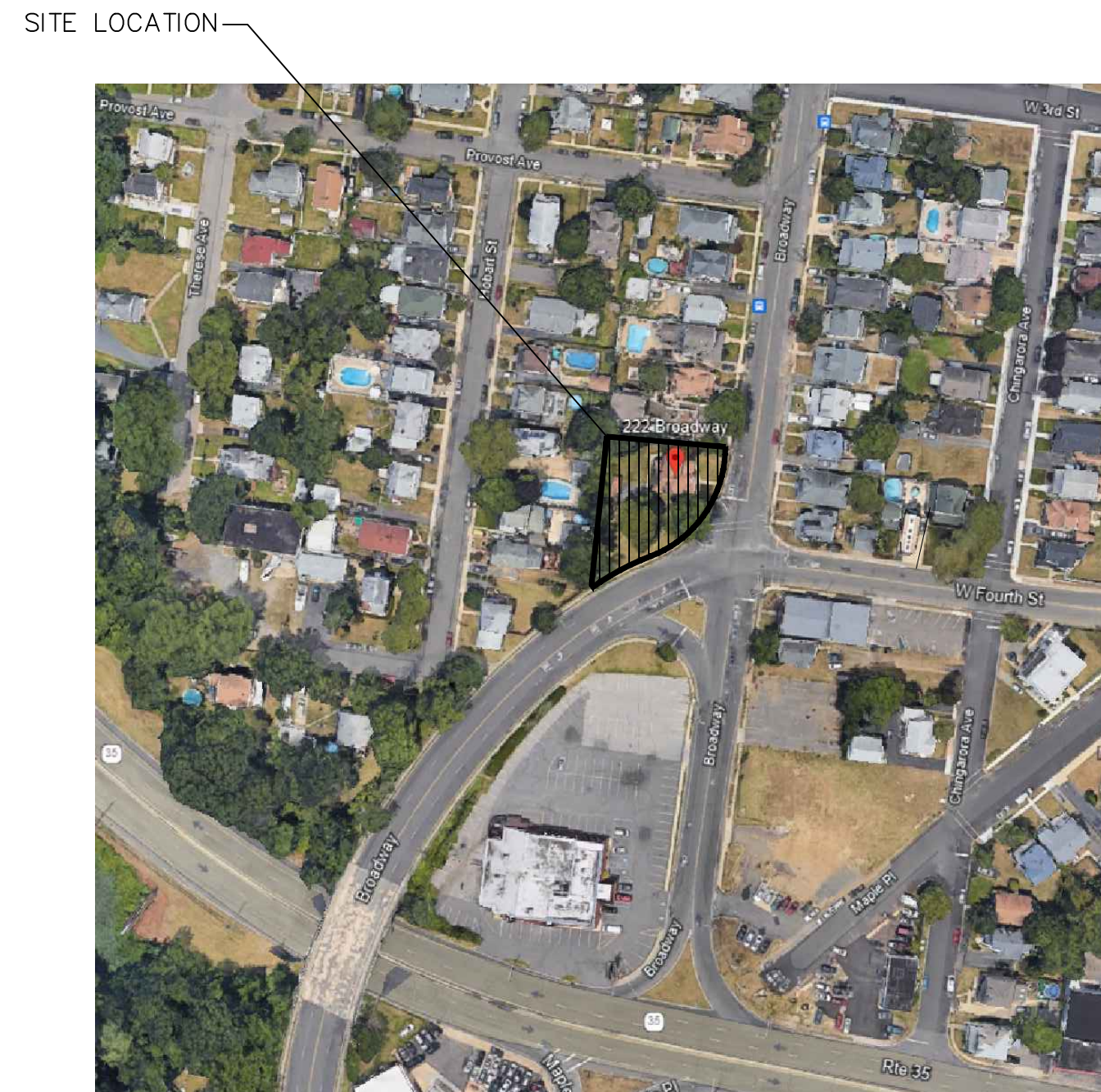
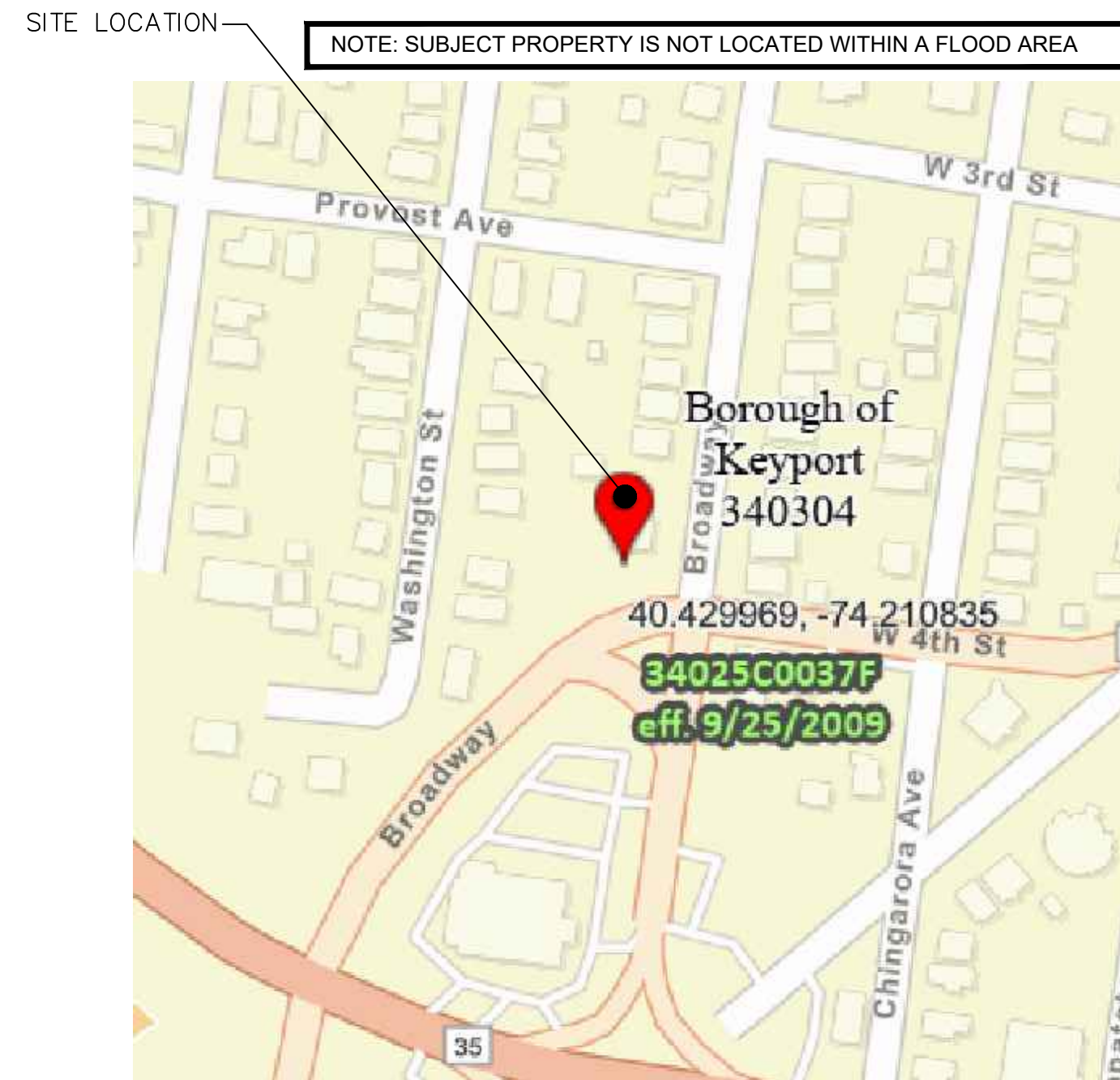


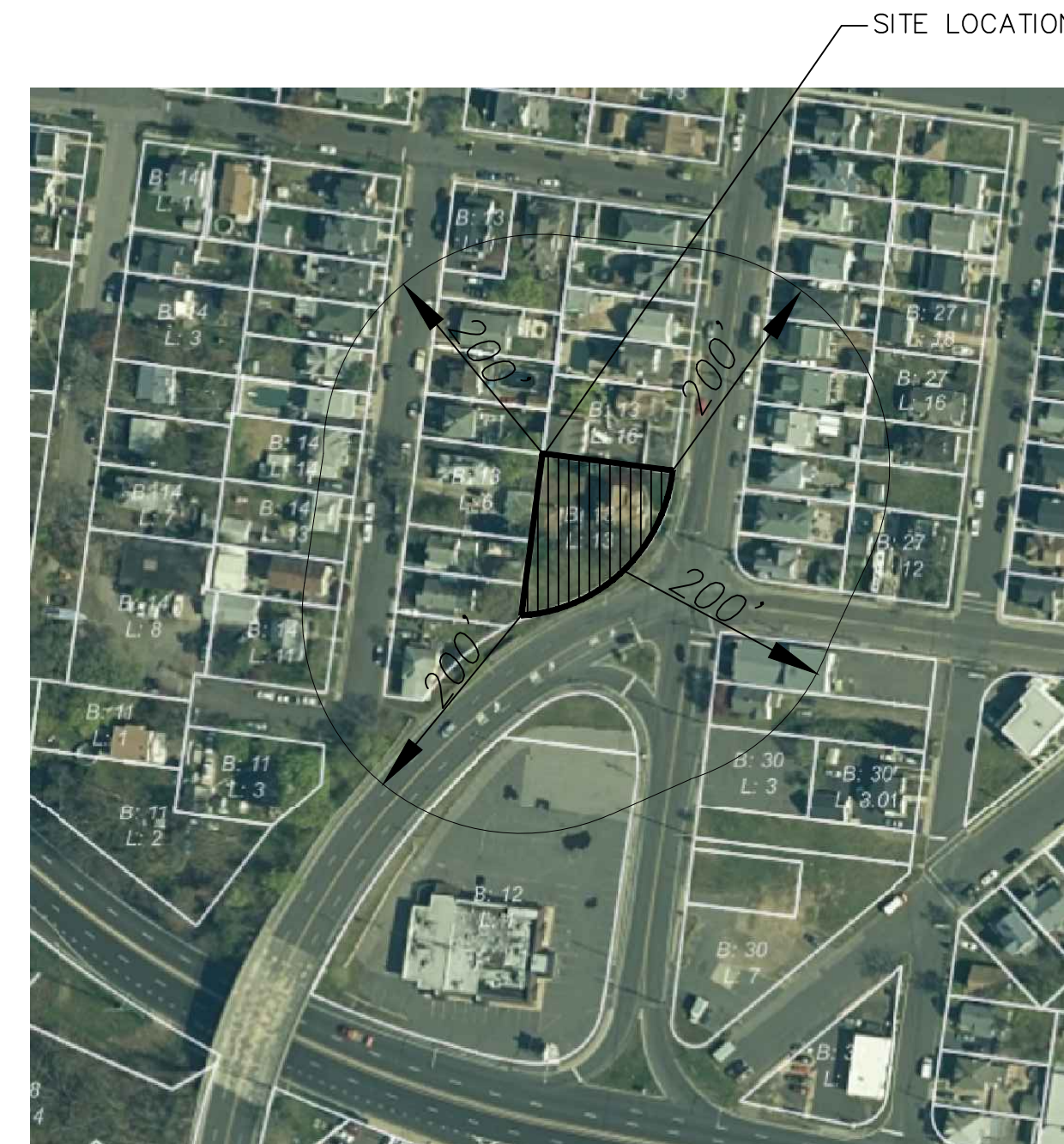
222 BROADWAY, KEYPORT, MONMOUTH COUNTY, NJ 07735



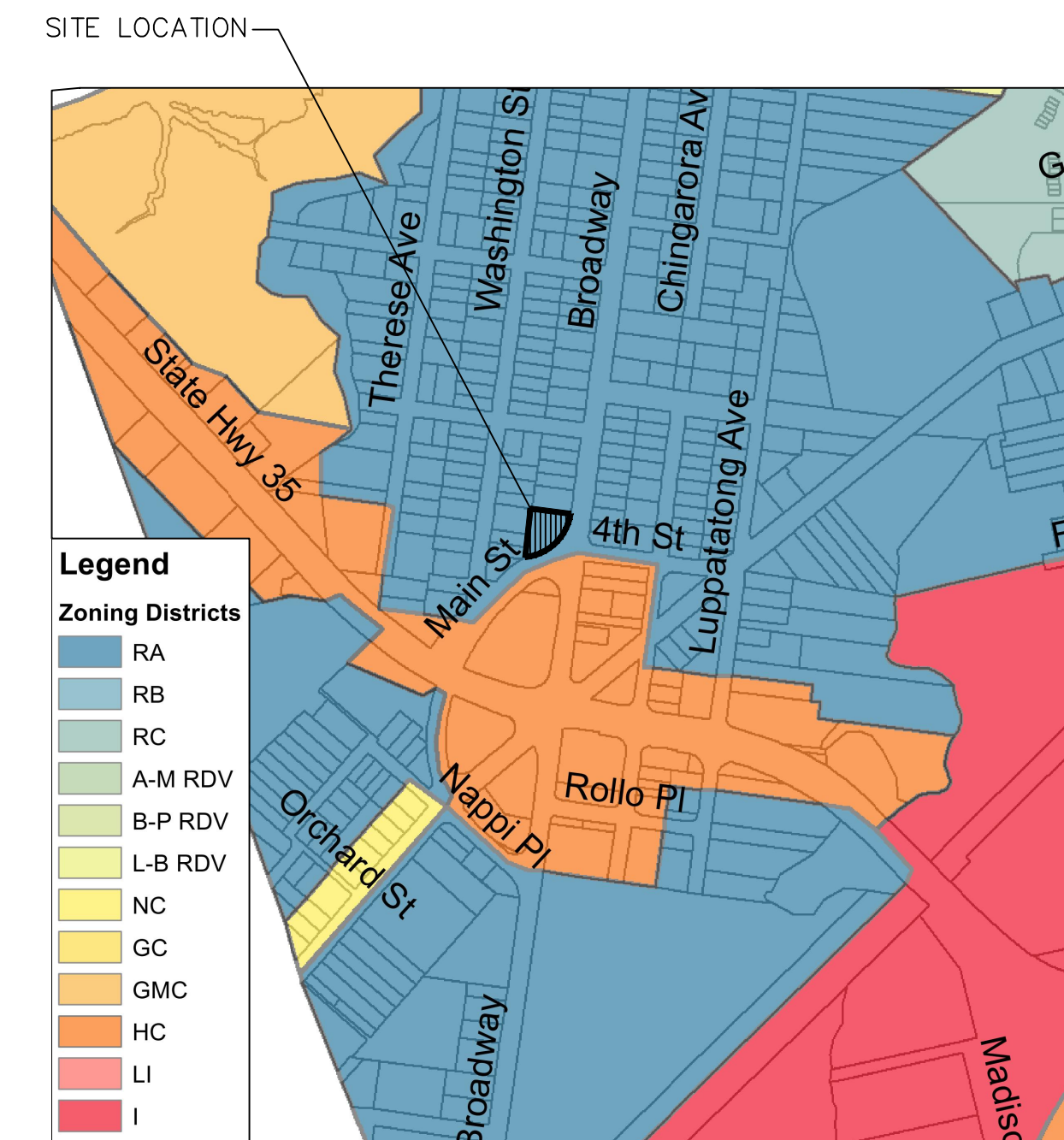
SITE LOCATION MAP
SCALE: N.T.S.



FEMA MAP # 34025C0037F, DATED SEPTEMBER 25, 2009
SITE DESIGNATION: ZONE X



TAX MAP SHOWING 200' RADIUS
SCALE: 1"= 150'-0"



BOROUGH OF KEYPORT ZONING MAP
SCALE: N.T.S.

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY											
PROPERTY OWNER	BLOCK	LOT	PROPERTY LOCATION	PROPERTY OWNER	BLOCK	LOT	PROPERTY LOCATION	PROPERTY OWNER	BLOCK	LOT	PROPERTY LOCATION
MARTINEZ, NATANAEL&LINDA 212 BROADWAY, KEYPORT, NJ 07735	13	16	216 BROADWAY	LONIEWSKI, MICHAEL & REBECCA 187 WASHINGTON ST, KEYPORT, NJ 07735	13	3	187 WASHINGTON ST	BPOE LODGE 2130 249 BROADWAY KEYPORT, NJ 07735	30	1	249 BROADWAY
NATANAEL MARINEZ 212 BROADWAY, KEYPORT, NJ 07735	13	18	212 BROADWAY	CABAN, JAYE M & ANDRE 707 HOLMDEL ROAD HOLMDEL, NJ 07735	13	1	14 PROVOST AVE	KEOHANE, THOMAS J & PATRICIA 235 BROADWAY KEYPORT, NJ 07735	27	11	235 BROADWAY
PEREIRA, GEORGE J JR 210 BROADWAY, KEYPORT, NJ 07735	13	19	210 BROADWAY	JANWICH, RAYMOND 218 WASHINGTON ST KEYPORT, NJ 07735	14	11	218 WASHINGTON ST	HERRERA, LUIS G & GLORIA E 219 BROADWAY KEYPORT, NJ 07735	27	10	219 BROADWAY
MORRIS, MATTHEW P & ARSHE MAHMOOD 204 BROADWAY, KEYPORT, NJ 07735	13	20	204 BROADWAY	WALSH, SEAN & ANDREA 214 WASHINGTON ST KEYPORT, NJ 07735	14	12	214 WASHINGTON ST	NEWMAN, NANCY L 215 BROADWAY KEYPORT, NJ 07735	27	9	215 BROADWAY
GRAY, PATRICK & MARY ANN 196 BROADWAY, KEYPORT, NJ 07735	13	21	196 BROADWAY	SKALA HOME PROPERTIES, LLC 1 BROOK LANE, HOLMDEL, NJ 07733	14	13	210 WASHINGTON ST	HONTOS, VASSILIOS, A. 213 BROADWAY KEYPORT, NJ 07735	27	8	213 BROADWAY
SNOVER, DEBORAH J&SYED, AREEBA, ET AL 23 HOBART ST, KEYPORT, NJ 07735	13	10	23 HOBART ST	BLANKS, KATHIA & JOHNSON, JOY-MICHE 198 WASHINGTON ST KEYPORT, NJ 07735	14	14	198 WASHINGTON ST	PITALUGA, SENEN 211 BROADWAY KEYPORT, NJ 07735	27	7	211 BROADWAY
WALSH, SEAN & ANDREA A 214 WASHINGTON ST, KEYPORT, NJ 07735	13	9	214 WASHINGTON ST	MANISCALCO, ROBYN 196 WASHINGTON ST KEYPORT, NJ 07735	14	15	196 WASHINGTON ST	ALFANO, SANDRA L 209 BROADWAY KEYPORT, NJ 07735	27	6	209 BROADWAY
WOOD, JAMES E & BROWN, KIRSTEN M 205 WASHINGTON ST, KEYPORT, NJ 07735	13	8	205 WASHINGTON ST	JOYCE, EMILIE 194 WASHINGTON ST KEYPORT, NJ 07735	14	15.01	194 WASHINGTON ST	YAKUBICS, EDWARD 207 BROADWAY KEYPORT, NJ 07735	27	5	207 BROADWAY
DE VARTI, MARY ANNE 197 WASHINGTON ST, KEYPORT, NJ 07735	13	6	197 WASHINGTON ST	NANAWA, JOSE & MILAGROS 186 WASHINGTON ST KEYPORT, NJ 07735	14	16	186 WASHINGTON ST	GALLOPO, GARY L & DEBORAH 126 CHINGARORA AVE KEYPORT, NJ 07735	27	12	126 CHINGARORA AVE
MISIAK, NINA 193 WASHINGTON ST, KEYPORT, NJ 07735	13	5	193 WASHINGTON ST	TC INN REALTY CORP 48 HIGHWAY 35 KEYPORT, NJ 07735	12	1	48 ROUTE 35	KEY 122 PROPERTY, LLC 27 MAIN STREET KEYPORT, NJ 07735	27	15	122 CHINGARORA AVE
BELLIS, STEPHEN J. 189 WASHINGTON ST, KEYPORT, NJ 07735	13	4	189 WASHINGTON ST	TC INN REALTY CORP 48 HIGHWAY 35 KEYPORT, NJ 07735	30	3	253 BROADWAY	MYERS, TAYLOR E & DONALDA, ET ALS 120 CHINGARORA AVE KEYPORT, NJ 07735	27	16	120 CHINGARORA AVE
GUZMAN, KALEENA 10 PROVOST AVE KEYPORT, NJ 07735	13	2	10 PROVOST AVE	POPOVICH, JOHN D & JANINE 251 BROADWAY KEYPORT, NJ 07735	30	2	251 BROADWAY				

ZONING ANALYSIS 222 BROADWAY, KEYPORT, NJ					
LOTS: 13, 14 & 15		BLOCK: 13			
ZONING DISTRICT: RA (RESIDENTIAL DISTRICT)					
ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	REMARK	
MAX. BUILDING HEIGHT	FEET/STY	30' / 2 1/2 STY.	29.1' / 2 STY.	30.4' / 2 STY.	PROPOSED CONDITION
MAX. ACCESSORY BUILDING HEIGHT	FEET/STY	16' / 1 1/2 STY.	15.5' / 1 STY.	-	COMPLIES
MAX. BUILDING COVERAGE		30%	10%	-	COMPLIES
MAX. ACCESSORY COVERAGE		10%	4.05%	-	COMPLIES
MAX. LOT COVERAGE		40%	14.05%	-	COMPLIES
MAX ALL BUILDING AND IMPERVIOUS SURFACE		60%	28.2%	-	COMPLIES
MIN. SIZE OF LOT	AREA IN SQ. FT.	5,000	13,412	-	COMPLIES
	WIDTH	50'	83.41'	-	COMPLIES
MIN. REQUIRED FRONT YARD	FEET	20'	18.9'	-	EXISTING CONDITION
MIN. REAR YARD	FEET	15'	57.0'	-	COMPLIES
MIN. SIDE YARD	MIN. ONE SIDE	6'	19.9'	-	COMPLIES
	MIN. BOTH SIDE	16'	51.2'	-	COMPLIES
ACCESSORY BUILDING	MIN. SIDE YARD	3'	47.2'	-	COMPLIES
	MIN. REAR YARD	3'	0.9'	-	EXISTING CONDITION

PARKING CALCULATIONS:
FOR PARKING SPACES REQUIRED:
1.5 SPACE PER 2- BEDROOM UNITS
NO. OF 2-BEDROOM UNITS = 2 UNITS
REQUIRED NO. OF PARKING SPACES = 2 UNITS X 1.5 SPACE = 3
NO. OF EXISTING PARKING SPACES = 2 (EXISTING CONDITION)

PROJECT DESCRIPTION

THE SITE AT 222 BROADWAY CURRENTLY SITUATES AN EXISTING TWO-STORY FRAME DWELLING AND GARAGE. THE EXISTING BUILDING WILL REMAIN.

SCOPE OF WORK WILL INCLUDE: INTERIOR RENOVATION AND STRUCTURAL MODIFICATION.

REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.

NOTE: PROJECT DOES NOT REQUIRE STORMWATER MANAGEMENT AS NO CHANGE IN IMPERVIOUS COVERAGE IS PROPOSED.

TABLE OF CONTENTS	
SHEET NO.	LIST OF DRAWINGS
C-01	SITE MAPS, ZONING ANALYSIS & NOTES
C-02	EXISTING SURVEY PLAN
C-03	EXISTING & PROPOSED SITE PLANS
C-04	EXISTING AND PROPOSED BASEMENT PLANS
C-05	EXISTING & PROPOSED FIRST FLOOR PLANS
C-06	EXISTING AND PROPOSED SECOND FLOOR PLANS
C-07	EXISTING AND PROPOSED ROOF PLANS
C-08	EXISTING AND PROPOSED ELEVATIONS

SITE PLAN OF _____
BLOCK _____ LOT _____ ZONE _____
DATE _____ SCALE _____
APPLICANT _____
ADDRESS _____

I CONSENT TO THE FILING OF THE PLAT WITH THE PLANNING BOARD OF THE MONMOUTH COUNTY

(OWNER) _____ (DATE) _____

I HEREBY CERTIFY THAT I HAVE PREPARED THE PLOT PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.

(NAME) _____ (TITLE&LICENSES) _____

I HAVE REVIEWED THIS PLOT PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION.

(DATE) _____ (MUNICIPAL ENGINEER) _____

APPROVED BY THE PLANNING BOARD OF THE MONMOUTH COUNTY

(BOARD CHAIRMAN) _____ (DATE) _____

PROJECT:
**PROPOSED SITE PLAN FOR
RENOVATION & ALTERATION**

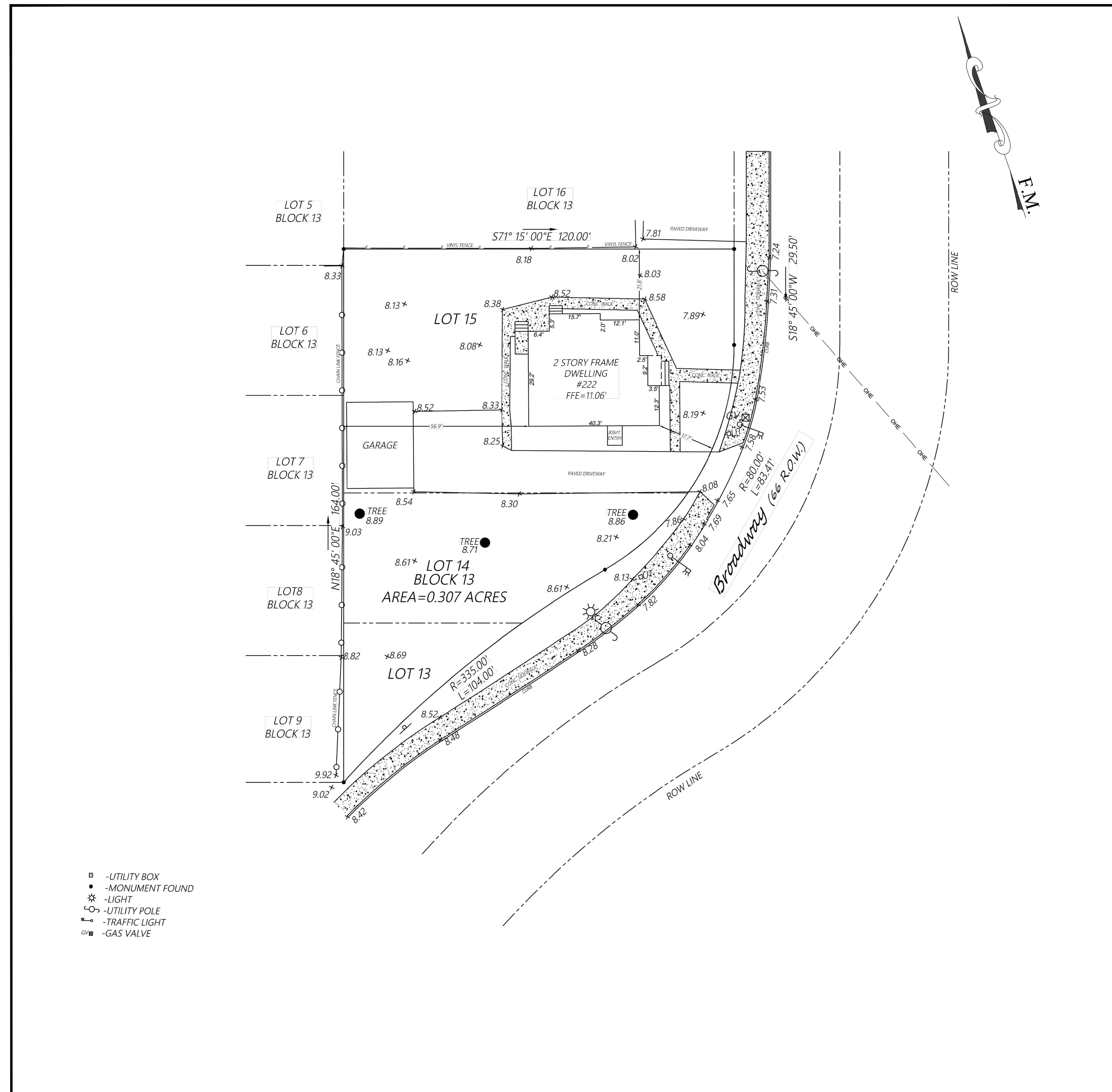
AT:
222 BROADWAY
KEYPORT, NJ 07735
BLOCK:13 LOT:15,14&13

REVISIONS:		
No.	DATE	DESCRIPTION

DRAWING TITLE:
**SITE MAPS, ZONING
ANALYSIS & NOTES**

SEAL
DATE: 11/08/2023
SCALE: AS NOTED
DRAWN BY: SS & NA
PROJECT No.
DWG. 1 of 8

DWG. No.
C-01



- -UTILITY BOX
- -MONUMENT FOUND
- * -LIGHT
- -UTILITY POLE
- ⊙ -TRAFFIC LIGHT
- ⊙ -GAS VALVE

Lot and Block numbers refer to the Borough of River Edge, Tax map.
SURVEY OF PROPERTY FOR
Lot 13,14 & 15 in Block 13
Keyport, Monmouth County, , New Jersey

CHECK IF APPLICABLE

THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE ABOVE NAMED PURCHASER NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY

PHYSICAL LOCATION OF ANY UNDERGROUND UTILITIES ON THIS PROPERTY HAS NOT BEEN MADE.

THIS SURVEY IS CERTIFIED TO
OMER INVESTMENT, LLC
222 BROADWAY
KEYPORT, NJ 07735-1633

SCALE 1"=20'	DRAWN BY AE	DATE 10-09-2023
JOB NO. TS#9636	FIELD BK XX-XX	

LEO A. KALIETA & Co.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 31268 (20 Middlesex Road, Matawan, N.J 07747)

PROJECT:
PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

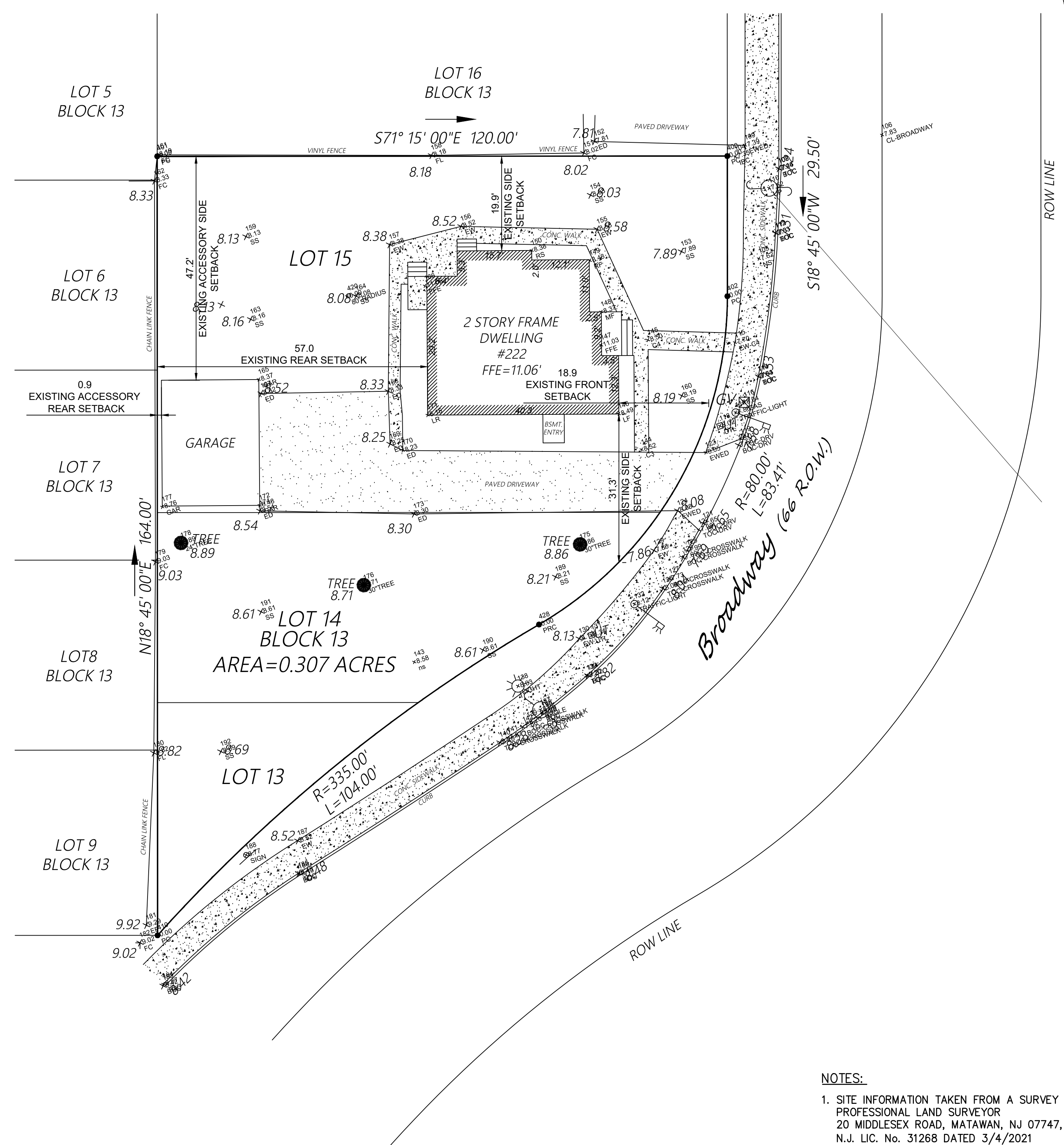
AT:
222 BROADWAY
KEYPORT, NJ 07735
BLOCK:13 LOT:15,14&13

REVISIONS:

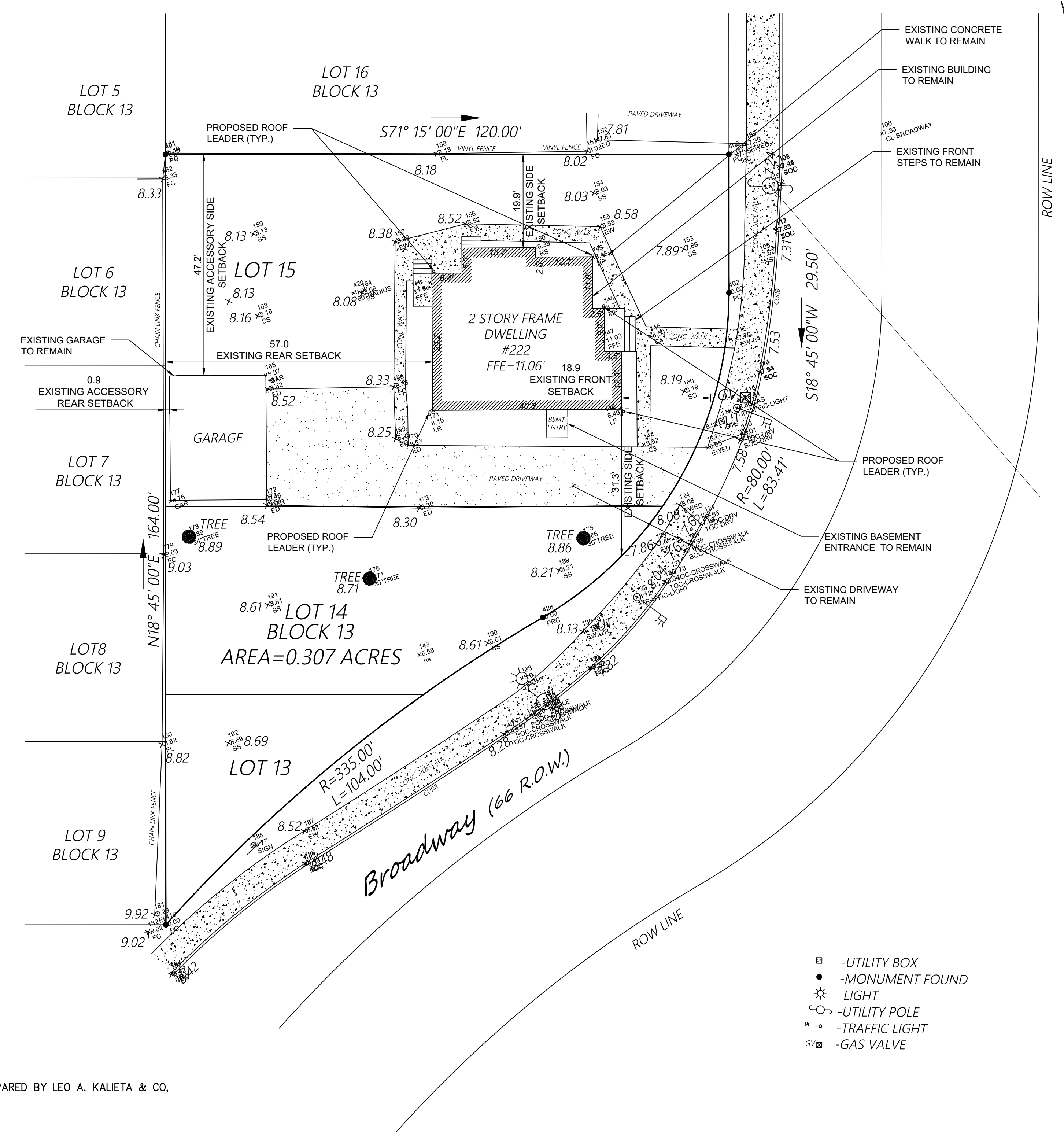
No.	DATE	DESCRIPTION

DRAWING TITLE:
EXISTING SURVEY PLAN

SEAL	DATE: 11/08/2023
	SCALE: AS NOTED
	DRAWN BY: SS & NA
	PROJECT No.
Omar Eisherif, PhD, PE NJ PE LICENSE # GE476300 NY PE LICENSE # 080963	DWG. 2 of 8



1 EXISTING SITE PLAN
 SCALE: 1" = 15'-0"



2 PROPOSED SITE PLAN
 SCALE: 1" = 15'-0"

NOTES:
 1. SITE INFORMATION TAKEN FROM A SURVEY PREPARED BY LEO A. KALIETA & CO, PROFESSIONAL LAND SURVEYOR
 20 MIDDLESEX ROAD, MATAWAN, NJ 07747,
 N.J. LIC. No. 31268 DATED 3/4/2021

- - UTILITY BOX
- - MONUMENT FOUND
- ⊛ - LIGHT
- - UTILITY POLE
- ⊠ - TRAFFIC LIGHT
- ⊗ - GAS VALVE

PROJECT:
PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

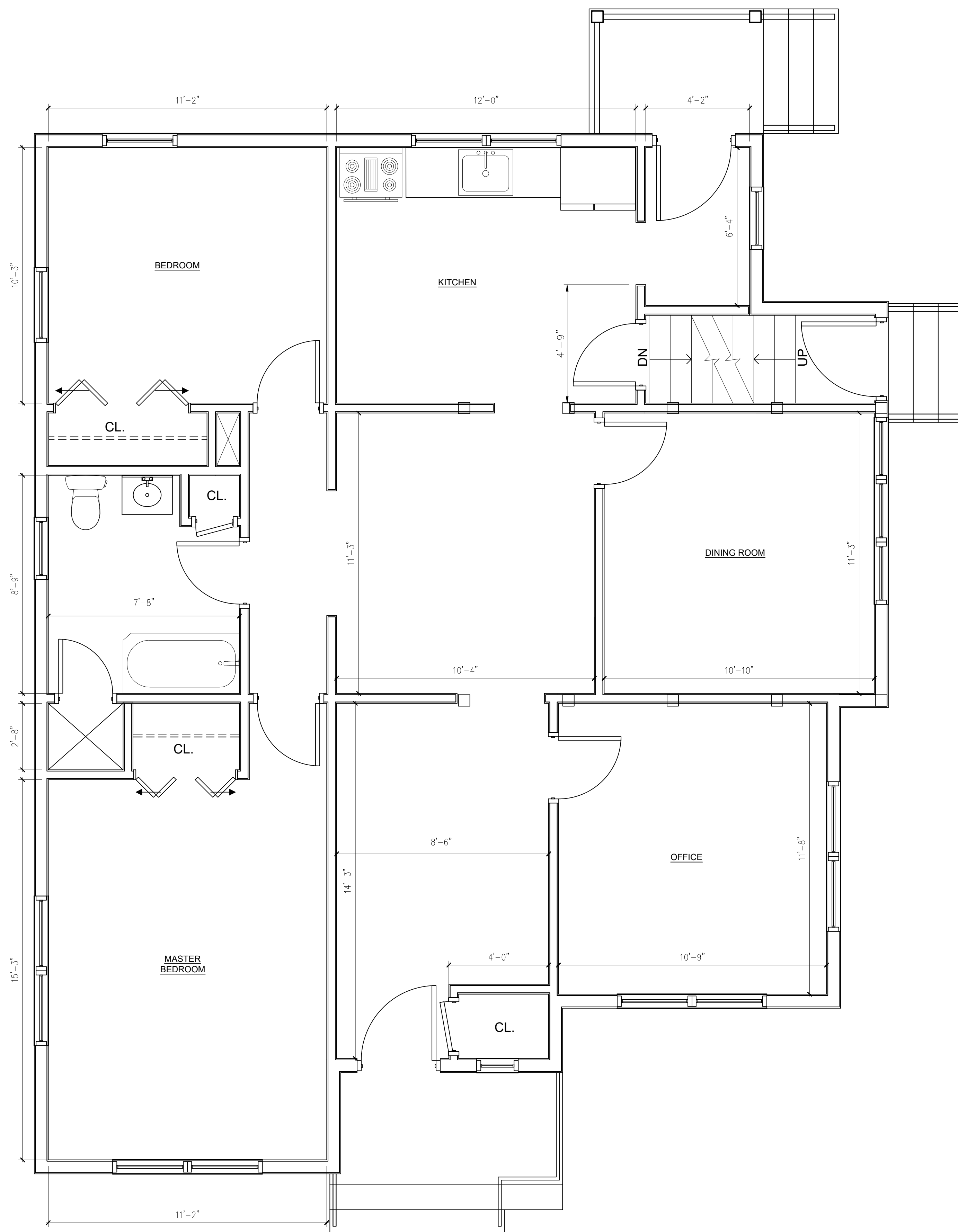
AT:
 222 BROADWAY
 KEYPORT, NJ 07735
 BLOCK:13 LOT:15,14&13

REVISIONS:

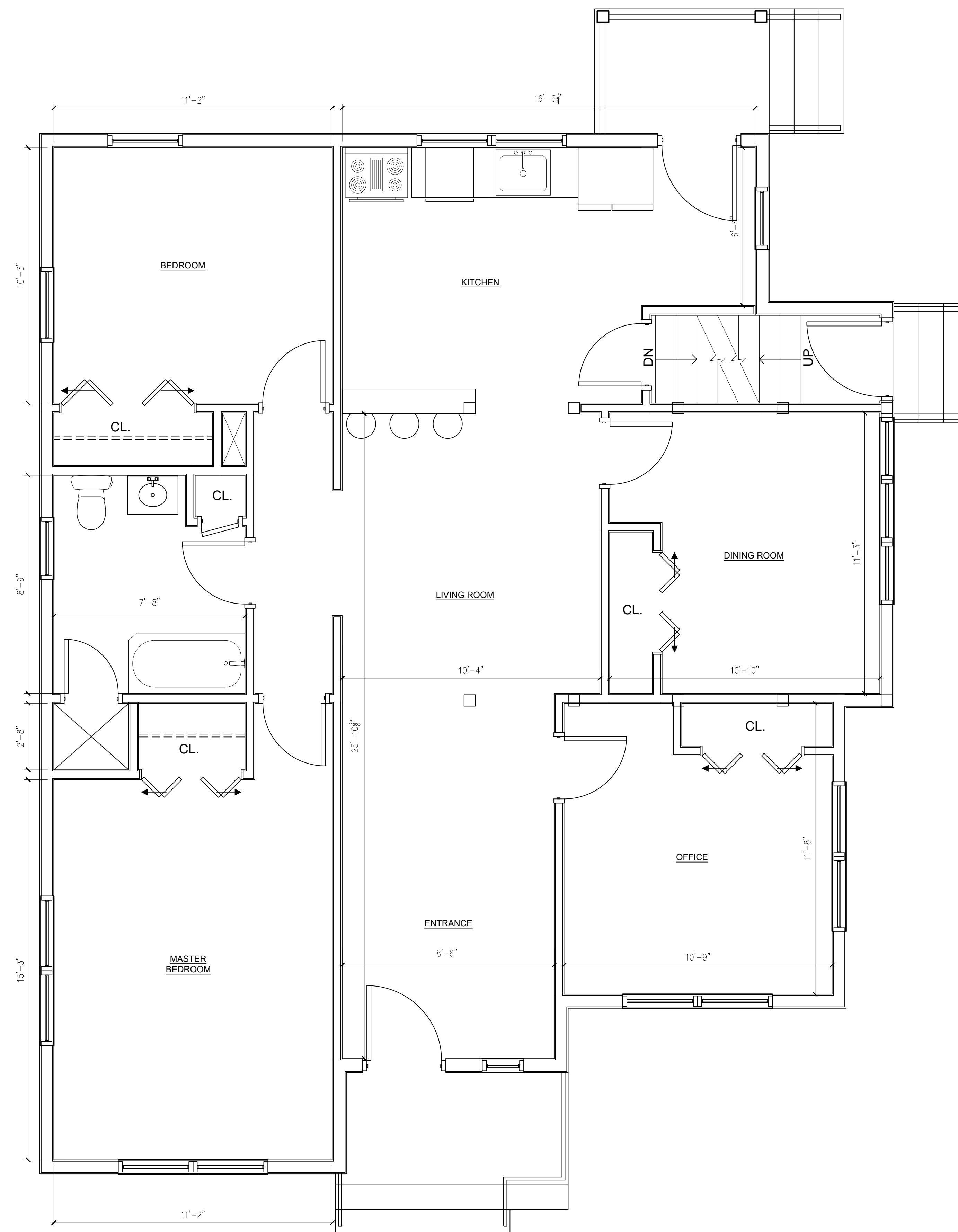
No.	DATE	DESCRIPTION

DRAWING TITLE:
EXISTING & PROPOSED SITE PLAN

SEAL: _____ DATE: 11/08/2023
 SCALE: AS NOTED
 DRAWN BY: SS & NA
 PROJECT No. _____
 DWG. 3 of 8



3 EXISTING FIRST FLOOR PLAN
 SCALE: 3/8"=1'-0"



4 PROPOSED FIRST FLOOR PLAN
 SCALE: 3/8"=1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW INTERIOR WALL (PROVIDE 5/8" SHEETROCK ON 2X4 WOOD STUDS @ 16" O.C.)
	NEW EXTERIOR WALL (PROVIDE 5/8" SHEETROCK ON 2X6 WOOD STUDS @ 16" O.C. W/ R21 INSULATION BETWEEN)
	NEW 8" CMU WALL REINF. W/ #4 @ EACH CELL FULL HEIGHT

PROJECT:

PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

AT:
 222 BROADWAY
 KEYPORT, NJ 07735
 BLOCK:13 LOT:15,14&13

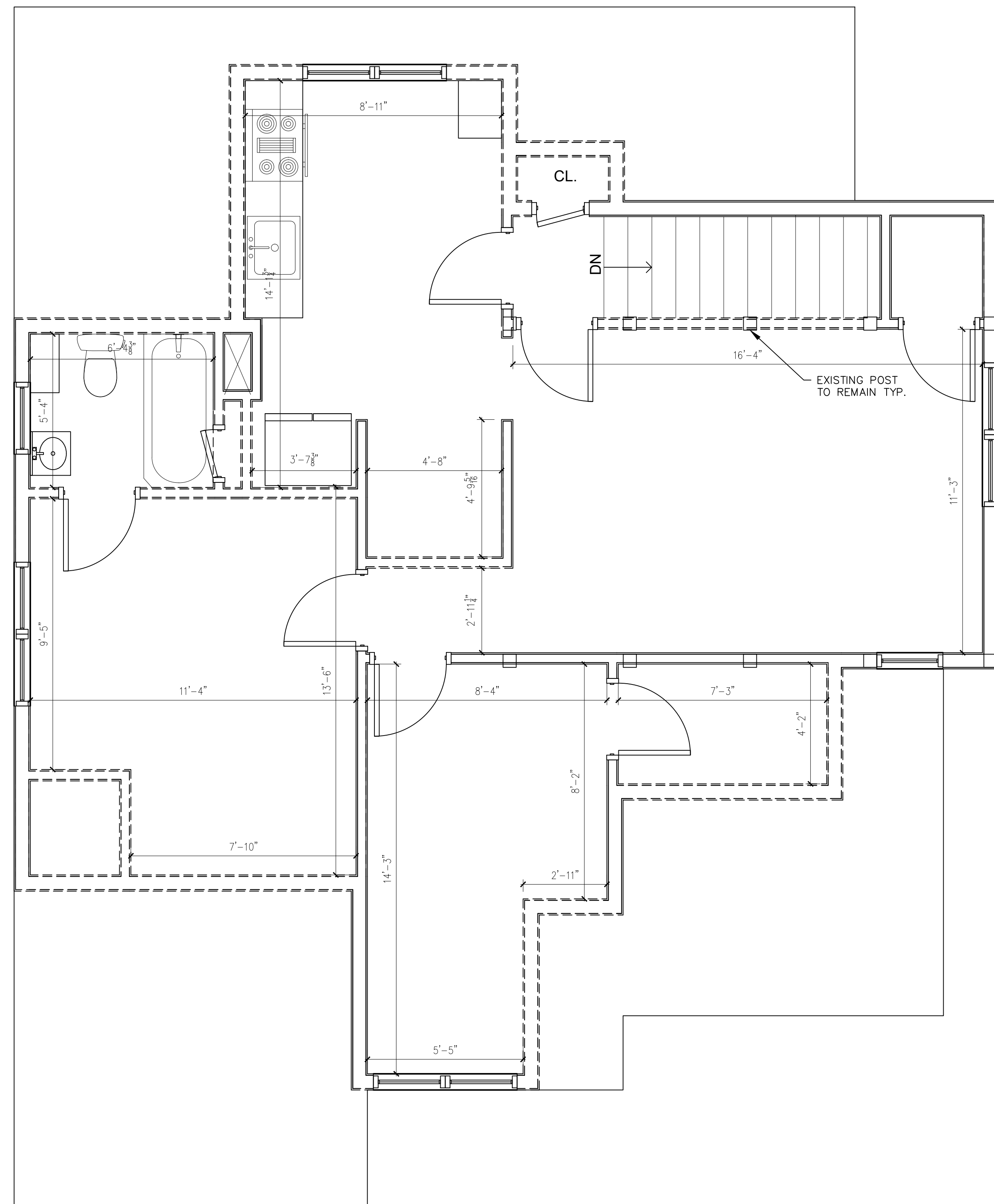
REVISIONS:

No.	DATE	DESCRIPTION

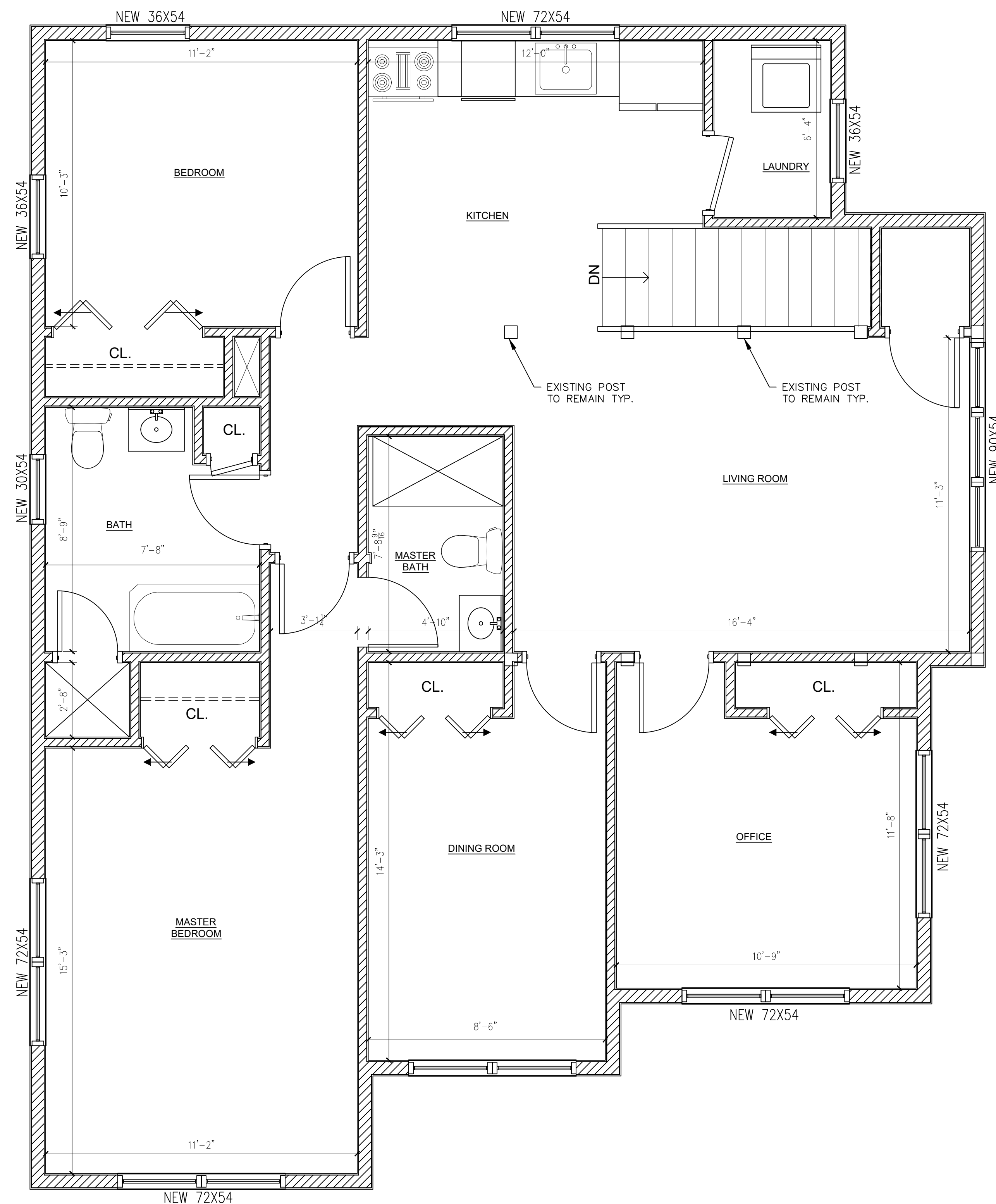
DRAWING TITLE:

EXISTING & PROPOSED FIRST FLOOR PLANS

SEAL	DATE: 11/08/2023
	SCALE: AS NOTED
	DRAWN BY: SS & NA
	PROJECT No.
Omar Elsherif, PhD, PE NJ LICENSE # GE476300 NY LICENSE # 080963	DWG. 5 of 8



5 EXISTING SECOND FLOOR PLAN
 SCALE: 3/8"=1'-0"



6 PROPOSED SECOND FLOOR PLAN
 SCALE: 3/8"=1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW INTERIOR WALL (PROVIDE 5/8" SHEETROCK ON 2X4 WOOD STUDS @ 16" O.C.)
	NEW EXTERIOR WALL (PROVIDE 5/8" SHEETROCK ON 2X6 WOOD STUDS @ 16" O.C. W/ R21 INSULATION BETWEEN)
	NEW 8" CMU WALL REINF. W/ #4 @ EACH CELL FULL HEIGHT

PROJECT:

PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

AT:
 222 BROADWAY
 KEYPORT, NJ 07735
 BLOCK:13 LOT:15,14&13

REVISIONS:

No.	DATE	DESCRIPTION

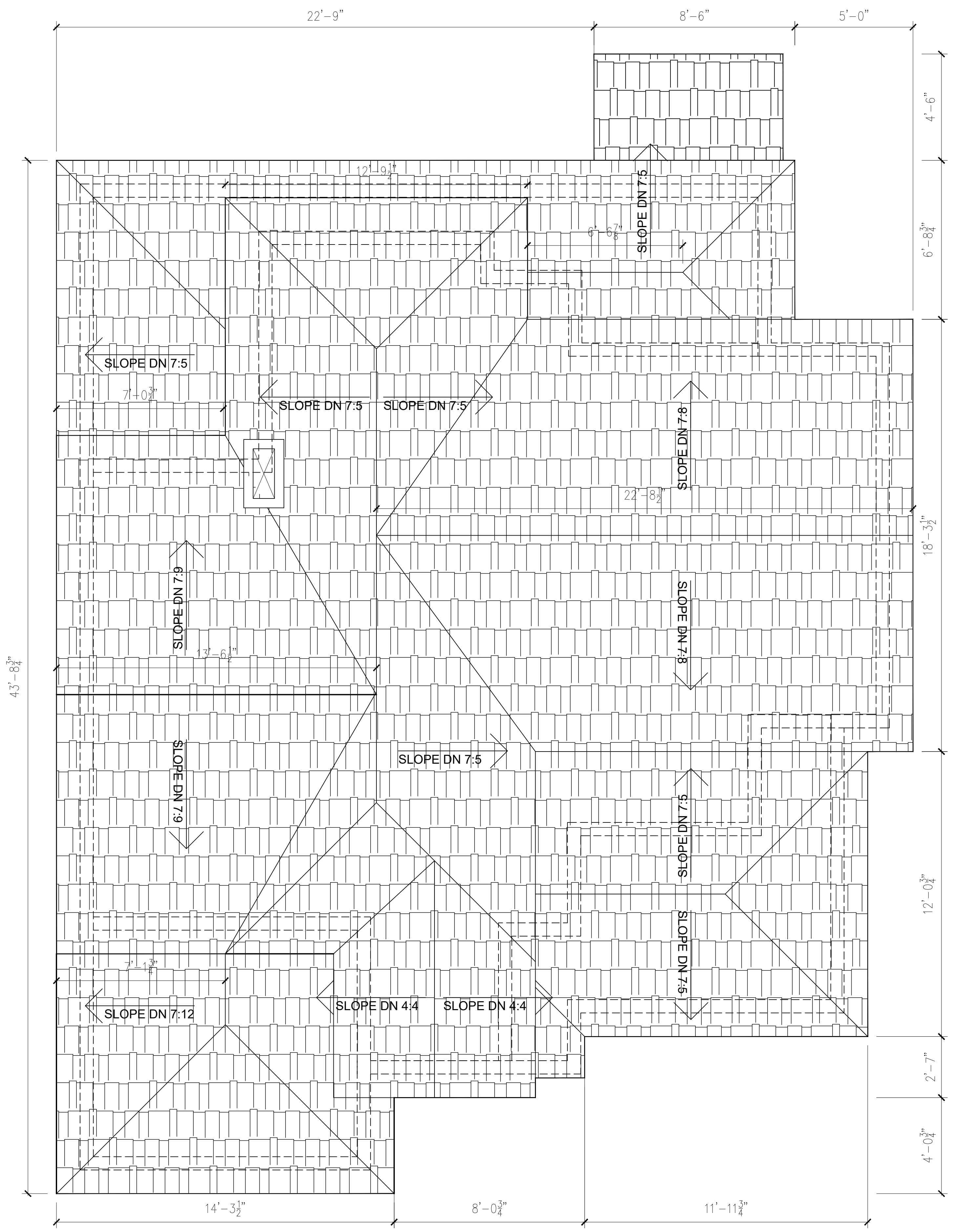
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EXISTING AND PROPOSED SECOND FLOOR PLANS

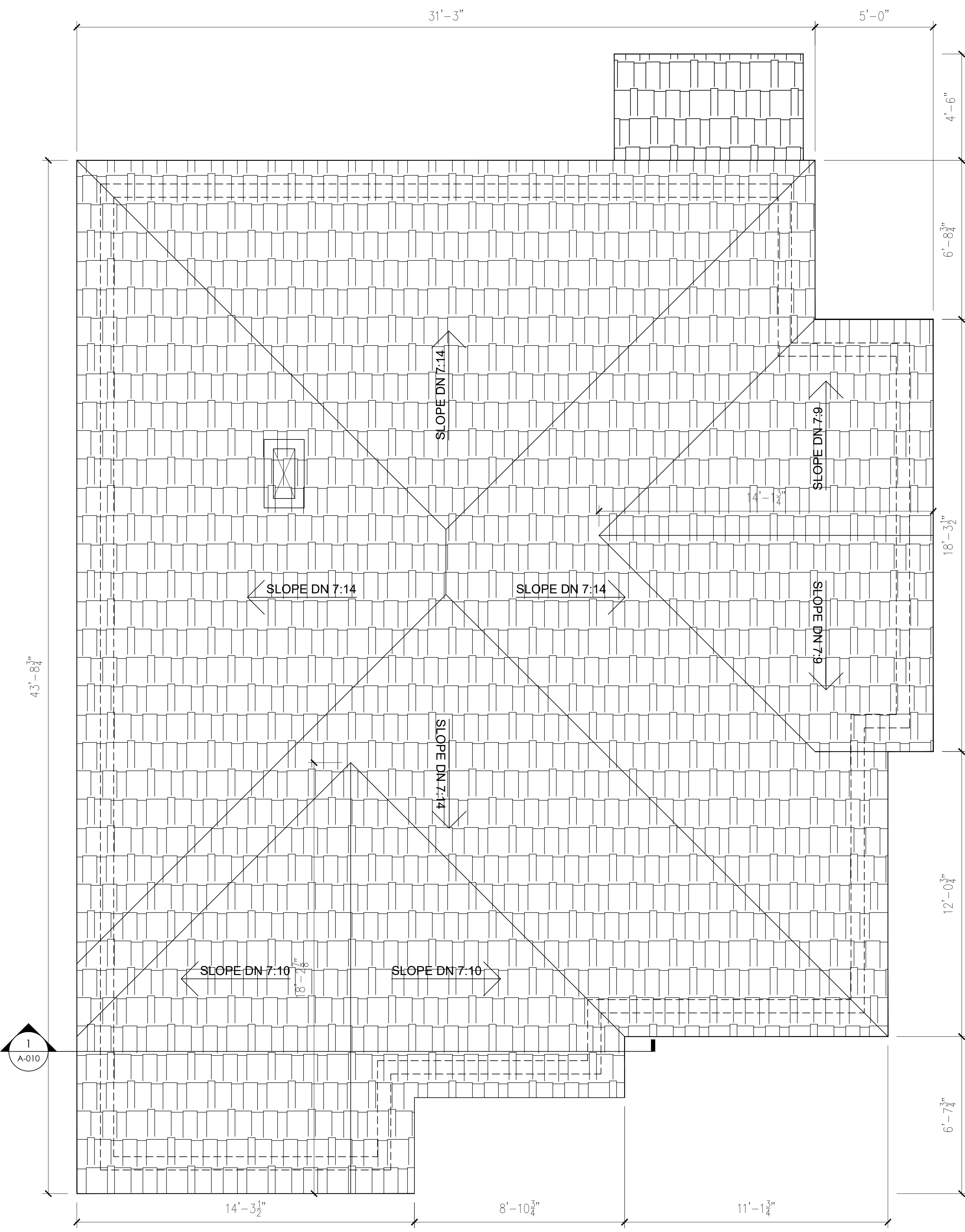
SEAL	DATE: 11/08/2023
	SCALE: AS NOTED
	DRAWN BY: SS & NA
	PROJECT No.
Omar Elsherif, PHD, PE NJ LICENSE # GE476300 NY PE LICENSE # 080963	DWG. 6 of 8

DWG. No.

C-06



7 EXISTING ROOF
 SCALE: 3/8"=1'-0"



8 PROPOSED ROOF
 SCALE: 3/8"=1'-0"

PROJECT:
PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

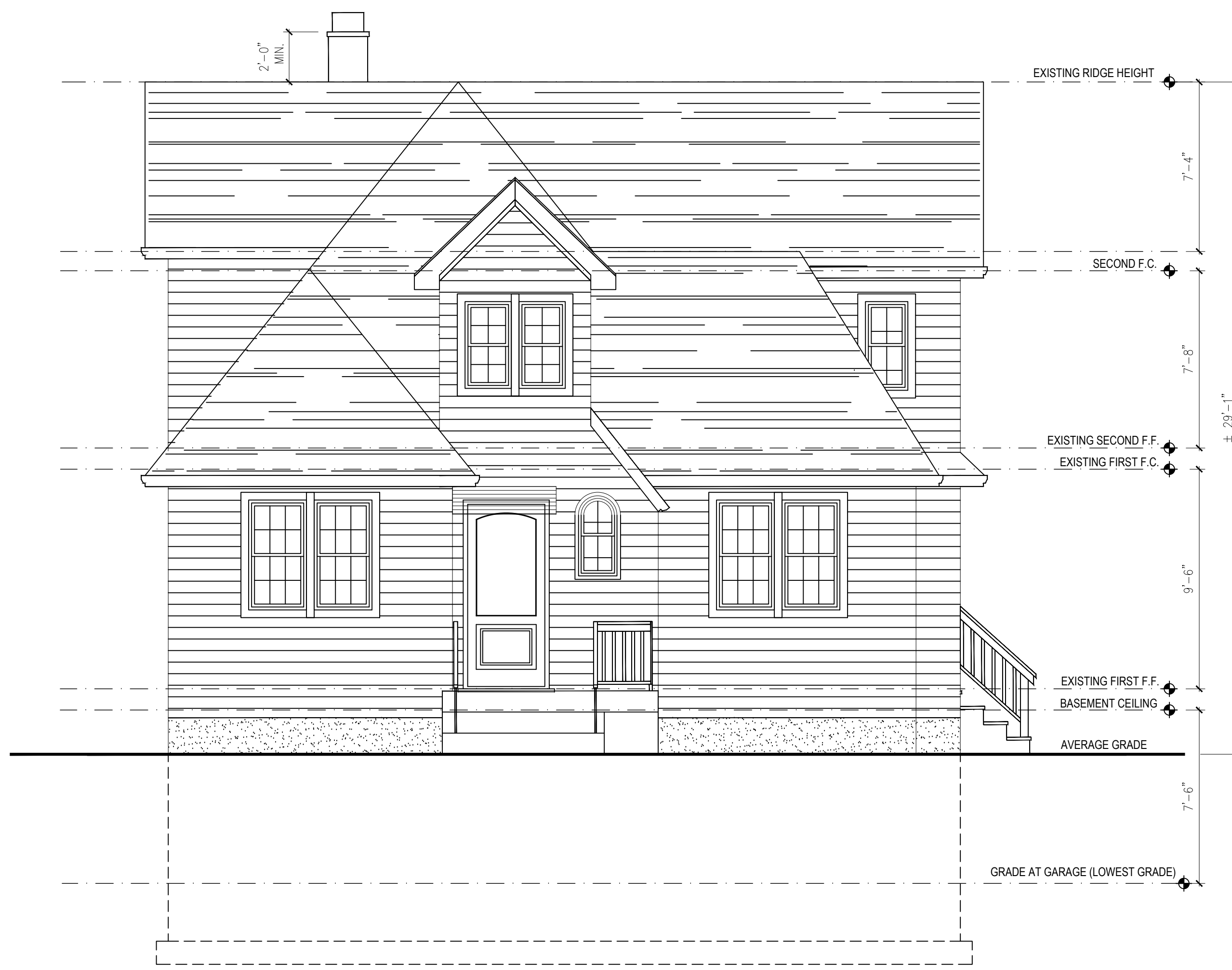
AT:
 222 BROADWAY
 KEYPORT, NJ 07735
 BLOCK:13 LOT:15,14&13

REVISIONS:

No.	DATE	DESCRIPTION

DRAWING TITLE:
EXISTING AND PROPOSED ROOF PLANS

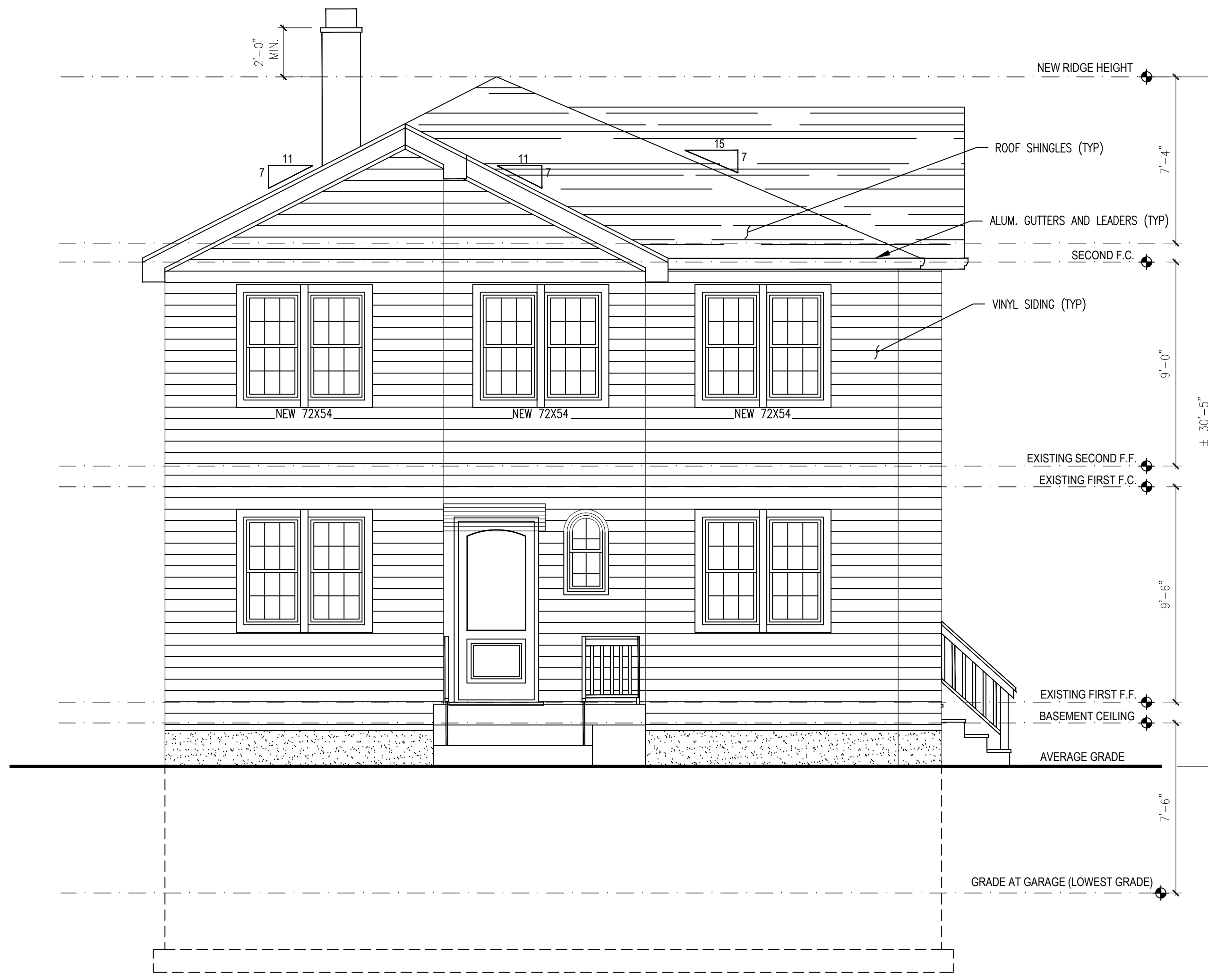
SEAL	DATE: 11/08/2023
	SCALE: AS NOTED
	DRAWN BY: SS & NA
	PROJECT No.
Omar Elsherif, PhD, PE NJ LICENSE # GE476300 NY LICENSE # 080963	DWG. 7 of 8



1 EXISTING FRONT ELEVATION
 SCALE: 1/4"=1'-0"



2 EXISTING NORTH ELEVATION
 SCALE: 1/4"=1'-0"



3 PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"



4 PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"

PROPOSED SITE PLAN FOR RENOVATION & ALTERATION

AT:
 222 BROADWAY
 KEYPORT, NJ 07735
 BLOCK:13 LOT:15,14&13

REVISIONS:

No.	DATE	DESCRIPTION

EXISTING AND PROPOSED ELEVATIONS

SEAL	DATE: 11/08/2023
	SCALE: AS NOTED
	DRAWN BY: SS & NA
	PROJECT No.
Omar Elsherif, PHD, PE NJ PE LICENSE # GE476300 NY PE LICENSE # 080263	DWG. 8 of 8