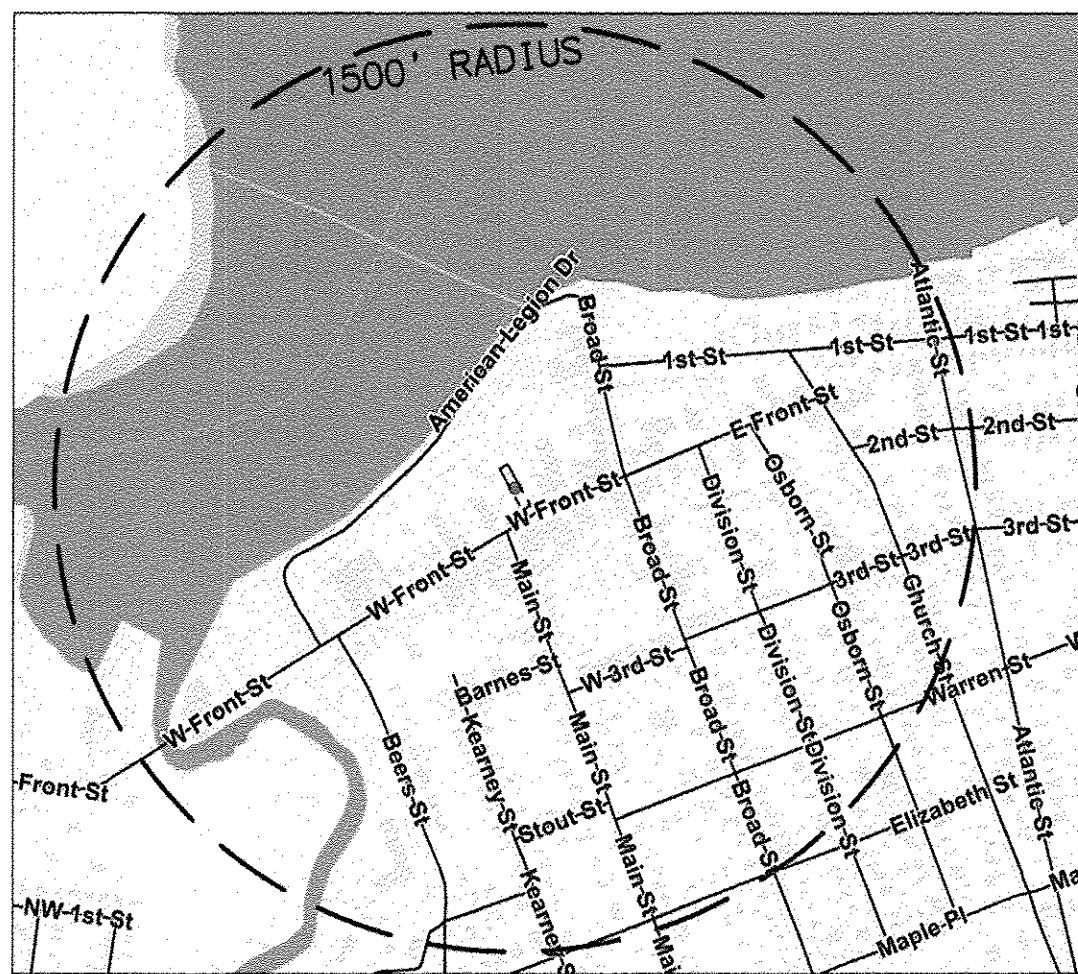


PRELIMINARY and FINAL SITE PLAN

for

LOT 41 in BLOCK 21.01

BOROUGH KEYPORT
MONMOUTH COUNTY, NEW JERSEY



LOCATOR MAP

SCALE 1"=500'



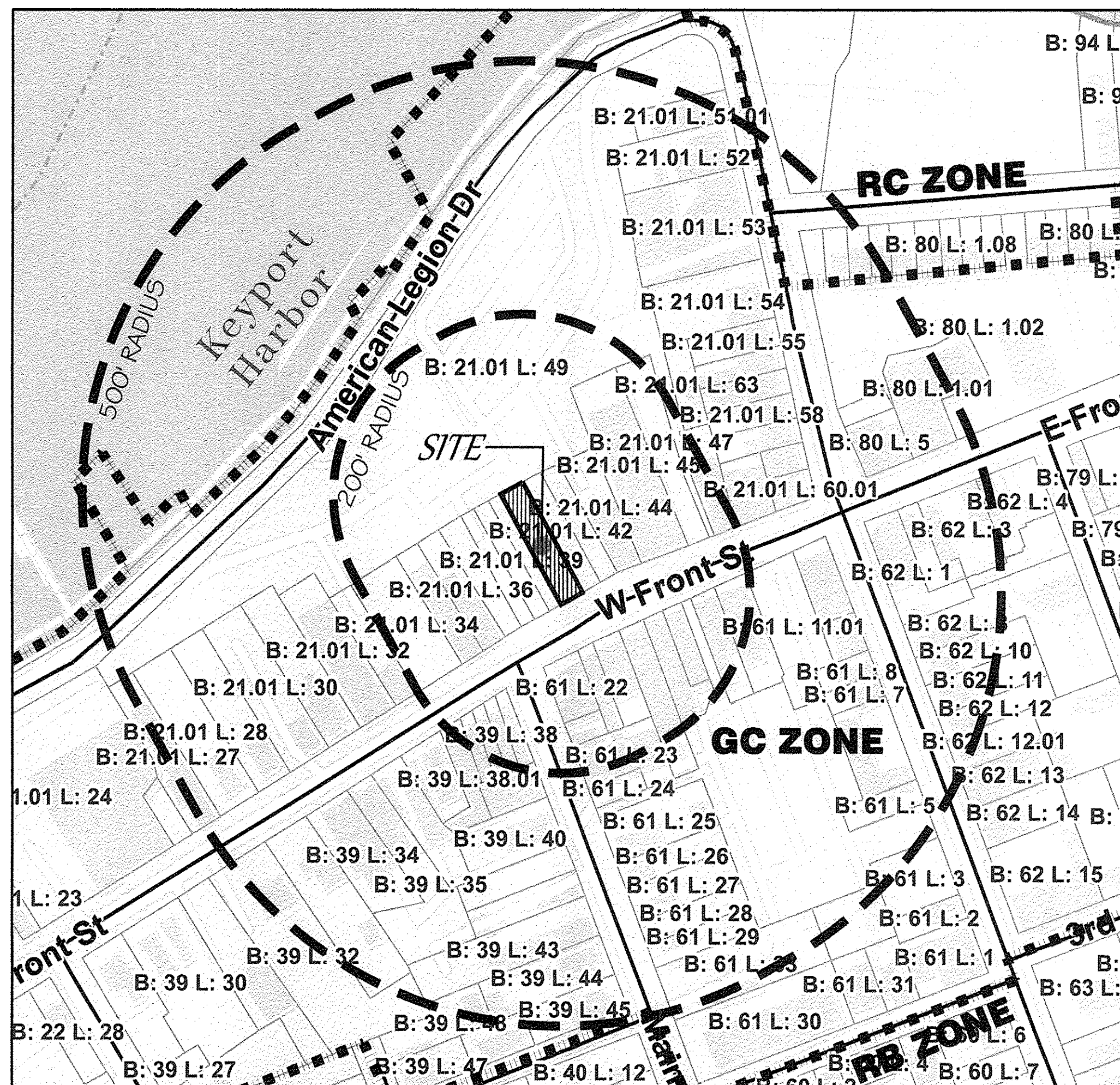
LIST OF OWNERS WITHIN 200'

OWNERS WITHIN 200 FEET OF
LOT 41 IN BLOCK 21.01
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NJ

BLOCK	LOT(S)	OWNER(S)
21.01	34849	BOROUGH OF KEYPORT
	35836	FORTY FIVE WEST FRONT STREET REALTY
	37	39SHIRINATH LLC
	38	SHREE 37 WEST LLC
	39	SHREE 35 WEST LLC
	40	35 WEST FRONT ST, LLC
	41	31 W FRONT, LLC C/O PRIME PARKING
	42	29 WEST FRONT STREET C/O DETOUR GALLERY
	43	27 WEST FRONT ST, LLC C/O DETOUR GALLERY
	44	25 WEST FRONT STREET, LLC DETOUR GALLERY
	45	17-21 WEST FRONT STREET C/O DETOUR GALLERY
	46	DEPRIMA, MARIE & CONA, JOHN
	47	BOROUGH OF KEYPORT
	49	MICHAEL MANAGEMENT REALTY LLC
	61	DELIO, INC. C/O C. BERKOWITZ
	62	2 WEST FRONT, LLC C/O DETOUR GALLERY
61	11.01	6-10 WEST FRONT STREET, LLC
	13814	GOODMAN FAMILY PARTNERSHIP
	18817	AL HADY ENTERPRISES LLC
	18.01	26-28 W. FRONT REALTY LLC
	19	SHREEJI REALTY LLC
	22	COMMON BOND REAL ESTATE, LLC
	23.01	ONE MAIN ASSOCIATES, LLC

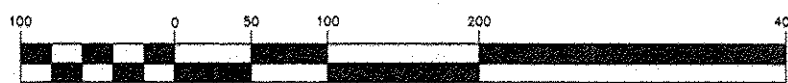
OTHERS: BELL ATLANTIC/VERIZON
J.C.P.&L.

N.J. NATURAL GAS CO.
CABLEVISION
KEYPORT BOROUGH WATER & SEWER DEPT.
MONMOUTH COUNTY D.O.T.
MONMOUTH COUNTY PLANNING BOARD



KEY MAP

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

WAIVERS AND VARIANCES

SITE PLAN WAIVERS AND VARIANCES FOR PRELIMINARY AND FINAL

2H. PARTIAL WAIVER FROM LOADING SIGNS AND LANDSCAPING AND BUFFERS. PROPOSED BUILDING IS NEARLY ENTIRE LOT.

SEE ZONE TABLE FOR BULK VARIANCES.

GENERAL NOTES:

- PROPERTY KNOWN AS LOT 41 IN BLOCK 21.01, KEYPORT BOROUGH, MONMOUTH COUNTY, NEW JERSEY, AS PER TAX MAP SHEET NO. 7, TOTAL TRACT AREA OF 0.10 AC.
SITE ADDRESS: 31 WEST FRONT STREET KEYPORT, NJ 07735
- OWNER / APPLICANT: 31 W FRONT, LLC
155 EAST 80TH STREET
NEW YORK, NY 10085
- THE PROPERTY IS CURRENTLY IN THE GC ZONE (GENERAL COMMERCIAL DISTRICT).
- ZONE REQUIREMENTS:

REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	4500 SQ. FT.
MIN. LOT WIDTH	N/A	30 FT.
MIN. FRONT YARD SETBACK	N/A	0 FT.
MIN. SIDE YARD SETBACK	N/A	0 FT.
MIN. REAR YARD SETBACK	NOTE 3	117.8 FT.
MAX. STORIES	N/A	5 - STORY
MAX. BLDG. HEIGHT	NOTE 4	> ELEV. 70'
MAX. PERCENT BLDG. COVERAGE	85%	45.75%
MAX. PERCENT LOT COVERAGE	90%	51.35%

* VARIANCE REQUIRED

NOTE 3: MINIMUM SETBACK FROM RESIDENTIAL DISTRICT LOT IS 20 FEET.
NOTE 4: THE PEAK OF THE ROOF AND ANY EQUIPMENT SHALL NOT EXCEED AN ELEVATION OF 70.0 FEET REFERENCED TO DATUM NAVD 88.- OUTBOUND AND PROPERTY TAKEN FROM "PLAN OF SURVEY PROPERTY" PREPARED BY CLEARPOINT SERVICES LLC PROFESSIONAL LAND SURVEYORS FOR 31 WEST FRONT STREET - LOT 41 - BLOCK 21.01 SITUATED IN THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, NJ, DATED 3/17/2020, LAST REVISED 9/2/2020 BY ALAN R. BOETTGER, PROFESSIONAL LAND SURVEYOR, NJ LICENSE NO. 41997.
- THE PURPOSE OF THIS PLAN IS TO OBTAIN PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR THE DEMOLITION OF A 2-STORY BUILDING AND THE RECONSTRUCTION OF A 5-STORY BUILDING WITH A LOWER LEVEL FOR ACCESS AND STORAGE BELOW THE BASE FLOOD ELEVATION (SEE NOTE 7) AND DINING ROOM AREA ABOVE. THE BASE FLOOD ELEVATION FIRST FLOOR A RESTAURANT, AND APARTMENTS ON THE REMAINING FLOORS.
- ALL IMPROVEMENTS ON EXISTING LOT SHALL BE DEMOLISHED.
- BASED UPON FEMA PRELIMINARY FIRM PANEL #34025C0290 THE SITE LOCATION FALLS WITHIN THE TIDAL ZONE AND THE BASE FLOOD ELEVATION IS ELEVATION 14.0 FT. IN ACCORDANCE WITH N.J.A.C. 7:13 FLOOD HAZARD AREA CONTROL ACT RULES. THE BASE FLOOD ELEVATION IS EQUAL TO THE BASE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION.
- BASED UPON TOWNSHIP ORDINANCE #5-13 SECTION 12-5.2(A) RESIDENTIAL CONSTRUCTION, ANY RESIDENTIAL STRUCTURE SHALL BE AT OR ABOVE THE BASE FLOOD ELEVATION, PLUS 1 FT OR 15' FIRST HABITABLE FLOOR ELEVATION IS 15'.
- NO HABITABLE SPACE (RESIDENTIAL OR COMMERCIAL) SHALL BE CONSTRUCTED LOWER THAN ELEVATION 15.0 FT. LOWER FLOOR (AT ELEVATION 5.2') IS TO BE USED AS STORAGE SPACE AND PARKING.
- LOWEST FLOOR SHALL BE FLOOD PROOFED IN ACCORDANCE WITH N.J.A.C. 7:13 FLOOD HAZARD AREA CONTROL ACT RULES.
- OFF-STREET PARKING AND LOADING REQUIREMENTS
A. PARKING PER N.J.A.C. 5:21-4 (R.S.I.S. FOR RESIDENTIAL)
-PARKING REQ. 1 BEDROOM= 1.8
-PARKING REQ. 2 BEDROOM= 2
B. RESTAURANT PARKING PER BOROUGH ORDINANCE
-1 SPACE/75 SQ. FT. AREA OPEN TO PUBLIC
C. DESIGN DATA:
1-BEDROOM: 3 = 3x1.8 = 5.4 SPACES
2-BEDROOM: 5 = 5x2 = 10 SPACES
1 SPACE/75 SQ. FT. OPEN
TO PUBLIC: 4309 = 4309/75 = 57.3 SPACES
TOTAL PARKING REQUIRED = 69 SPACES
5 PROVIDED (1 HANDICAP).
- RESIDENTIAL SOLID WASTE WILL BE STORED INSIDE BUILDING'S "TRASH" ROOM UNTIL PICKUP DAYS AND THEN PLACED OUTSIDE FOR COLLECTION. COMMERCIAL WASTE WILL BE PLACED IN DUMPSTERS IN ENCLOSURE LOCATED IN PUBLIC PARKING LOT ADJACENT TO PROJECT AND PROVIDED BY THE BOROUGH.
- ROOF RUNOFF TO BE CAPTURED AND CONVEYED INTERNALLY TO THE REAR OF THE BUILDING WHERE IT IS TO BE DISCHARGED VIA UNDERGROUND PIPING TO THE TYPE "E" INLET LOCATED DIRECTLY BEHIND BUILDING.
- DECORATIVE OUTSIDE LIGHTING IS PROPOSED ON FRONT AND REAR FACADE OF BUILDING FOR THE RESTAURANT SPACE ONLY. SAFETY LIGHTING WILL BE PROVIDED OVER ALL DOORS.
- FF EQUALS FIRST FLOOR ELEVATION. LF EQUALS LOWEST FLOOR ELEVATION.
- ALL RESIDENTS WILL HAVE KEYCARD ACCESS TO THE RESIDENTIAL ONLY FLOORS.
- EXISTING WATER AND SEWER LATERALS TO REMAIN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER, 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARKOUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- ANY DAMAGED CURB, SIDEWALK AND/OR PAVEMENT WITHIN PUBLIC RIGHT OF WAY OR PUBLIC PARKING LOT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
- THE BOROUGH OF KEYPORT NOISE ORDINANCE SECTION 4.2.2 (L) SHALL BE FOLLOWED DURING DEMOLITION AND CONSTRUCTION.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN
- RESERVED
- DETAILS

SITE PLAN OF _____
BLOCK _____ LOT _____ ZONE _____
DATE _____ SCALE _____
APPLICANT _____ 41 21.01 GC (GENERAL COMMERCIAL)
ADDRESS _____ 1"=10'
I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD
(OWNER) _____ (DATE) 12/1/22
I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT
ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.
(NAME) _____ (TITLE & LICENSE)
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES
AND ORDINANCES UNDER THAT JURISDICTION.
(DATE) 12/1/22 (ENGINEER) _____
Planning Board

APPROVED BY PLANNING BOARD ON

PRELIMINARY _____

FINAL _____

CHAIRMAN _____

DATE _____

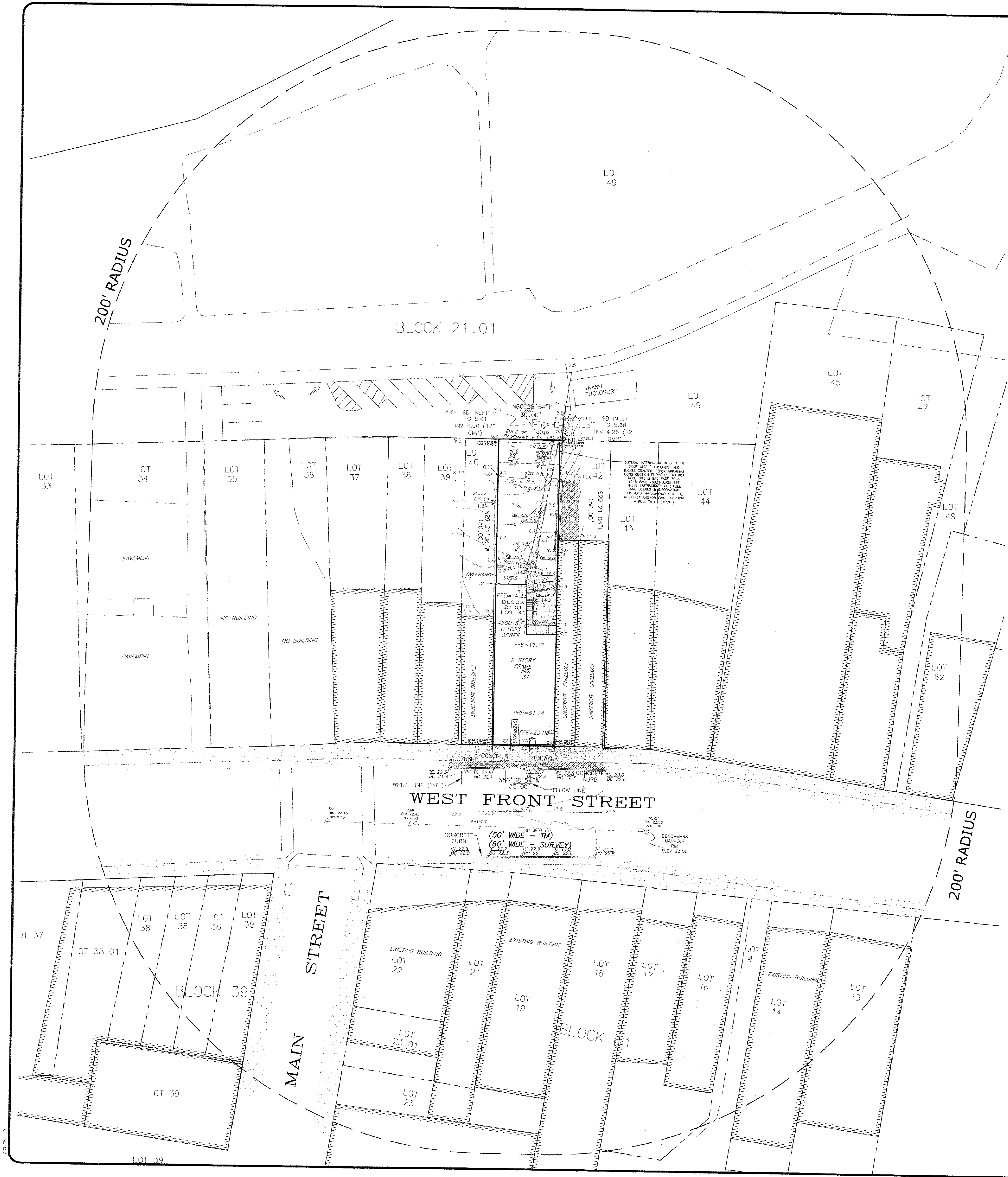
NO.	REV.	DESCRIPTION	DATE	BY
1.	REV. PER KEYPORT PLANNING BOARD ENGINEERING & PLANNING REVIEW LETTER, DATED 12/14/21		6/18/21	CPG

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
* CERTIFICATE OF AUTHORIZATION NO. 24627889300 *
100 WINE DRIVE
MILLSBORO, DE 19966
(302) 448-8500
12 HOBBS LANE
AT WATER STREET
TOWNE SQUARE
NEW CASTLE, DE 19701
(410) 321-2444-0888
2021.08.22 08:21:00-0400
LORALI L. TOTTON
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

DATE 3/2/21
SCALE 1" = 100'
DRAWN CPG
CHECKED _____
SHEET 1 OF 5
PROJECT _____

PRELIMINARY and FINAL SITE PLAN
**LOT 41
BLOCK 21.01**
(TAX MAP SHEET No. 7, GC ZONE)
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY

COVER SHEET



NOTE:
OUTBOUND AND PROPERTY TAKEN FROM "PLAN OF SURVEY PROPERTY" PREPARED BY CLEARPOINT SERVICES LLC. PROFESSIONAL LAND SURVEYORS FOR 31 WEST FRONT STREET - LOT 41 - BLOCK 21.01 SITUATED IN THE BOROUGH OF KEYPORT, MONMOUTH COUNTY, N.J., DATED 3/17/2020, LAST REVISED 9/2/2020 BY ALAN R. BOETTGER, PROFESSIONAL LAND SURVEYOR, NJ LIC. NO. 41957. SURROUNDING AREA INFORMATION TAKEN FROM NJGN WAREHOUSE 2015 ORTHOMAGERY TILE 99D1 AND NJDEP GIS DATA VIEWER.

LEGEND	
EXISTING FEATURES	
EXIST. TREE LINE	~~~~~
EXIST. SANITARY MANHOLE	⊗
EXIST. INLET	⊠
EXIST. UTILITY POLE	⊞
EXIST. FIRE HYDRANT	⊞
EXIST. SPOT ELEVATION	22.1
EXIST. WATER LINE	—W—
EXIST. SANITARY SEWER	—S—
EXIST. STORM SEWER	—ST—
EXIST. CONTOUR	10
EXIST. FENCE	—X—X—X—
EX. TOP CURB/OUTTER GRADE	22.5
EXIST. GAS LINE	—G—

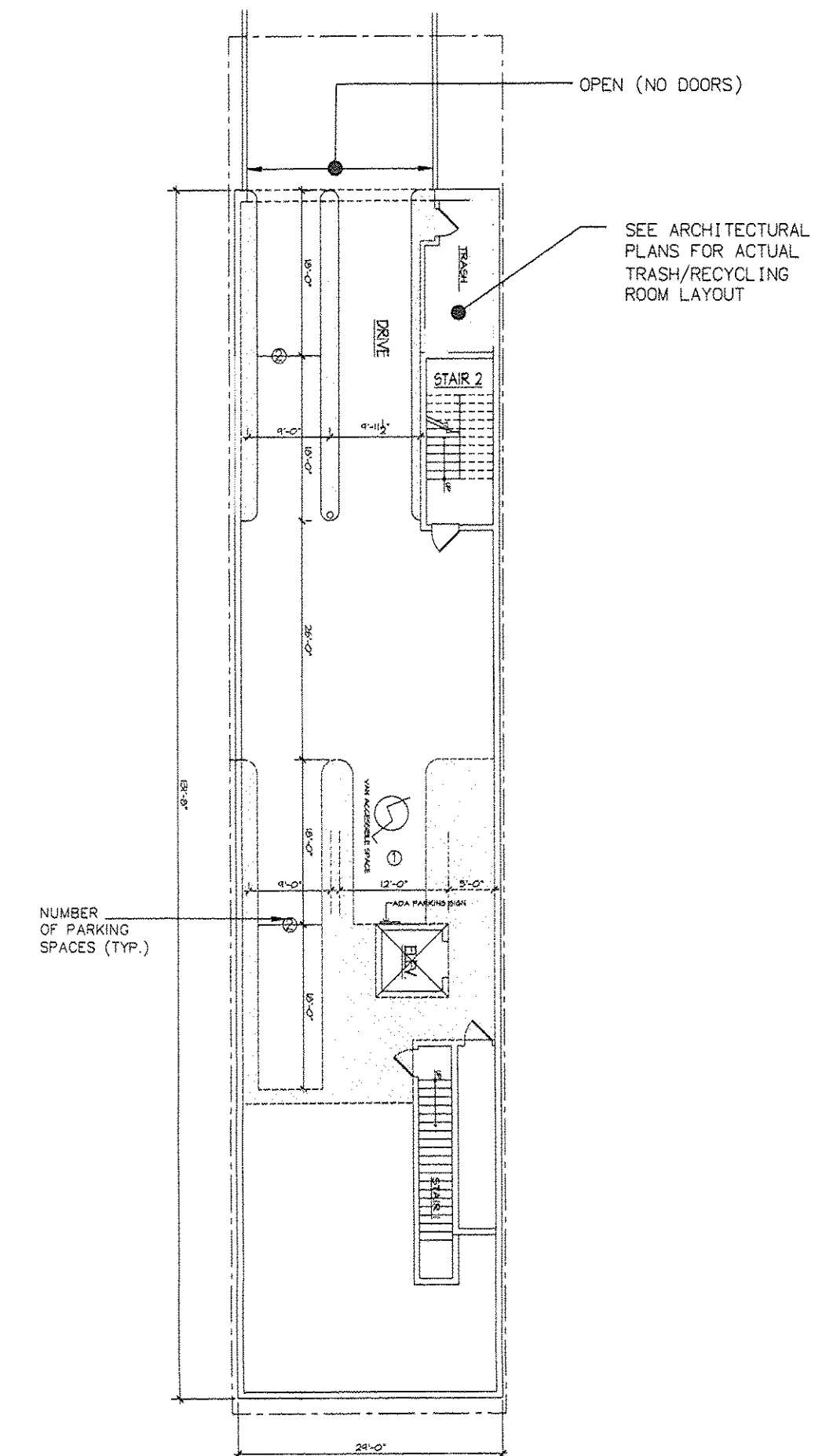
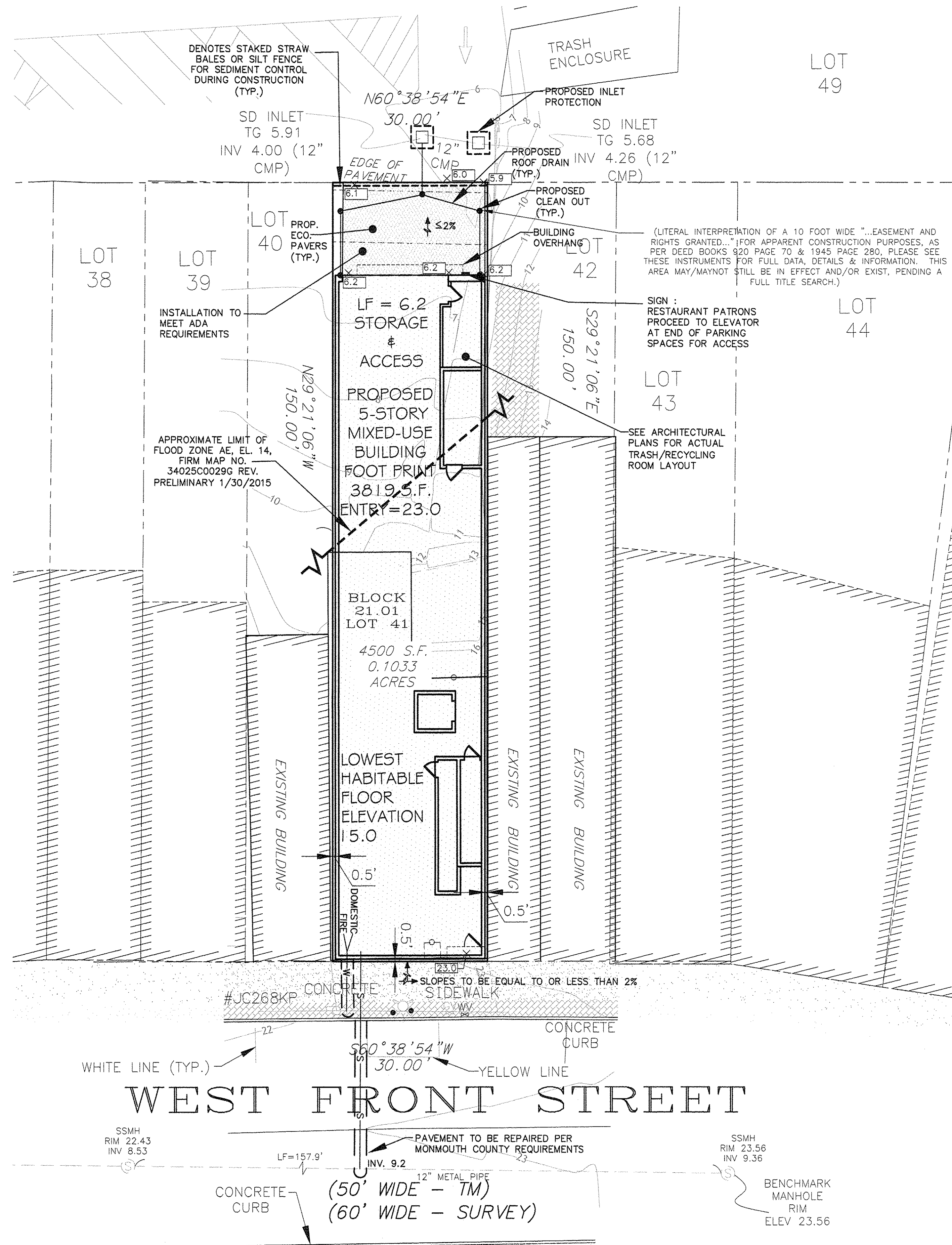
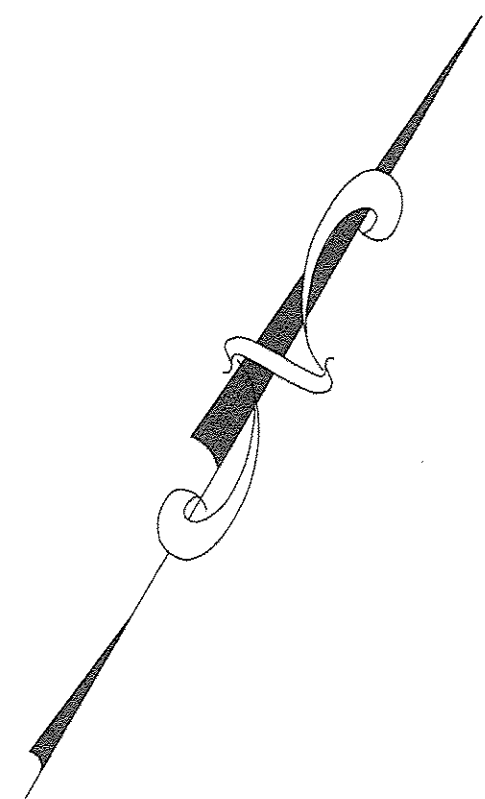
1. REV. PER KEYPORT PLANNING BOARD COMPLETION	6/18/21	CPG
REVIEW LETTER, DATED 4/13/21	DATE	9/2

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
CERTIFICATE OF AUTHORIZATION NO. 246A27989300
100 MAIN STREET
MILLSBORO, DELAWARE 19966
PH: 302.448.1000
12 ROBINS DRIVE
AT WATER STREET
DOVER, DELAWARE 19901
PH: 302.444-0885
2021.06.22 08:22:38-0400
LORALI E. TOLEMAN
PROFESSIONAL ENGINEER NJ LIC. NO. 28562

DATE
3/2/21
SCALE
1" = 20'
DRAWN
CPG
CHECKED
SHEET
2 of 5
PROJECT

PRELIMINARY and FINAL SITE PLAN
LOT 41
BLOCK 21.01
(TAX MAP SHEET NO. 7, GC ZONE)
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY

EXISTING
CONDITIONS

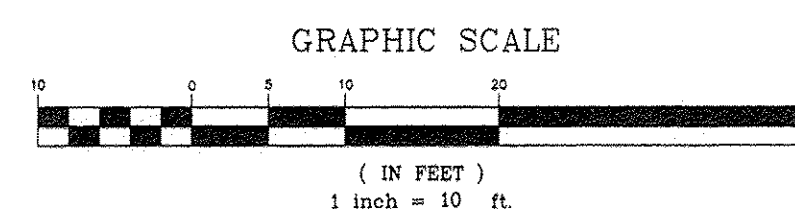


LOWER LEVEL FLOOR PLAN
NOT TO SCALE

NOTES:

- PROPOSED ROOF DRAIN COLLECTION SYSTEM WILL BE COLLECTED AND CONVEYED INTERNALLY THROUGH THE BUILDING AND DISCHARGED VIA 6" PVC PIPING UNDERGROUND INTO BOROUGH STORM SEWER SYSTEM.
- PROPOSED SIDEWALK, CURB, AND PAVEMENT DISTURBANCE SHALL COMPLY WITH MONMOUTH COUNTY STANDARDS.
- THE ENTIRE SITE AREA WILL BE THE LIMIT OF DISTURBANCE. SILT FENCE SHALL BE TEMPORARILY INSTALLED ACROSS THE REAR PROPERTY LINE DURING CONSTRUCTION, AND MOVED WHEN NECESSARY TO FACILITATE CONSTRUCTION VEHICLE/EQUIPMENT ENTERING AND LEAVING SITE.
- PAVEMENT REPAIR FOR THE ROOF DRAIN CONNECTION INTO THE BOROUGH STORM SEWER SYSTEM SHALL COMPLY WITH KEYPORT BOROUGH STANDARDS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH BOROUGH ENGINEER THE APPROPRIATE SHUT DOWN OF PUBLIC PARKING SPACES AT THE REAR OF PROPERTY.
- UTILIZE EXISTING WATER SERVICE AND SEWER LATERALS (WATER VALVE AND CLEAN OUT LOCATIONS UNKNOWN, BUT INSIDE WALK AREA) FOR RESIDENTIAL SERVICE (SERVICE FROM MAINS IN WEST FROM STREET). SYSTEM TO BE INSPECTED, APPLICANT TO REPAIR OR REPLACE AS IS NECESSARY THE SATISFACTION OF THE BOROUGH ENGINEER.
- NEW COMBINED WATER SERVICE/FIRE PROTECTION AND SEWER LATERAL FOR THE RESTAURANT. INTERNAL METER AFTER WATER SERVICE/FIRE PROTECTION LINE SPLIT. SIDEWALK, CURB AND PAVEMENT WITHIN WEST FRONT STREET R.O.W. TO BE REPAIRED AS NECESSARY IN ACCORDANCE TO BOROUGH'S STANDARDS.
- MAIN ENTRANCE AT 31 WEST FRONT STREET- ELEVATION 23, EXISTING SIDEWALK GRADE. INTERIOR HALL WAY TO ELEVATOR AND STEPS. SECONDARY ACCESS FROM LOWER LEVEL VIA BOTH STAIRS AND ELEVATOR.
- SIDEWALK, CURB AND ROADWAY ALONG FRONTAGE THAT IS DAMAGED DURING CONSTRUCTION TO BE REPAIRED IN ACCORDANCE WITH MONMOUTH COUNTY DETAILS.
- EXISTING INLETS AND PIPING IMMEDIATELY BEHIND PROJECT INTO WHICH ROOF DRAINS ARE TO BE CONNECTED TO BE INSPECTED AND CLEANED IF NECESSARY.
- SEE ARCHITECTURAL PLANS FOR MORE DETAILS OF UTILITY CONNECTIONS.
- INCREASE IN IMPERVIOUS= 1504 SF. = 0.035 AC.
Q=CIA; C= .99, I PER 10 MIN.= 6.6, A= 0.035
Q= 0.2 CFS HAVING A NEGLIGIBLE IMPACT ON EXISTING STRUCTURES.

EXISTING FEATURES	LEGEND	PROPOSED FEATURES
EXIST. TREE CANOPY LINE		PROP. TREE CANOPY LINE
EXIST. SANITARY MANHOLE		PROP. SURFACE FLOW DIRECTION
EXIST. INLET		PROP. LIMIT OF DISTURBANCE
EXIST. UTILITY POLE		PROP. INLET W/ SEDIMENT BARRIER
EXIST. FIRE HYDRANT		PROP. SILT FENCE
EXIST. SPOT ELEVATION		PROP. SPOT ELEVATION
EXIST. WATER LINE		PROP. TOP CURB/GUTTER GRADE
EXIST. SANITARY SEWER		PROP. CONTOUR
EXIST. STORM SEWER		PROP. SANITARY SEWER MANHOLE
EXIST. CONTOUR		PROP. SANITARY SEWER
EXIST. FENCE		PROP. STORM SEWER MANHOLE
EX. TOP CURB/GUTTER GRADE		PROP. INLET
		PROP. STORM SEWER
		PROP. PLANNED END SECTION
		PROP. WATER LINE
		PROP. WATER VALVE
		PROP. HYDRANT
		PROP. UTILITY POLE



NO.	DESCRIPTION	DATE	BY	CHECKED
1.	REV. PER KEYPORT PLANNING BOARD ENGINEERING & PLANNING REVIEW LETTER, DATED 4/14/21 & NEW BUILDING FOOT PRINT	6/18/21	CL	CL
2.	REVISED PER RESOLUTION COMPLIANCE	9/26/21	CL	CL
3.	REVISED PER T&M COMMENTS	12/1/21	CL	CL

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners - Surveyors - Landscape Architects
CERTIFICATE OF AUTHORIZATION NO. 24047988300
100 FREE DRIVE
MILLSTONE TOWNSHIP, NJ 08535
2022.12.01 14:54:10-0500
LORALI E. TOTTEN
PROFESSIONAL ENGINEER N.J. LIC. NO. 28662

DATE	3/2/21
SCALE	1" = 10'
DRAWN	
CHECKED	
SHEET	3 OF 5
POCKET	

PRELIMINARY and FINAL SITE PLAN
LOT 41
BLOCK 21.01
(TAX MAP SHEET No. 7, GC ZONE)
BOROUGH OF KEYPORT
MONMOUTH COUNTY, NEW JERSEY
SITE PLAN

