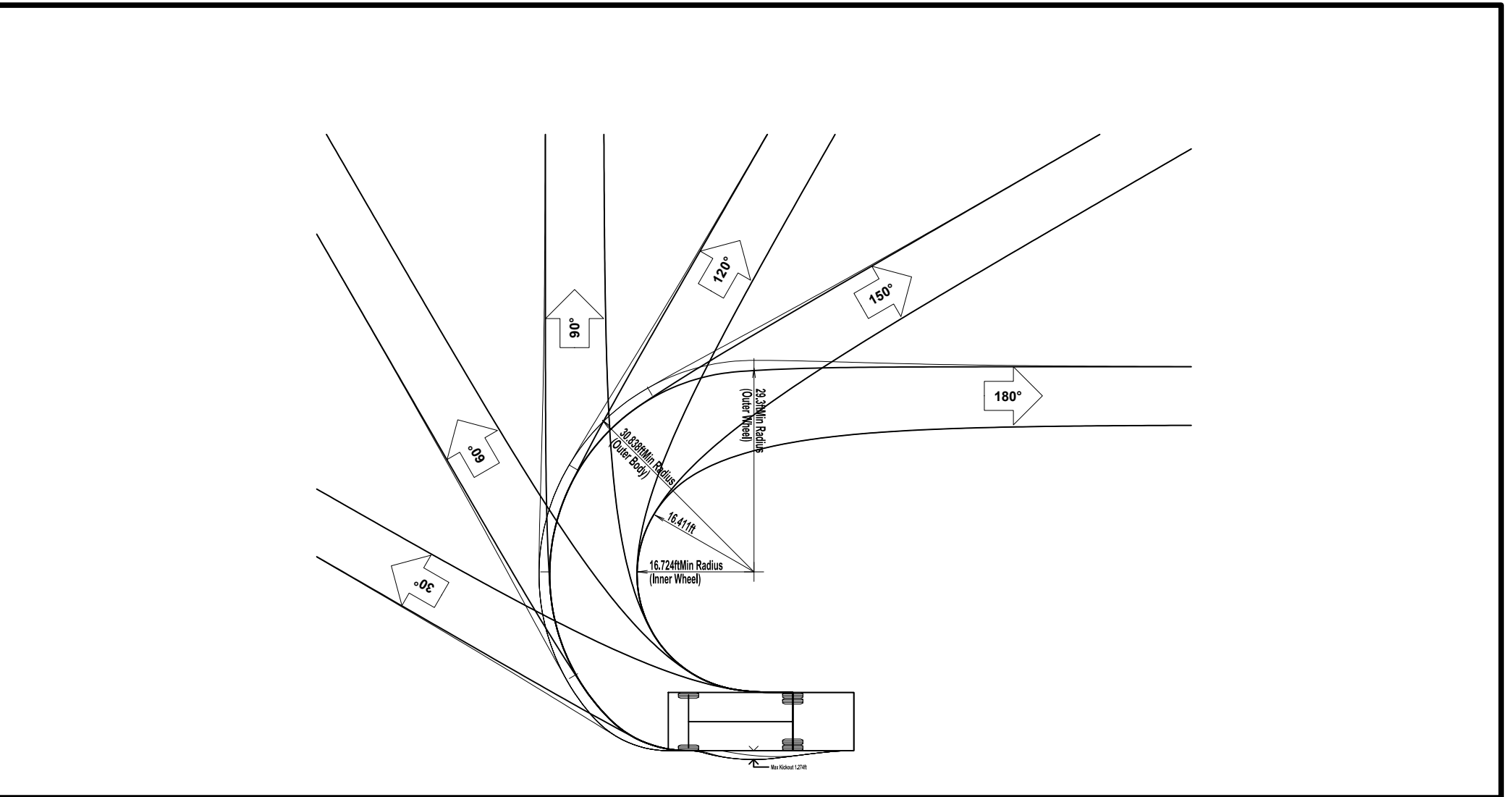


NEW JERSEY STATE HWY. ROUTE 35
(WIDTH VARIES)

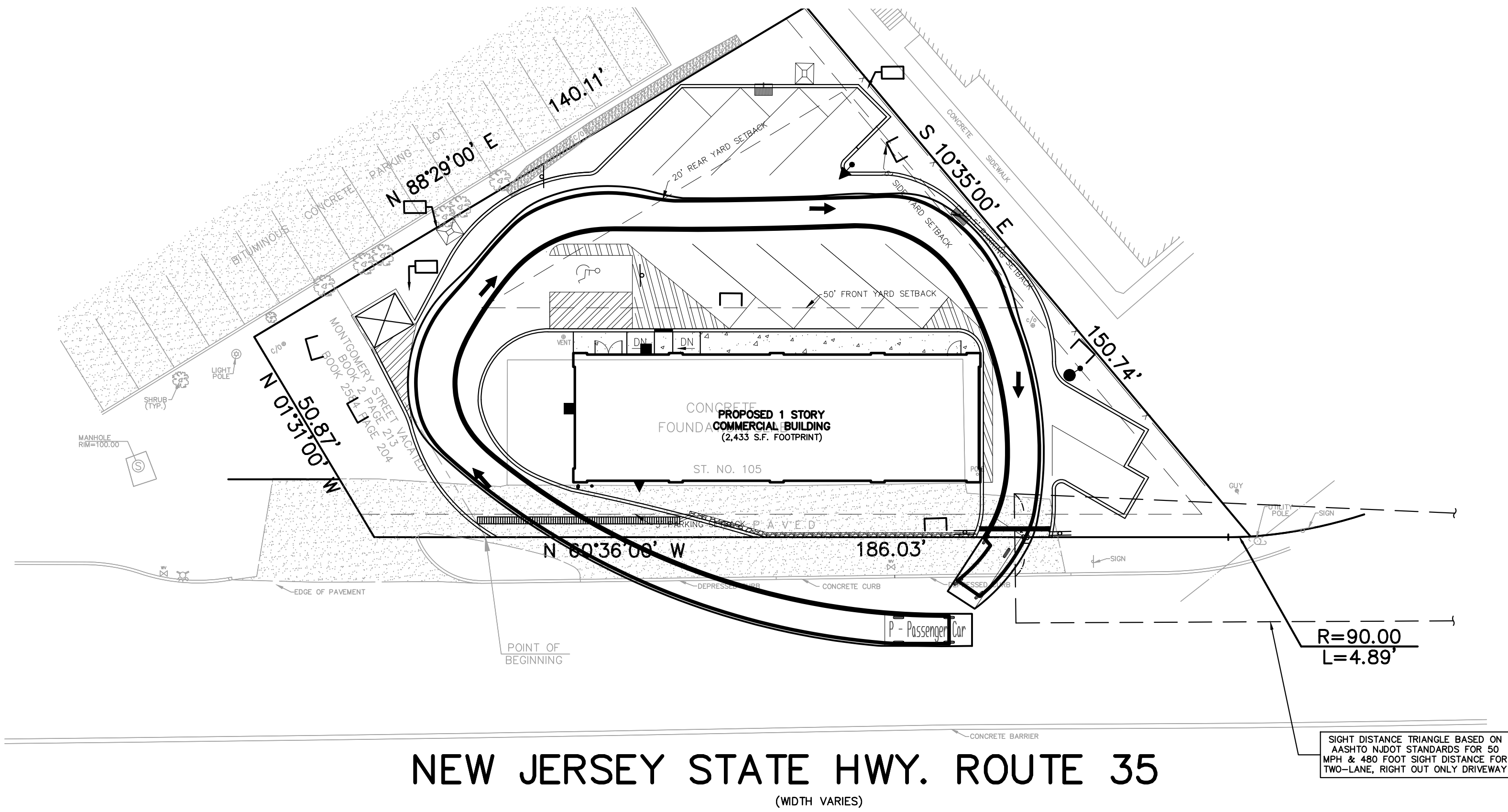
TYPICAL GARBAGE TRUCK
SCALE: 1" = 20'



TYPICAL GARBAGE TRUCK
SCALE: 1" = 20'



AASHTO PASSENGER CAR
SCALE: 1" = 20'



NEW JERSEY STATE HWY. ROUTE 35
(WIDTH VARIES)

AASHTO PASSENGER CAR
SCALE: 1" = 20'

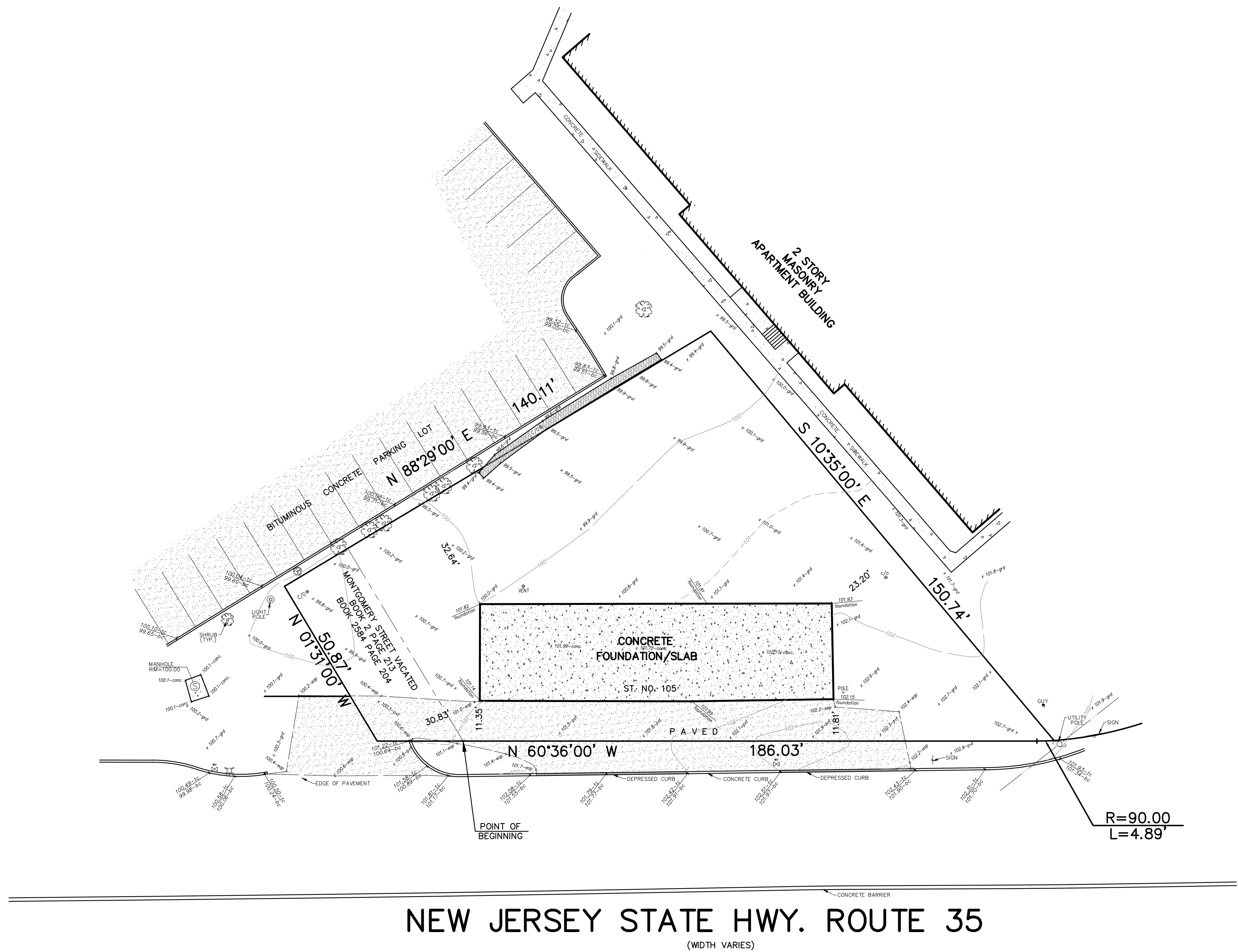
LEGEND	
---	EXISTING SIDEWALK ELEVATION
---	EXISTING GROUND ELEVATION
---	EXISTING CENTERLINE ELEVATION
---	EXISTING TOP OF CURB ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION
---	EXISTING DEPRESSED CURB
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	EXISTING UTILITY POLE
---	EXISTING WATER VALVE
---	EXISTING TREE AND SIZE
---	EXISTING TREES TO BE REMOVED
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING PAVEMENT ELEVATION
---	EXISTING GRAVEL ELEVATION
---	EXISTING BUILDING ELEVATION
---	EXISTING CONCRETE ELEVATION
---	EXISTING TOP OF GRATE ELEVATION
---	EXISTING INVERT
---	EXISTING SPOT ELEVATION
---	EXISTING EDGE OF PAVEMENT ELEVATION
---	EXISTING CONTOUR

VEHICLE MANEUVERING PLAN
PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:

Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200



NOTES

1. THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEPTIONS:

	YES	NO
A. DEED OF RECORD	☒	☐
B. FILED MAP	☐	☒
C. FIELD SURVEY	☒	☐
D. TITLE SEARCH	☒	☐
E. TAX MAP	☒	☐
F. OTHER (SEE REFERENCES)	☒	☐

2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.

3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.

5. NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.

6. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS.

7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION =100.00 (ASSUMED).

8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(045:6-36.3) AND N.J.A.C. 13:40-5.1(d).

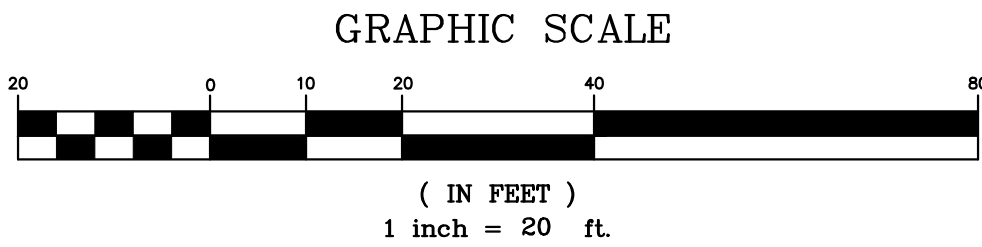
9. PARCEL CONTAINS 14,608 S.F. ±.

RECORD DEED DEED BOOK 9276, PAGE 5247 TAX MAP SHEET No. 2

REFERENCE N/A

FILED MAP DATA N/A

LEGEND			
-sw	- EXISTING SIDEWALK ELEVATION		- PROPOSED CONTOUR
-grd	- EXISTING GROUND ELEVATION		- PROPOSED SPOT ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION	-pav	- EXISTING PAVEMENT ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION	-gd	- EXISTING GRAVEL ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION	-bldg	- EXISTING BUILDING ELEVATION
-dc	- EXISTING DEPRESSED CURB	-fnc	- EXISTING FENCE ELEVATION
	- EXISTING SANITARY MANHOLE	-conc	- EXISTING CONCRETE ELEVATION
	- EXISTING FIRE HYDRANT	-TG	- EXISTING TOP OF GRATE ELEVATION
	- EXISTING STORM MANHOLE	-INV	- EXISTING INVERT
	- EXISTING GUY WIRE		- EXISTING SPOT ELEVATION
	- EXISTING UTILITY POLE	-ep	- EXISTING EDGE OF PAVEMENT ELEVATION
	- EXISTING WATER VALVE	-200	- EXISTING CONTOUR
	- EXISTING GAS VALVE	-tw	- EXISTING TOP OF WALL
	- EXISTING TREE AND SIZE	-bw	- EXISTING BOTTOM OF WALL
-ts	- EXISTING TOP OF SLOPE		
-bs	- EXISTING BOTTOM OF SLOPE		



BOUNDARY & TOPOGRAPHIC SURVEY
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
9/12/2024 - UPDATED TO SHOW EXISTING CONDITIONS

WAYNE K. APPEGATE, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 35347

Job No. 847709

Date 2/27/2023

Scale 1" = 20'

Drawn WKA

Map No. FILE

Sheet 1 of 1