

GENERAL CONDITIONS
UNLESS OTHERWISE NOTED, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION PER #2 OR BETTER. DOCUMENT-2014/87 SHALL APPLY. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY. SUBSTITUTIONS SHOULD NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE ARCHITECT. THE PREMISES SHALL BE KEPT REASONABLY CLEAN AT ALL TIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, TOOLS, RUBBISH, ETC., CLEAN GLASS AND LEAVE WORK BROOM CLEAN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH GOOD BUILDING PRACTICES. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEYS FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO INJURY, SICKNESS, DISEASE OR DEATH OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM). (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORM-WORK, BLOCK-WORK, FRAMING, NAILING, PLACING OF CONCRETE, ETC. ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHOP DRAWINGS WHICH MAY BE NEEDED. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED. CONTRACTOR TO REMOVE & RELOCATE AS REQUIRED ALL EXISTING WORK WHICH INTERFERES WITH NEW CONSTRUCTION. USE THE FOLLOWING DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FOR DIMENSIONS. IF NO DIMENSIONS ARE PROVIDED, CONSULT DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE PROJECT WATER TIGHT - WHETHER TIGHT NOT WITHSTANDING ANYTHING IN THE CONTRACT DOCUMENTS.

SITE WORK
STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK. PATIOS ARE TO BE SLOPED 1/8 TO 1/4" PER FOOT AWAY FROM RESIDENCE. PRIOR TO BEGINNING ANY EXCAVATION, CONTRACTOR SHALL VERIFY AND MARK ALL UNDERGROUND UTILITY LOCATIONS.

CONCRETE
NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT ALL CONCRETE IS TO BE MIN. 3,000 P.S.I. AT 28 DAYS & 3,500 PSI FOR GARAGE SLAB. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY LOCAL CODES. UNLESS INDICATED, ALL FOUNDATION FLOORS ARE TO BE A MIN. 8" DEEP PROJECTING 6" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6X6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 40" O.C. AND MAX. 12" FROM CORNERS. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

GARAGES
GARAGE SEPERATION SHALL COMPLY PER FTO-13 AND BE SEPARATED FROM RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE-X GYP. BD. APPLIED TO GARAGE SIDE. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 2 LAYERS OF 5/8" TYPE-X GYP. BD. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK.
GARAGE APPLIANCES SHALL BE INSTALLED 18" ABOVE FLOOR ON A PLATFORM.
GARAGE FLOORS ARE TO BE SLOPED TOWARDS THE GARAGE DOOR TO FACILITATE THE MOVEMENT OF LIQUIDS.

ELECTRICAL
ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE, LOCAL, AND UTILITY COMPANY CODES AND REGULATIONS. ALL CIRCUITS SHALL BE AMF. POWERDRAILS SHALL BE MINIMUM 14 AWG. CONVENIENCE OUTLETS SHALL BE LOCATED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED. ALL SWITCHED TO BE LOCATED 36" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE INDICATED. SUPPLY RECOMMENDED LAMPS IN ALL FIXTURES.

FRAMING AND ROUGH CARPENTRY
JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR #2 OR BETTER. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACO TREATED. ALL METAL FASTENERS IN CONTACT WITH ACO TREATED LUMBER TO BE DOUBLE HOT DIPPED GALVANIZED OR AS SPECIFIED BY MANUFACTURER. TERMITE SHIELDS AT SILL TO BE COPPER OR OTHER APPROVED NON CORROSIVE MATERIAL. ALL EXTERIOR SHEATHING SHALL BE 1/2 CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD, PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. TOE NAIL JOISTS TO CAP OR BEAM WITH . WHERE TUSH FRAMING OCCURS, USE MIN. 16GA SHEET METAL JOISTS HANGERS BY "SIMPSON" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 3/2X4 STUDS. HEADERS SHALL BE MINIMUM 2/2X6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3 1/2". USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING AREAS:
A) CONCEALED SPACES OF STUD WALLS AT FLOOR AND CEILING LEVELS
B) SOFFITS AND FURRED SPACES AT 10 FOOT LEVELS BOTH VERT. AND HORIZ.
C) ALL INTERCONNECTIONS BETWEEN CONCEALED HORIZONTAL AND VERTICAL SPACES WHICH OCCUR AT DROP SOFFITS, CEILINGS, AND COVE CEILINGS.
D) BETWEEN STAIR STRINGERS IN BOTTOM AND TOP OF RUN, AND BETWEEN STUDS ALONG AND IN LINE WITH THE STRINGERS.
E) OPENINGS AROUND DUCTS, PIPES, VENTS AND CHIMNEYS WITH NON-COMBUSTIBLE MATERIALS.

PLUMBING
CONTRACTOR SHALL INSTALL WATER SUPPLY AND SANITARY SYSTEM AS INDICATED AND AS PER THE NATIONAL STANDARD PLUMBING CODE. PROVIDE HOT AND COLD SHUT-OFF VALVES AT ALL FIXTURES. ALL WATER PIPING TO HAVE CLEANOUTS AT ALL CHANGES OF DIRECTION AND AT BASE OF VERTICAL WASTES. USE 4" CAST IRON THRU ROOF FOUNDATION WALL PITCHED MIN. 1/8" PER FOOT. TRAP/WASTE SIZES FOR FIXTURES SHALL BE AS FOLLOWS:
DISH WASHER 1 1/2"
KITCHEN SINK 1 1/2"
LAVATORY 1 1/4"
SHOWER 2"
TOILET 3"/MATCH FIXTURE OUTLET
ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK INCREASED TO 4" THROUGH THE ROOF. PROVIDE FROSTPROOF HOSE-BIBS AS INDICATED ON PLANS WITH EASILY ACCESSIBLE DRAIN DRAIN-COCKS. THE WATER SUPPLY AND SEWAGE DISPOSAL SYSTEM SHALL COMPLY TO THE APPLICABLE COUNTY DEPARTMENT OF HEALTH STANDARDS AND REGULATIONS. APPROVAL OF ALL PLUMBING MUST BE OBTAINED FROM APPROPRIATE LOCAL AUTHORITIES PRIOR TO CONCEALMENT. PRIOR TO ORDERING, CONTRACTOR SHALL SUPPLY CUTS OF FIXTURES FOR OWNERS APPROVAL. IN THE EVENT THAT THE OWNER CHANGES, THE CONTRACTOR SHALL CREDIT THE OWNER FOR THE FULL SUBCONTRACTORS COST FOR THE CHANGED UNIT.

INTERNATIONAL ENERGY CONSERVATION CODE
AIR LEAKAGE
-JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDINGS ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
-RECESSED LIGHTS MUST BE TYPE 1C RATED AND INSTALLED WITH NO PENETRATIONS, OR TYPE 1C OR NON-1C RATED INSTALLED INSIDE AN APPROPRIATE AIR-TIGHT ASSEMBLY WITH 0.5" CLEARANCE FROM COMBUSTIBLE MATERIALS AND 3" CLEARANCE FROM INSULATION

VAPOR RETARDER:
-REQUIRED ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS.

MATERIALS IDENTIFICATION:
-MATERIALS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
-MATERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT THE COMPLIANCE CAN BE DETERMINED.
-MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED.
-INSULATION R-VALUES AND GLAZING U-FACTORS MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

TEMPERATURE CONTROLS:
-EACH DWELLING UNIT HAS AT LEAST ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST ZONE.

STAIRS/GUARDS
STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT.
HEADROOM SHALL BE A MIN. OF 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING.
STAIR RISER HEIGHT SHALL BE A MAXIMUM OF 8-1/4 INCHES. STAIR TREAD DEPTH SHALL BE A MIN. OF 9 INCHES. ALL TREADS AND RISERS ARE TO BE UNIFORM IN HEIGHT AND DEPTH.
STAIR PROFILE: STAIRS WITH A TREAD DEPTH OF LESS THAN 11 INCHES ARE REQUIRED TO HAVE A NOSING OF BETWEEN 3/4 AND 1-1/4 INCHES.
LANDINGS FOR STAIRS, THERE SHALL BE A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, AND BE A MIN. OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.

HANDRAILS SHALL BE COMPLY PER IRC R311.7.7
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS AND SHALL BE 30" - 38" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW.
GUARDS SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT.

WOOD FLOORING
WOOD FLOORING TO BE 2 1/4" WIDE BY 3/4" THICK CONSTRUCTION GRADE DOUGLAS FIR #2 OR BETTER. MINIMUM 2" IN LENGTH. FLOORING SHALL BE INSTALLED OVER CONSTRUCTION WEIGHT CRAFT PAPER. ALL BOARDS TO BE BLIND NAILED WITH 2" BARBED FASTENERS. ALL JOINTS TO BE TIGHT WITH BOARD EDGES FREE OF DEFORMITIES. ALLOW FOR PERIMETER EXPANSION AS RECOMMENDED BY WOOD FLOOR MANUFACTURER. PREPARATION AND FINISHING:
ALL PLANK FLOORING TO BE SANDED THREE TIMES; ONE COURSE CUT, ONE MEDIUM CUT, AND ONE FINE CUT. ALL SANDING TO BE UNIFORM, SWIRLS AND CROSS-MARKS ARE UNACCEPTABLE. TWO COATS OF STAIN, APPROVED BY THE ARCHITECT AND/OR OWNER SHALL BE APPLIED IN A UNIFORM MANNER. FLOORING SHALL BE SEALED WITH TWO COATS OF NON-YELLOWING POLYURETHANE AS MANUFACTURED BY MCKLUSKY'S HEIRLOOM SERIES, EGGSHELL FINISH OR APPROVED EQUAL.

PAINTING AND STAINING
THE FOLLOWING IS INCLUDED FOR THE CONVENIENCE OF THE PAINTING CONTRACTORS AND ONLY AS AN INDICATION OF THE TYPES OF PAINTS REQUIRED FOR VARIOUS SURFACES. IT IS THE INTENT OF THESE SPECIFICATIONS TO PROVIDE A COMPLETE FINISH. ALL PAINTED SURFACES MUST BE FULLY COVERED IN A UNIFORM MANNER TO BE ACCEPTABLE.
INTERIOR WOOD SURFACES-APPLY TO LIGHTLY SANDED SURFACES, WALLS, DOORS, FRAMES, TRIM, AND BASES. ONE COAT WOOD FILLER OR STAIN AND TWO COATS MCKLUSKY'S EGGSHELL FINISH NON-YELLOWING POLYURETHANE.
GYPSUM BOARD- MINIMUM ONE COAT PRIMER AND TWO COATS FLAT PAINT.
EXTERIOR WOOD SURFACES- TWO COATS EXTERIOR GRADE STAIN.
EXTERIOR EXPOSED METAL- MINIMUM ONE COAT ZINC CHROMATE AND TWO COATS EXTERIOR ENAMEL.
ALL MATERIAL SHALL BE OF BEST QUALITY PITTSBURGH, PRATT & LAMBERT, DUTCH BOY. CABOTS, MCKLUSKY'S, OR APPROVED EQUAL. CONTRACTOR IS TO PROVIDE SAMPLES OF ALL PAINTS AND STAINS FOR ARCHITECT'S AND/OR OWNERS APPROVAL.

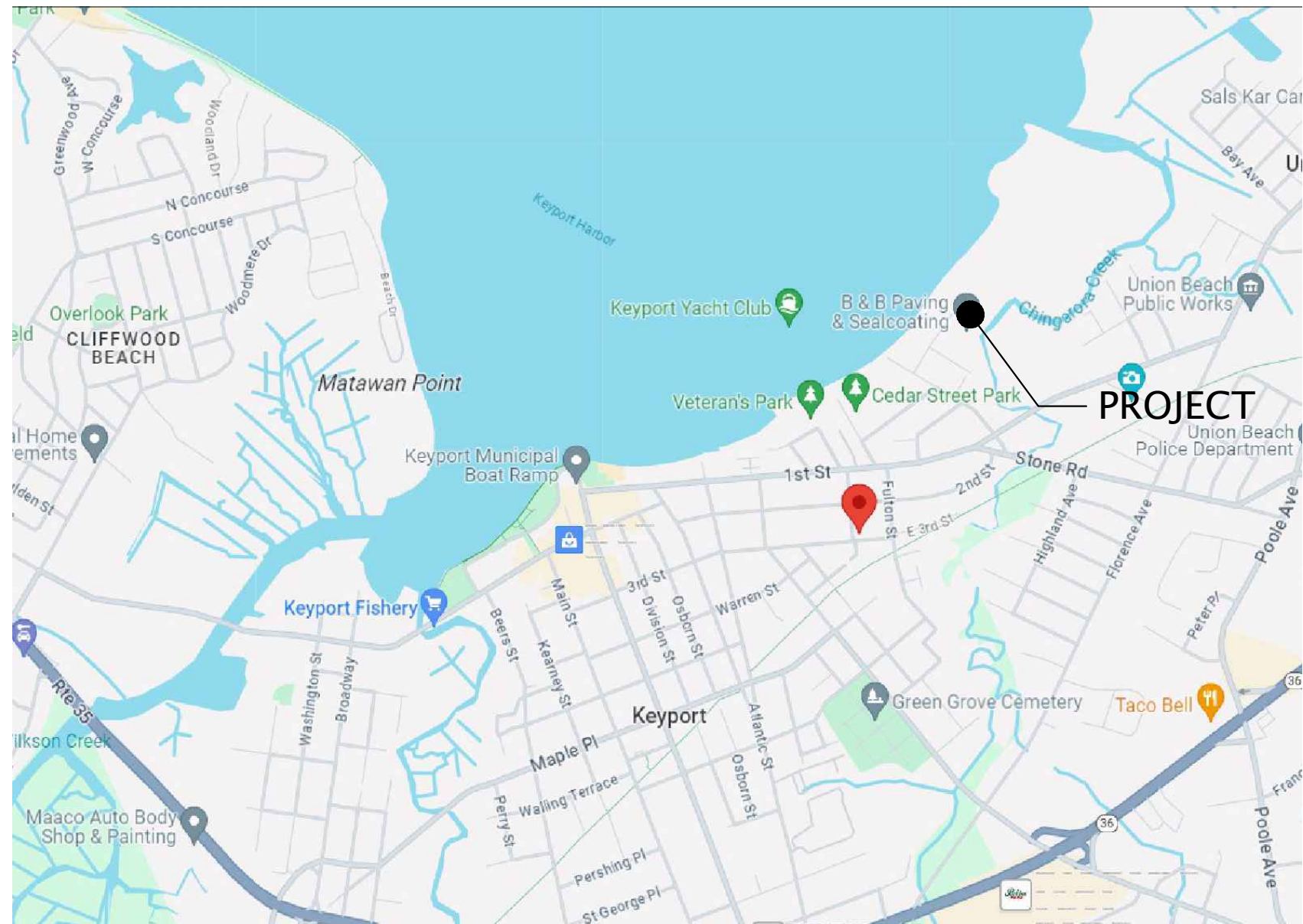
GYPSUM WALL BOARD
INSTALLED AS PER SECTION R702.3 OF THE INTERNATIONAL RESIDENTIAL CODE. GYPSUM WALLBOARD APPLICATION SHALL BE TAPE JOINT SYSTEM. ALL GYPSUM BOARD TO BE 1/2" ON WALLS AND 1/2" ON CEILINGS UNLESS OTHERWISE INDICATED. FINISH JOINTS, J-BEADS, NAIL DIMPLES, CORNERS AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.
ALL BATHROOMS SHALL BE PROVIDED WITH MOISTURE RESISTANT GYPSUM BOARD.
ALL TUBS & SHOWER ENCLOSURES TO RECEIVE TILE SHALL BE PROVIDED WITH CEMENT BACKER BOARD OR APPROVED EQUAL.

GLASS WINDOWS AND DOORS
TO BE INSTALLED AS PER THE INTERNATIONAL RESIDENTIAL CODE. ALL GLASS IS TO BE INSULATED LOW-E UNLESS OTHERWISE SPECIFIED. GLASS SUBCONTRACTOR SHALL NOT INSTALL GLASS UNTIL PROPER CLEARANCES ARE PROVIDED. ALL SLIDING GLASS DOORS, SKYLIGHTS AND/OR WINDOWS AS REQUIRED BY CODE, SHALL BE INSULATED TEMPERED GLASS. ALL GLASS DOORS AND WINDOWS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. ALL WINDOWS ARE TO BE CAULKED AND SEALED AS PER IECC ENERGY REQUIREMENTS. PROVIDE FLASHING PANS UNDER ALL SLIDER, DOORS, AND WINDOWS WITHIN A 6" OF AN EXTERIOR SURFACE. ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED. PROVIDE ALL SCREENS AND HARDWARE AS REQUIRED. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS AND GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF NO LESS THAN 5 YEARS. ALL WINDOWS TO BE ANDERSEN UNLESS INDICATED OTHERWISE. WINDOWS USED FOR RESCUE OR ESCAPE SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. WIDTH = 20 INCHES MIN. HEIGHT = 24 INCHES/ WINDOW SILL HEIGHT = MAX 44 INCHES
SAFETY GLASS SHALL BE PER IRC R308.4 AND PROVIDED WERE GLASS IS LOCATED IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18' OF FLOOR.
EXCEPTIONS:
1) DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAINAGE.
2) FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
ROOMS THAT ARE HABITABLE SHALL BE PROVIDED WITH A GLAZING AREA NOT LESS THAN 8% WITH A MINIMUM OPENABLE AREA TO EXTERIOR OF 4% BASED ON THE FLOOR AREA BEING VENTILATED PER IRC R303.1 AND R303.2.

ASPHALT ROOF SHINGLES
INSTALLED AS PER SECTION R905.2 OF THE INTERNATIONAL RESIDENTIAL CODE. ALL SLOPED ROOF SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOF SHINGLES OR APPROVED EQUAL. SHINGLES SHALL BE APPLIED OVER 15# ASPHALT FELT WITH GAF-WEATHER-WATCH ICE AND WATER BARRIER APPLIES AT EAVES, VALLEYS AND FLASHING. ROOFING CONTRACTOR TO PROVIDE ALL FLASHING. NECESSARY FOR A WATERTIGHT, WEATHERPROOF JOB. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS. CONTRACTOR SHALL SUPPLY COLOR SAMPLES OF THE SHINGLES FOR OWNERS' APPROVAL, PRIOR TO INSTALLATION.

INSULATION
ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH KRAFT FACED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL. KRAFT TO BE PLACED TOWARD WARM SIDE. PROVIDE 1-1/2" RIGID FOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS FROM FLOORING TO 6" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

PROPOSED 6 UNIT - TOWNHOUSES: 146 3rd STREET KEYPORT, NJ 07735



LOCATION MAP

NOT TO SCALE

ABBREVIATIONS

DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION
ABOVE FINISH FLOOR	A.F.F.	FEMININE NAPKIN DISPENSER	F.N. DISP.	PRESSURE & TEMP. RELIEF	P.T.R.
ACOUSTICAL TILE	A.C.T.	FIBERGLASS	F.G.LASS	QUARRY TILE	Q.T.
AGGREGATE BASE COURSE	A.B.C.	FINISH FLOOR ELEVATION	F.F.E.	REFLECTED	R.F.L.
ASPHALTIC CONCRETE	A.P.C.	FIREPROOFING	F.P.	REFLECTED CEILING PLAN	R.C.P.
AIR CONDITIONER	A/C	FIXTURE UNIT	F.U.	REGISTER	REG.
AIR HANDLING UNIT	A.H.U.	FLOOR DRAIN	F.D.	RETURN AIR GRILLE	R.A.G.
ANCHOR	ANCH.	FLUE THRU ROOF	FTR.	WASTE	W.
ANCHOR BOLT	A.B.	FOUNDATION	FDN.	ROUGH SAWN	R.S.
AND	&	FURNISHED BY OTHERS	F.B.O.	ROUGH DRAIN	R.D.
ANODIZED	ANOD.	GALVANIZED IRON	G.I.	ROUGH OPENING	R.O.
BEAM	BM.	GENERAL	GEN.	RUBBER	RUB.
BEARING	BK.	GLASS / GLAZING	GL.	SANITARY NAPKIN DISPOSAL	S.N.D.
BENCHMARK	B.M.	GLU-LAM BEAM	G.L.B.	SANITARY NAPKIN VENDOR	S.N.
BOARD	BD.	GYPSUM WALL BOARD	G.W.B		
BOTTOM	BOT.	HANDICAPPED	H.C.		
BOTTOM OF BEAM	B.O.B.	HANGER	HGR.	SAV- CUT JOINT	S.J.
BOTTOM OF JOIST	B.O.J.	HARDBOARD	HBDB.	SEPARATION	SEP.
BOTTOM OF LEDGER	B.O.L.	HARDWARE	HDWR.	SEWER	S.
BREAKER	BKR.	HARDWOOD	HDWD.	SHEATHING	SHTG.
BRONZE	BRZ.	HEADER	HDR.	SHEET METAL	S.M.
BUILT-UP ROOFING	B.U.R.	HIGHLIGHT	HT.	SH	SH.
CABINET	CAB.	HOLLOW CORE	H.C.	SLIDING GLASS DOOR	S.G.
CAPACITY	C.P.	HOLLOW METAL	H.M.	DOOR	D.
CAST IRON	C.I.	HOSE BIB	H.B.	SOAP DISPENSER	S.D.
CEILING DIFFUSER	C.D.	HOT WATER	H.W.	SOLID CORE	S.C.
CERAMIC	CER.	HOT WATER RETURN	H.W.R.	SOUNDPROOF	SP.
CERAMIC TILE	C.T.	INTER DIAMETER	I.D.	STAINLESS STEEL	S.S.
CLEARANCE	C.C.	INTERMEDIATE	INTERM.	STEEL	STL.
CLEAR WATER	C.W.	JOINT	JT.	STYROFOAM	STYRO.
COLUMN	COL.	JOIST	JOST.	SUPPLY AIR REGISTER	SAR.
COMPACTED	COMP.	LAMINATE	LAM.	SEPERATED	S.
CONC.	CONC.	MASONRY CONTROL JOINT	M.C.J.	SYSTEM	SYS.
CONCRETE MASONRY UNIT	C.M.U.	MATERIAL	MAT'L	THERMOSTAT	THERM.
CONDUIT	COND.	MEDIUM DENSITY FIBERBOARD	M.D.F.	T.P. DISP.	T.P. DISP.
CONDUIT THRU ROOF	C.T.R.	METAL	MTL.	TONGUE & GROOVE	T.&G.
CONTROL JOINT / CONSTRUCTION JOINT	C.J.	NATURAL	NAT.	TOP OF BEAM	T.O.B.
CORNER GUARD	C.G.	NOT IN CONTRACT	N.I.C.	TOP OF CONCRETE / CURB	T.O.C.
CORRIDOR	CORR.	NOT TO SCALE	N.T.S.	TOP OF JOIST	T.O.J.
CMP	CMP	ON CENTER	O.C.	TOP OF LEDGER	T.O.L.
C.T.FLASH.	C.T.FLASH.	OPENING	OPNG.	TOP OF MASONRY	T.O.M.
COUNTERSINK	C.SINK	OPPOSITE	OPP.	TOP OF PLATE	T.O.P.
CUBIC FEET PER MINUTE	C.F.P.	OUTSIDE DIAMETER	O.D.	TOP OF WALL	T.O.W.
DAMP-PROOFING	D.P.	OVERFLOW ROOF DRAIN	O.R.D.	TREAD	T.
DECOMPOSED GRANITE	D.G.	O' HANG	O' HANG	UNLESS NOTED OTHERWISE	U.N.O.
DISP.	DISP.	OVERHEAD	OH.	URINAL	UR.
D.C.W.	D.C.W.	PAINTED	PTD.	VENT	V.
DOUBLE	DBL.	PAPER TOWEL DISPENSER	P.T. DISP.	VERT. THRU ROOF	V.T.R.
DOWN	DN.	PARTITION	PART'N	VERT.	VERT.
DRINKING FOUNTAIN	D.F.	P.L.F.	P.L.F.	V.C.T.	V.C.T.
DUCT THRU ROOF	D.T.R.	PER LINEAR FOOT	P.L.F.	W.	W.
DUCT THRU WALL	D.T.W.	PITCH POCKET	P.P.	WASTE RECEPTACLE	W.R.
ELECTRIC WATER COOLER	E.W.C.	PLASTER	PLAS.	WATER CLOSET	W.C.
EXHAUST FAN	E.F.	P.L. LAM.	P.L. LAM.	WATER HEATER	W.H.
E.C.	E.C.	P.L.V.	P.L.V.	WATERPROOF	W.P.
EXPANSION JOINT	E.J.	PVC	PVC	WATER RESISTANT	W.R.
FABRICATED	FAB.	P.O.	P.O.	WELDED WIRE FABRIC	W.W.F.
EXTINGUISHER	E.X.T.	P.I.V.	P.I.V.	WOOD	WDW.
EXTINGUISHER	E.X.T.	PRE-FAB.	PRE-FAB.	WROUGHT IRON	W.I.
EXTINGUISHER	E.X.T.	P.R.	P.R.		
FACIAL TISSUE DISPENSER	F.T. DISP				
FAN COIL UNIT	F.C.U.				

INFORMATION OBTAINED
FROM SURVEY PREPARED
BY: THOMAS CRAIG
FINNEGAN, PLS
DATED: JAN. 10, 2024

NOTE: THIS IS AN
ARCHITECTS PLOT
PLAN & IS SUBJECT TO
VERIFICATION BY A
LICENSED SURVEYOR

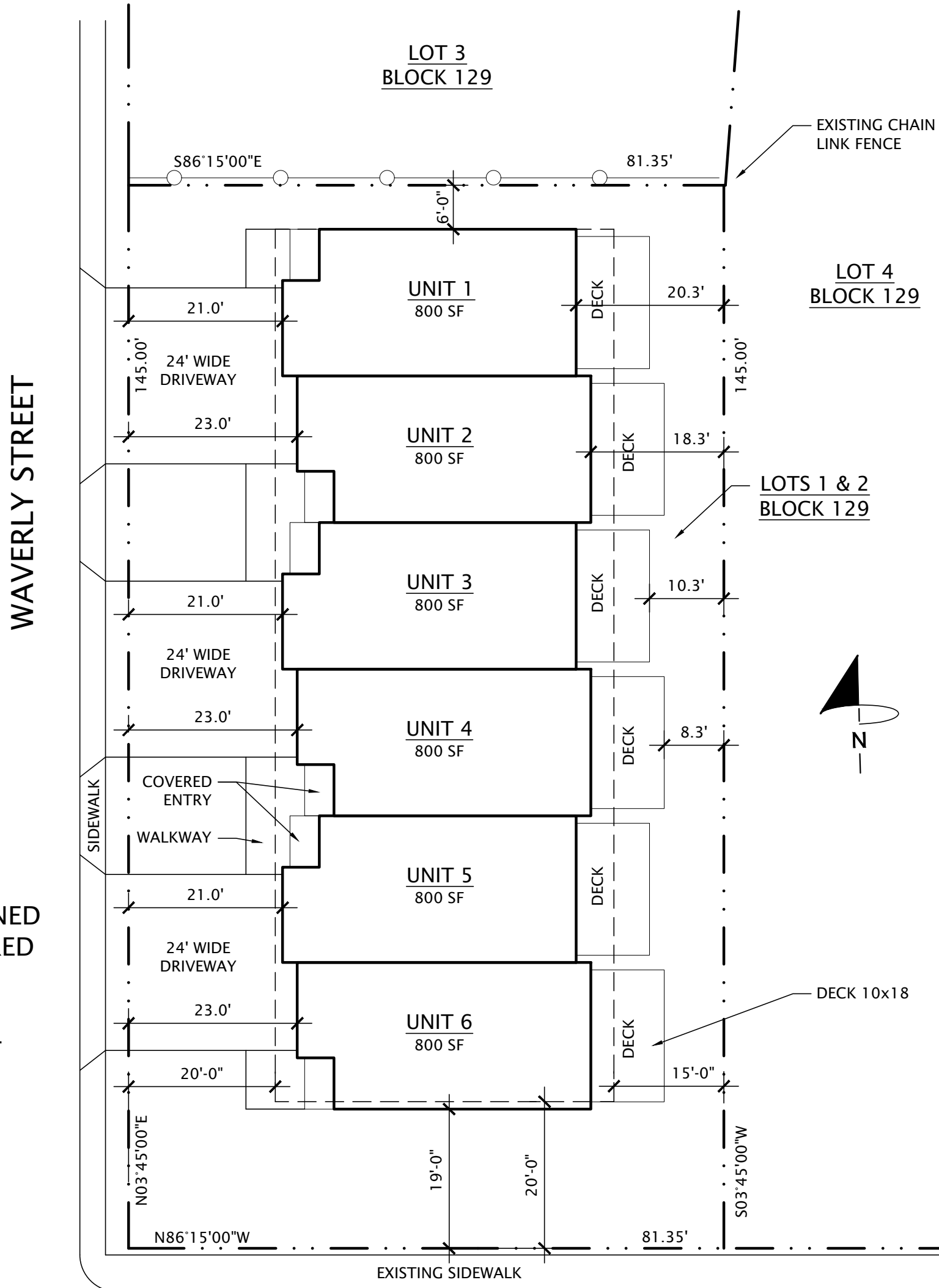
SITE PLAN

SCALE = 1/16" = 1'-0"

CODE REVIEW

BUILDING - ICC, IBC - NJ EDIT. 2021
ONE & TWO FMLY - ICC, IRC - NJ 2021
ELECTRIC - (NFPA 70), NEC - 2020
PLUMBING - NSPC - 2021
ENERGY (RESD.) - ICC, IECC - 2021
ENERGY (COMM.) - ASHRAE 90.1-2019
MECHANICAL - ICC, IMC - 2021
FUEL GAS - ICC, IFGC - 2018
REHABILITATION SUBCODE - 5:23-6
ELEVATOR SUBCODE - 5:23-12

BUILDING INFORMATION	
DESCRIPTION OF WORK	NEW TOWN HOUSES
USE GROUP	RESIDENTIAL R-5
PROPOSED CONSTRUCTION TYPE	TYPE VA
PER UNIT AREA	765 SF - 1st FLOOR
	780 SF - 2nd FLOOR
	780 SF - 3rd FLOOR
PER UNIT VOLUME	23,400 C.F.
	4,590 SF - 1st FLOOR
	4,680 SF - 2nd FLOOR
TOTAL FLOOR	4,680 SF - 3rd FLOOR
	140,400 C.F.



THIRD STREET

DRAWING INDEX

A-1 COVER SHEET/INDEX/SITE PLAN
A-2 FLOOR PLANS
A-3 ELEVATIONS

DESIGN LOADS

WIND LOAD = 115 MPH
SNOW LOAD = 25 PSF
LIVE LOAD (TYPICAL) = 40 PSF
LIVE LOAD (SLEEPING RMS) = 30 PSF
LIVE LOAD (ATTIC) = 20 PSF
LIVE LOAD (DECK) = 40 PSF

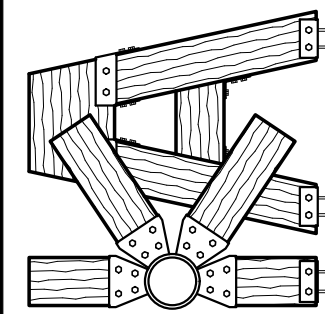
ZONING DATA

SECTION: BLOCK: 129 LOT(S): 1&2

ZONE: RA	REQUIRED	PROVIDED	VARIANCE
LOT AREA	5000 SF	11796 SF	NO
LOT WIDTH	50 FT	145.0 FT	NO
LOT DEPTH	N/A	81.15 FT	NO
FRONT YARD (THIRD ST)	20 FT	21 FT	NO
FRONT YARD (WAVERLY)	20 FT	19 FT	YES
REAR YARD	15 FT	18.3 FT	NO
SIDE YARD (ONE)	6 FT	6 FT	NO
BUILDING HEIGHT (STORIES)	2.5	3	YES
BUILDING HEIGHT (FEET)	30 FT	30 FT	NO
PRINCIPAL BLDG. (4,590 SF)	30%	38.9%	YES
ALL BLDG & IMPERVIOUS COV.	60%	65.4%	YES
MAX. PERCENT OF FRONT YARD COV. BY PARKING	60%	58.8%	YES

PROPOSED 6 UNIT - TOWNHOUSES
146 3rd STREET
KEYPORT, NJ 07735

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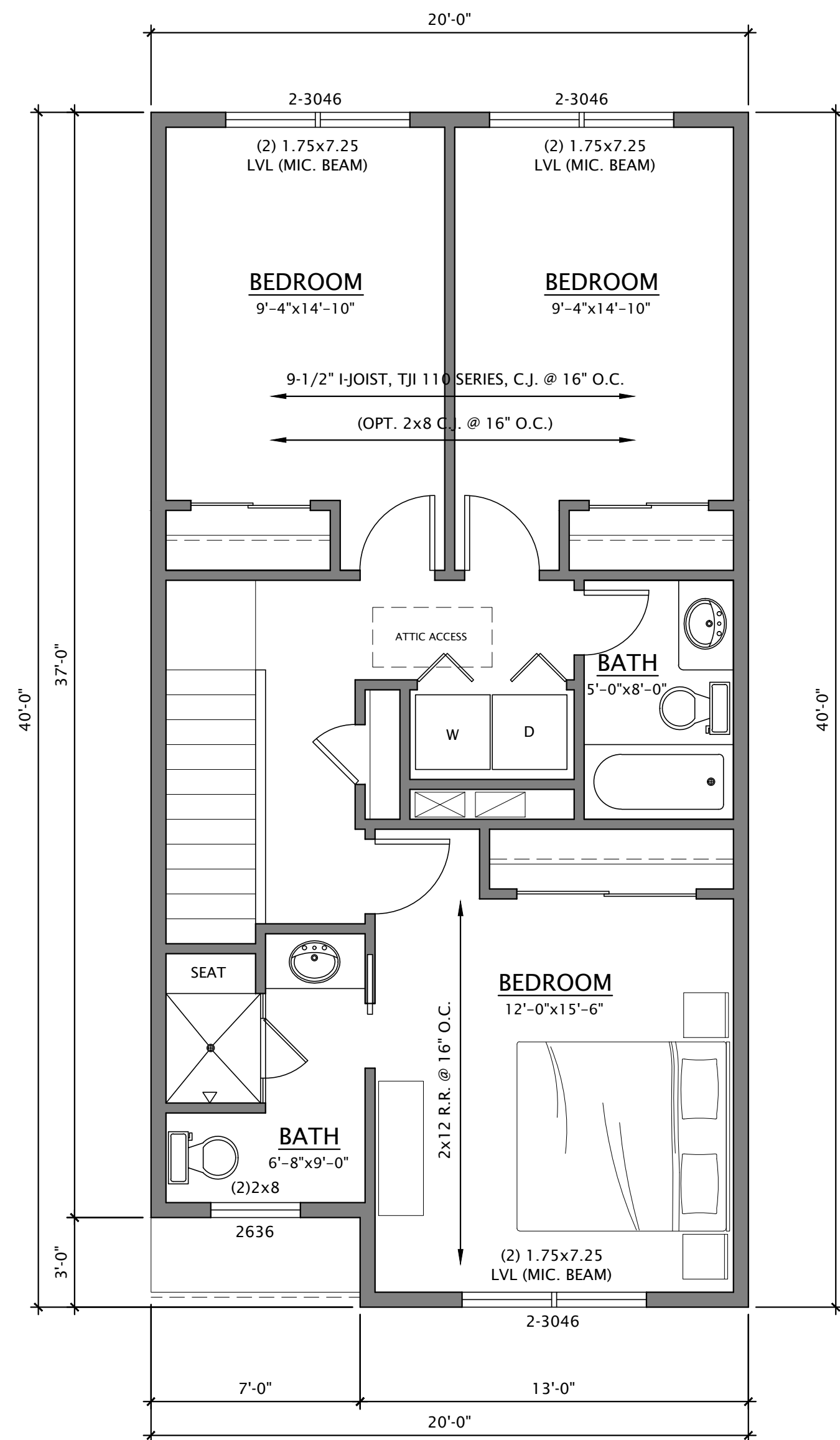
Gary Junkroft RA
NJ LIC. # 17679

COVER SHEET
INDEX
LOC. MAP
GEN. NOTES

REVISIONS:

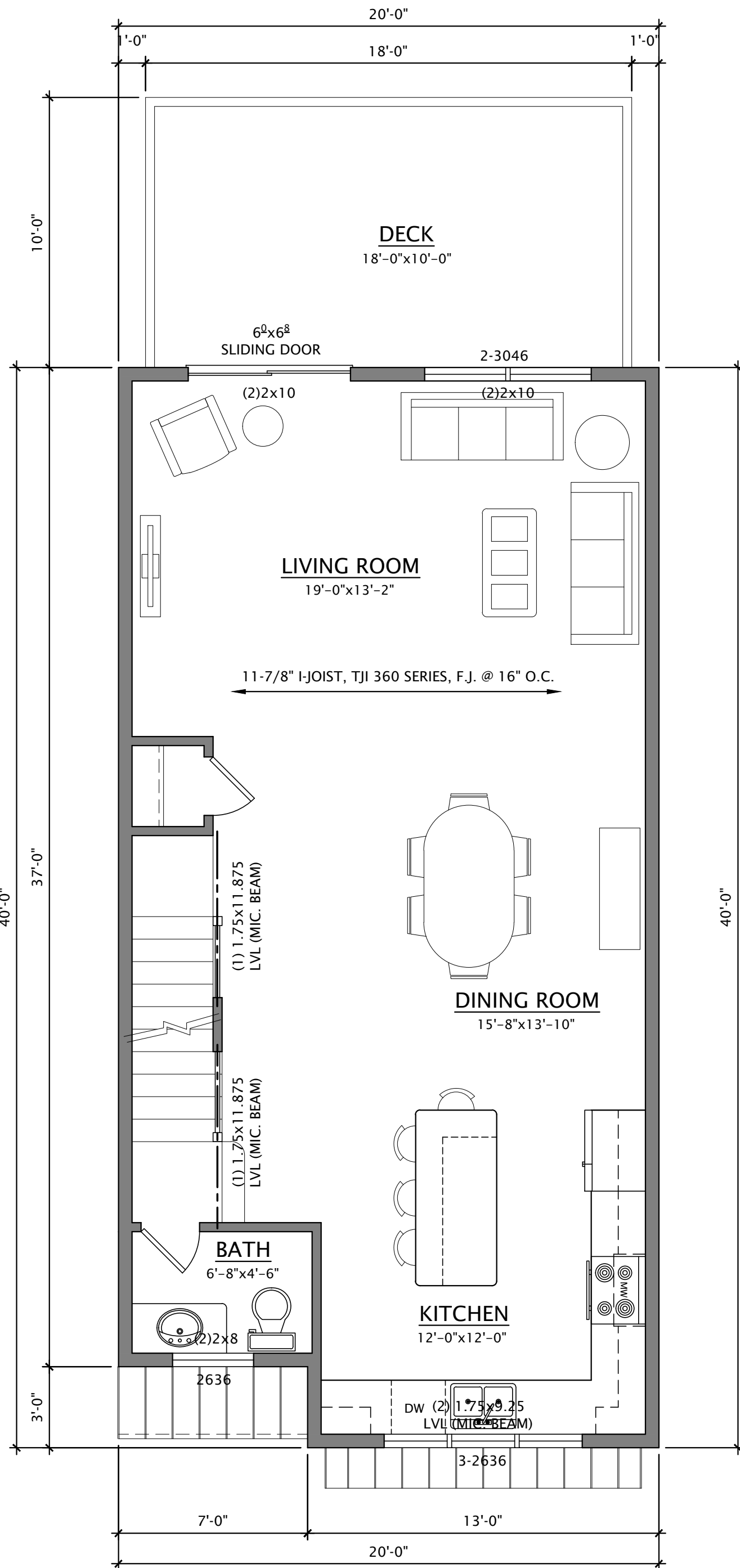
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A-1
1 OF 3



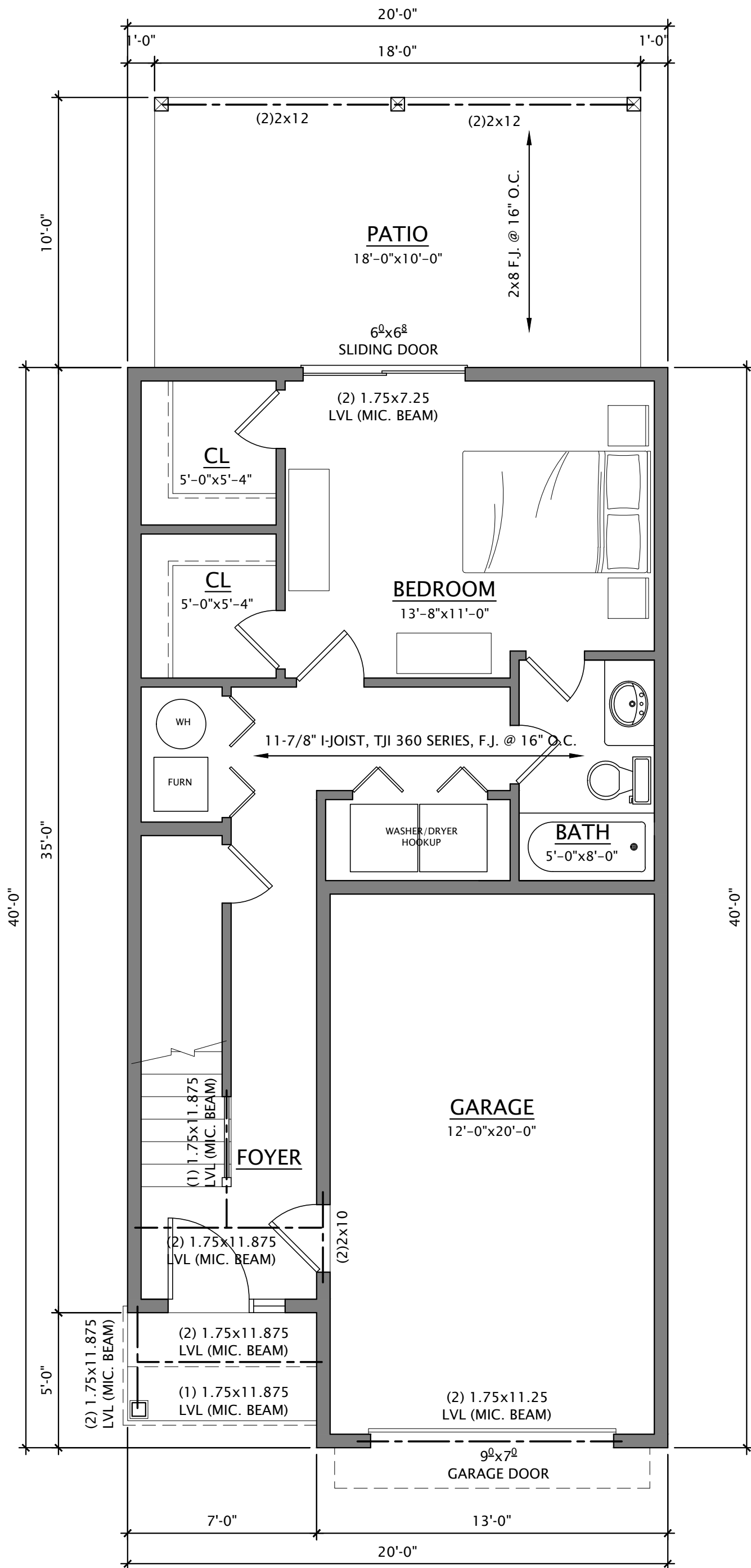
3rd FLOOR PLAN - 780 SF

SCALE = 1/4"=1'-0"



2nd FLOOR PLAN - 780 SF

SCALE = 1/4"=1'-0"



1st FLOOR PLAN - 765 SF

SCALE = 1/4"=1'-0"

LEGEND

EXISTING TO REMOVE

EXISTING TO REMAIN

NEW STUD WALL

PROPOSED 6 UNIT - TOWNHOUSES

146 3rd STREET

KEYPORT, NJ 07735

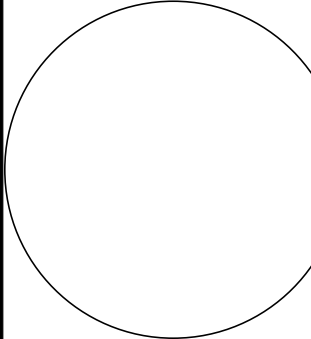
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FLOOR PLANS

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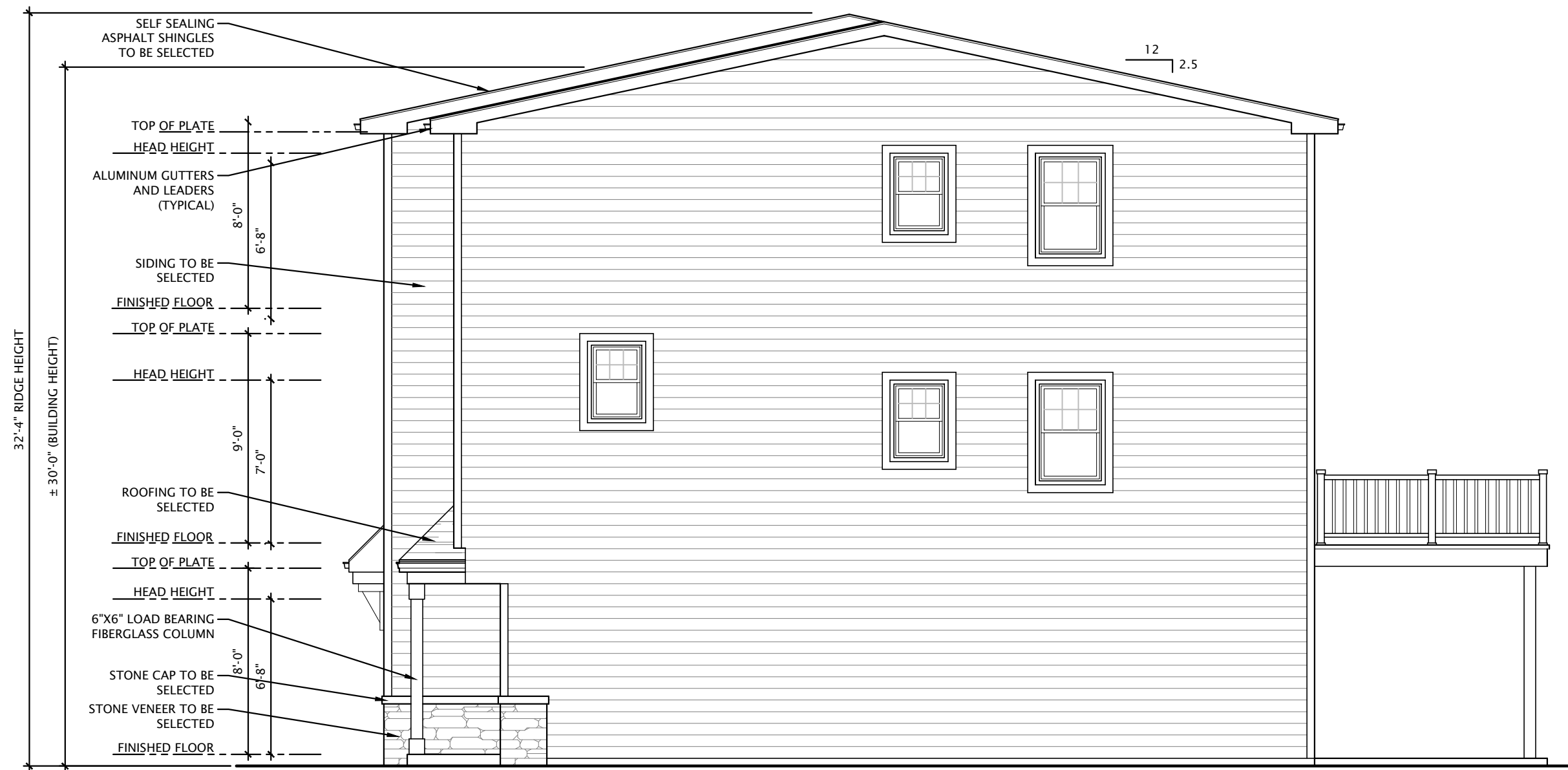
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LEFT SIDE ELEVATION

SCALE = 3/16"=1'-0"



RIGHT SIDE ELEVATION

SCALE = 3/16"=1'-0"



REAR ELEVATION OF TOWNHOUSES

SCALE = 3/16"=1'-0"

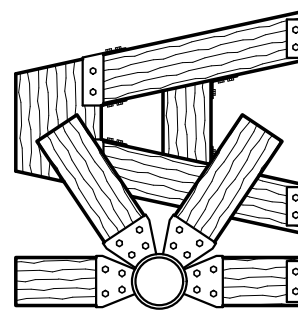


FRONT ELEVATION OF TOWNHOUSES

SCALE = 3/16"=1'-0"

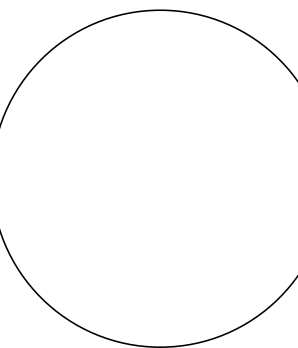
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ELEVATIONS

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