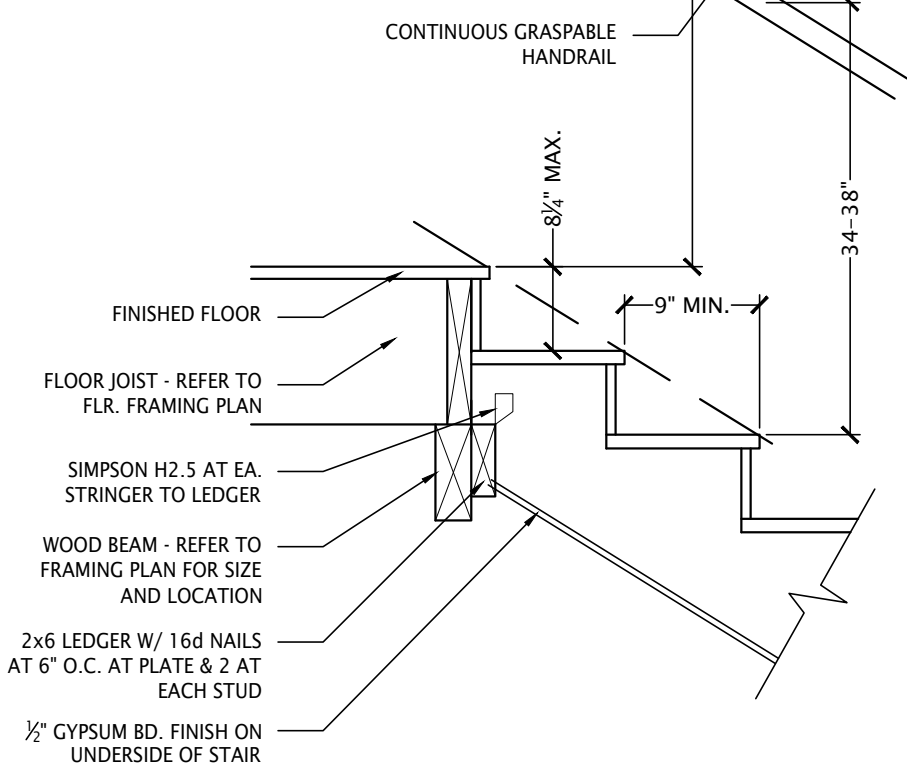


NOTE:
MINIMUM HEADROOM TO BE 6'-8"
ABOVE STAIR NOSING

NOTE:
ALL TREADS AND RISERS ARE TO BE
UNIFORM IN HEIGHT AND DEPTH

NOTE:
ON STAIRS WITH SOLID RISERS, IF
TREAD DEPTH IS LESS THEN 11" THEN
A NOSING IS REQUIRED ON THE
FRONT OF THE TREADS, $\frac{3}{8}$ " TO $\frac{1}{2}$ ".

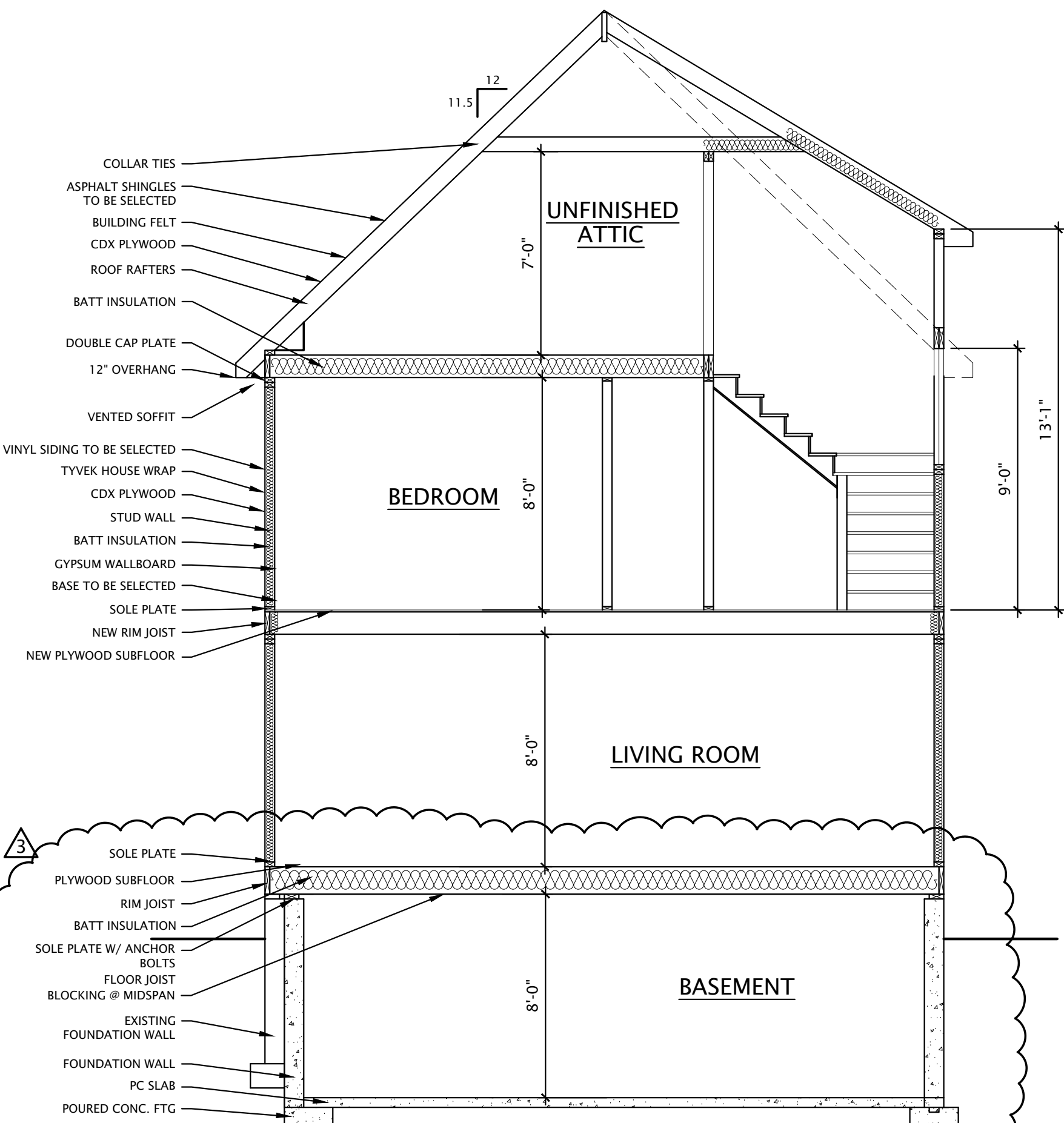


STAIR DETAIL

SCALE = $\frac{3}{4}$ "=1'-0"

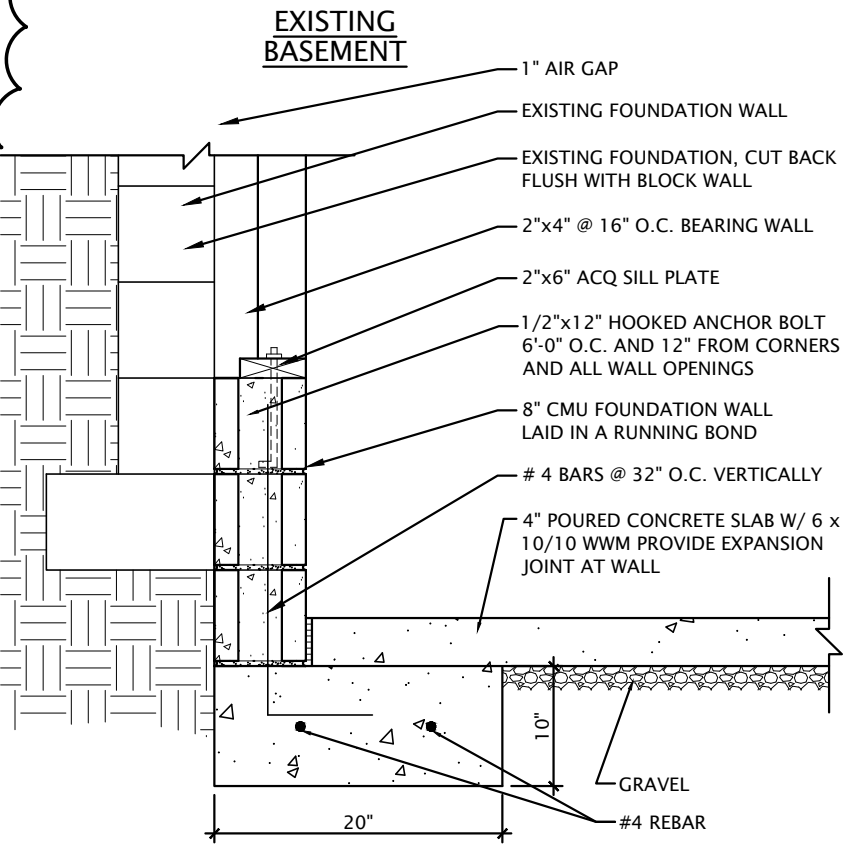
NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH NEW JERSEY UNIFORM CONSTRUCTION CODE.
2. CONTRACTOR TO INSPECT AND VERIFY ALL SITE CONDITIONS.
3. ALL FOOTINGS TO BEAR ON VIRGIN SOIL.
4. SOIL BEARING CAPACITY ASSUMED TO BE TWO (2) TONS. IF SOIL ENCOUNTERED IS LESS NOTIFY ARCHITECT.
5. ALL BELOW GRADE BLOCK IS TO BE HOLLOW CORE LOAD BEARING TYPE FOR BELOW GRADE CONSTRUCTION.
6. STEPPED FOOTINGS WHERE NECESSARY SHALL BE STEPPED AT A RATIO OF ONE VERTICAL BLOCK FOR EVERY TWO HORIZONTAL BLOCKS (MINIMUM).
7. CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
8. DUR.-O.-WALL TRUSS- TYPE REINFORCING TO BE USED EVERY OTHER BLOCK COURSE (BELOW GRADE).
9. ALL FRAMING LUMBER TO BE NO.2 DOUGLAS FIR OR SOUTHERN PINE MINIMUM Fb = 1250 PSI.
10. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS. ALL FLOOR AND ROOF OPENINGS TO BE BOXED WITH DOUBLE JOISTS HEADERS.
11. ALL NAILING TO BE DONE IN ACCORDANCE WITH IRC TABLE R602.3(1).
12. ELECTRICAL LAYOUT IS SCHEMATIC AND SHALL BE INSTALLED AS PER N.J.A.C. 523-316.
13. PLUMBING TO BE INSTALLED AS PER N.J.A.C. 523-315.
14. THESE PLANS COMPLY WITH NEW JERSEY ENERGY SUB-CODE.
15. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS.
16. PROVIDE STEEL LINTELS OVER ALL BRICK OPENINGS (WHERE REQUIRED) LINTELS TO BE $3\frac{1}{2}$ " X $3\frac{1}{2}$ " X $\frac{1}{4}$ " UNLESS OTHERWISE NOTED.
17. ALL WOOD TO BE USED FOR EXTERIOR DECKING TO BE PRESSURE-TREATED
18. CONTRACTOR IS TO BE RESPONSIBLE FOR GETTING ALL REQUIRED BUILDING PERMITS, FEES AND INSPECTIONS
19. SMOKE DETECTORS TO BE HARDWIRED SO THAT IF ONE DETECTOR SIGNALS ALL WILL SIGNAL. ALL DETECTORS TO HAVE BATTERY BACK-UP SYSTEM.
20. IF FUEL- BURNING APPLIANCES ARE TO BE USED PROVIDE EITHER HARDWIRED OR PLUG-IN TYPE CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF THE SLEEPING ROOMS.
21. ALL HEADERS ABOVE OPENING ARE TO BE (2) 2" X 10" UNLESS OTHERWISE NOTED.
22. PROVIDE CEMENT FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN TUB/SHOWER AREAS.
23. CONTRACTOR TO PROVIDE WALLS AND CEILINGS WITH GYP BOARD AND 3 COATS SANDED JOINT COMPOUND.
24. ALL METAL HANGERS AND ANCHOR BOLTS ATTACHED TO PRESSURE-TREATED LUMBER TO BE HOT-DIPPED GALVANIZED (G-185 MINIMUM).
25. FIREPLACES TO DRAW COMBUSTION AIR FROM EXTERIOR.
26. ALL EXPOSED WALLS TO BE INSULATED WITH R-15 INSULATION.
27. ALL EXPOSED ROOF/CEILING AREA AT THE ATTIC TO INSULATED WITH R-38, OR THE MOST THAT THE JOIST/RAFTER WILL ALLOW. (PROVIDE BAFFLES ON SLOPED CEILINGS TO MAINTAIN AIR CIRCULATION AGAINST THE ROOF.
28. ALL BEDROOM CLOSETS TO BE PROVIDED WITH ROD & SHELF, ALL LINEN CLOSETS TO BE PROVIDED WITH 5 ROWS OF SHELVES.



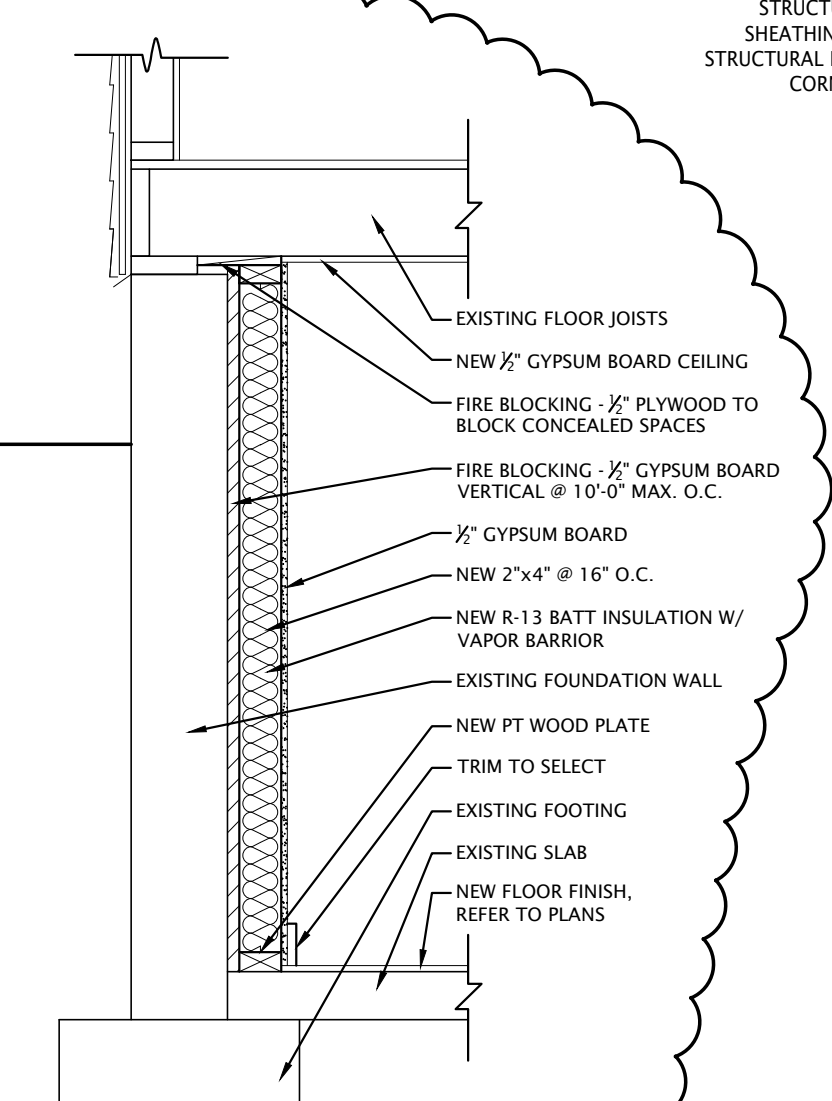
WALL SECTION

SCALE = $\frac{3}{4}$ "=1'-0"



WALL DETAIL

SCALE = $\frac{3}{4}$ "=1'-0"

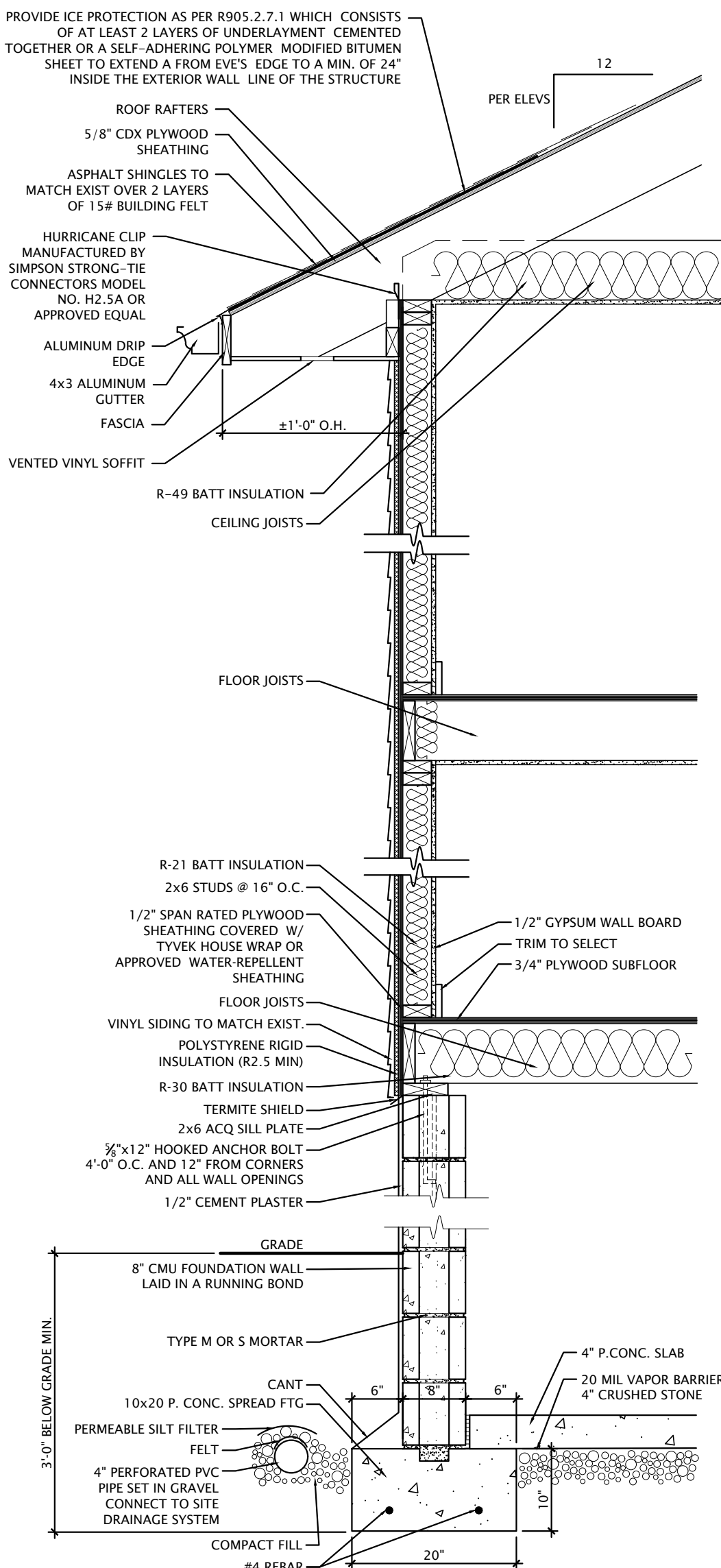


WALL DETAIL

SCALE = $\frac{3}{4}$ "=1'-0"

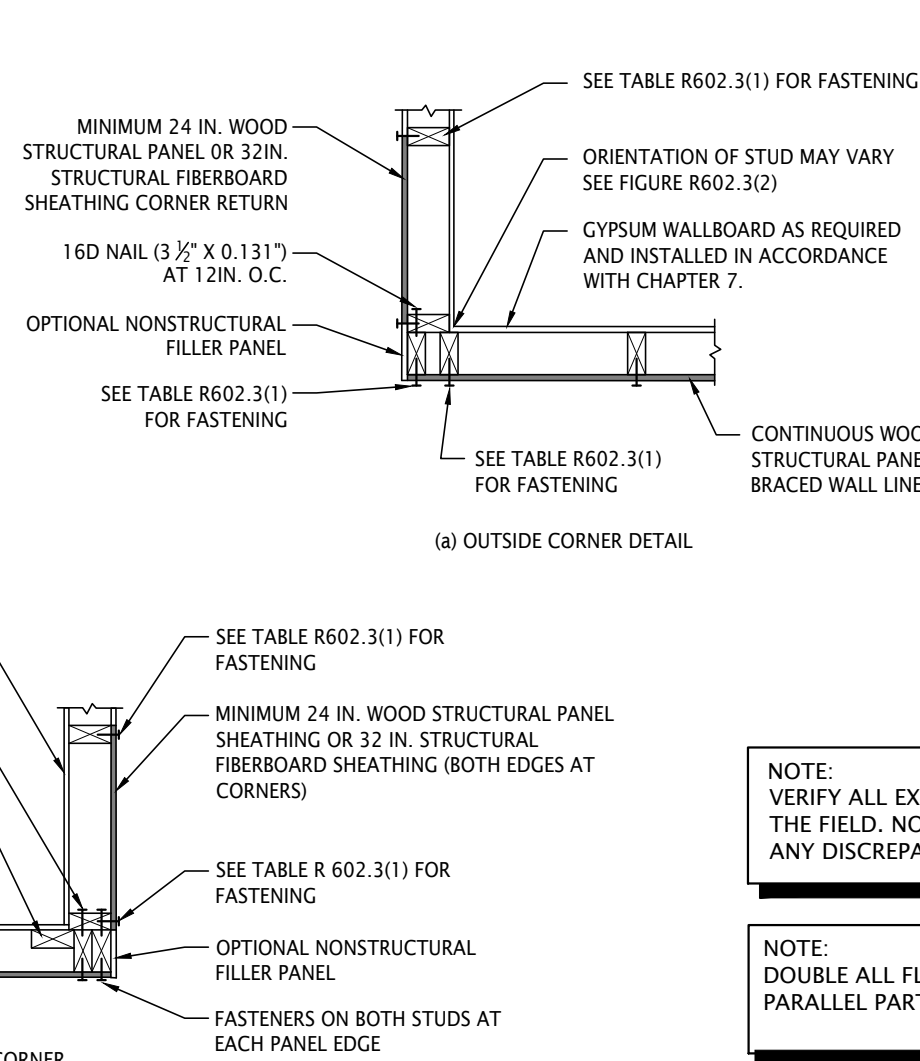
WALL BRACING NOTES:

TYPICAL WALL BRACING METHOD SHALL BE WSP (WOOD STRUCTURAL PANELS).
NAILING REQUIREMENTS: 6d COMMON (2.0"x0.113); PENETRATION OF 1.5"; PANEL RATING OF 24/0, MIN. PANEL THICKNESS OF $\frac{3}{8}$ "; MAX. WALL STUD SPACING OF 16" O.C.; PANEL NAIL SPACING OF 6" O.C. AT EDGES, AND 12" O.C. IN THE FIELD.



WALL DETAIL

SCALE = $\frac{3}{4}$ "=1'-0"



CONNECTION OF MULTIPLE PIECES OF TOP-LOADED BEAMS

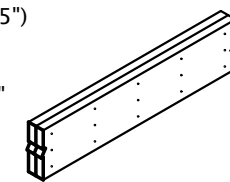
1 1/4" WIDTH PIECES:

- MINIMUM OF 2 ROWS 16d (3/7") NAILS AT 12" O.C.
- MINIMUM OF 3 ROWS 16d (3/7") NAILS AT 12" O.C. FOR 14" AND DEEPER BEAMS
- NAILED CONNECTIONS REQUIRE AN ADDITIONAL ROW OF NAILS WHEN NAIL SIZE IS SMALLER THAN SPECIFIED ABOVE (MINIMUM 0.131" X 3.25")

3/4" WIDTH PIECES:

- MINIMUM OF 2 ROWS 1/2" BOLTS AT 24" O.C. STAGGERED

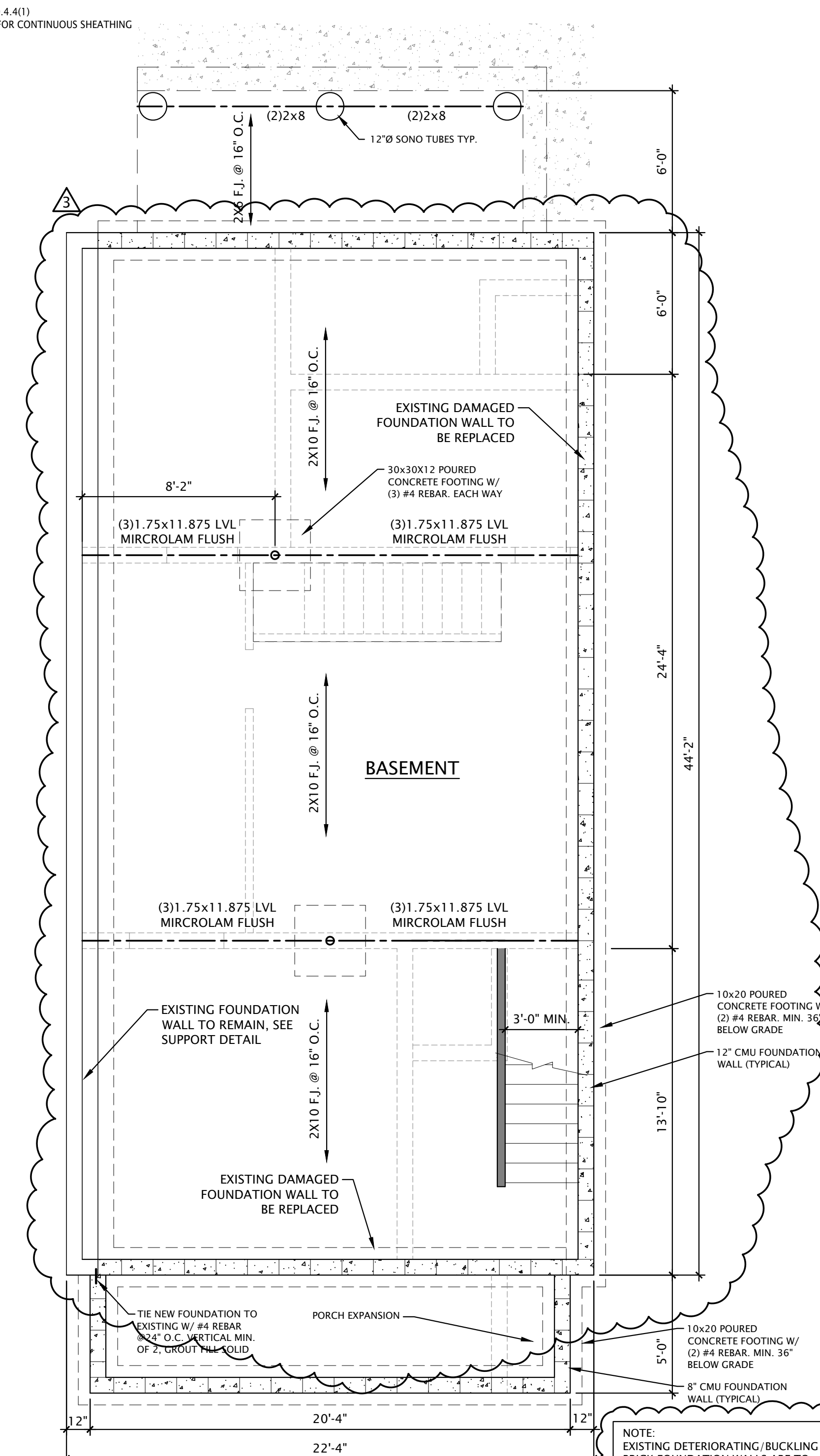
ADDITIONAL NAILING OR BOLTING MAY BE REQUIRED WITH SIDE-LOADED MULTIPLE MEMBER BEAMS. REFER TO CURRENT PRODUCT LITERATURE.



NOTE:
VERIFY ALL EXISTING STRUCTURE IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

NOTE:
DOUBLE ALL FLOOR JOISTS UNDER PARALLEL PARTITION WALLS ABOVE

NOTE:
CONTRACTOR TO COORDINATE FINAL WINDOW & DOOR SIZE AND STYLE SELECTION WITH OWNER AND FIELD VERIFY OPENING SIZES PRIOR TO ORDERING



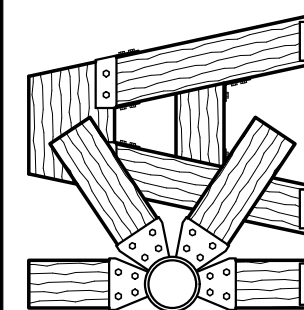
NOTE:
EXISTING DETERIORATING/BUCKLING BRICK FOUNDATION WALLS ARE TO BE REPLACED IN EXACT SAME LOCATION AS EXISTING FOUNDATION WALLS. NO EXPANSION OUTSIDE OF APPROVED WALL LOCATIONS IS PROPOSED. LEFT SIDE HOUSE WALL TO BE REINFORCED IN PLACE TO MAINTAIN SETBACK CONCERNS.

FOUNDATION PLAN

SCALE = $\frac{1}{4}$ "=1'-0"

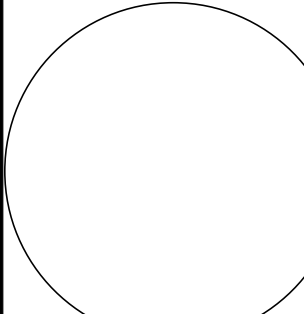
ADDITION & ALTERATION TO:
128 FIRST STREET
KEYPORT, NJ 07735

KINETIC
ARCHITECTS



2244 WINFIELD ST.
RAHWAY, NJ
P (732) 910-6178

GJUNKROFT@
KINETICARCHITECTS.COM



Gary Junkroft RA
NJ LIC. # 17679

THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT CONSULTANTS FOR THIS PROJECT ARE HEREBY OFFERED TO THE CLIENT AS A COMPLETE SET OF SERVICES FOR USE IN CONJUNCTION WITH THE PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT CONSULTANTS SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS OF THE ARCHITECTS CONSULTANTS. THE CLIENT AGREES TO RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS OF THE ARCHITECTS CONSULTANTS. THE CLIENT AGREES TO RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS OF THE ARCHITECTS CONSULTANTS. THE CLIENT AGREES TO RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS OF THE ARCHITECTS CONSULTANTS.

FOUNDATION PLAN NOTES & DETAILS

08/28/23 - FIELD CHANGES
09/30/23 - BLDG DEPT SUBM.

DATE: 01/08/23

DRAWN BY: GAJ

CHECKED BY: GAJ

JOB # 21-256

A-2
2 OF 5

SCALE = $\frac{3}{4}" = 1'-0"$

SCALE = $\frac{3}{4}" = 1'-0"$

SCALE = $\frac{3}{4}" = 1'-0"$

SCALE = $\frac{3}{4}" = 1'-0"$

SCALE = $\frac{1}{4}" = 1'-0"$

2 - SIDED FIRE DETAIL

SCALE = $\frac{1}{4}" = 1'-0"$

FIRE RATED NOTES:

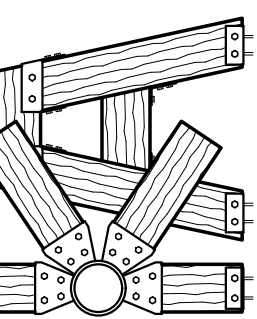
- EAST WALL (NON-STAIR SIDE) OF HOUSE SHALL BE 2-SIDED FIRE WALL DETAIL.

LEGEND

- | | |
|---|--------------------|
|  | EXISTING TO REMOVE |
|  | EXISTING TO REMAIN |
|  | NEW STUD WALL |
|  | BEARING WALL |
|  | POURED CONCRETE |
|  | CONCRETE BLOCK |
|  | INSULATION |

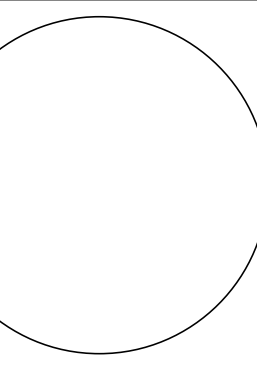
ADDITION & ALTERATION TO;
128 FIRST STREET
KEYPORT, NJ 07735

KINETIC ARCHITECTS



4 WINFIELD ST.
RAHWAY, NJ
(732) 910-6178

GJUNKROFT@
TICARCHITECTS.COM



ary Junkroft RA
LIC. # 17679

ARE THE INSTRUMENTS OF SERVICE WITH RESPECT TO THIS PROJECT AND SERVICES FOR USE SOLELY BY THE ARCHITECT/CONSULTANT, UNLESS OTHERWISE PROVIDED. THE ARCHITECT/CONSULTANT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL ENJOY ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THE OWNER SHALL BE PERMITTED TO REPRODUCE THE ARCHITECT'S/CONSULTANT'S WORK FOR PROJECTS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THE PROJECT. THE ARCHITECT'S/CONSULTANT'S DRAWINGS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, OR FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.

FLOOR PLANS

08/28/23 - FIELD CHANGES
06/30/23 - BLDG DEPT SUBM.

E: 01/08/23

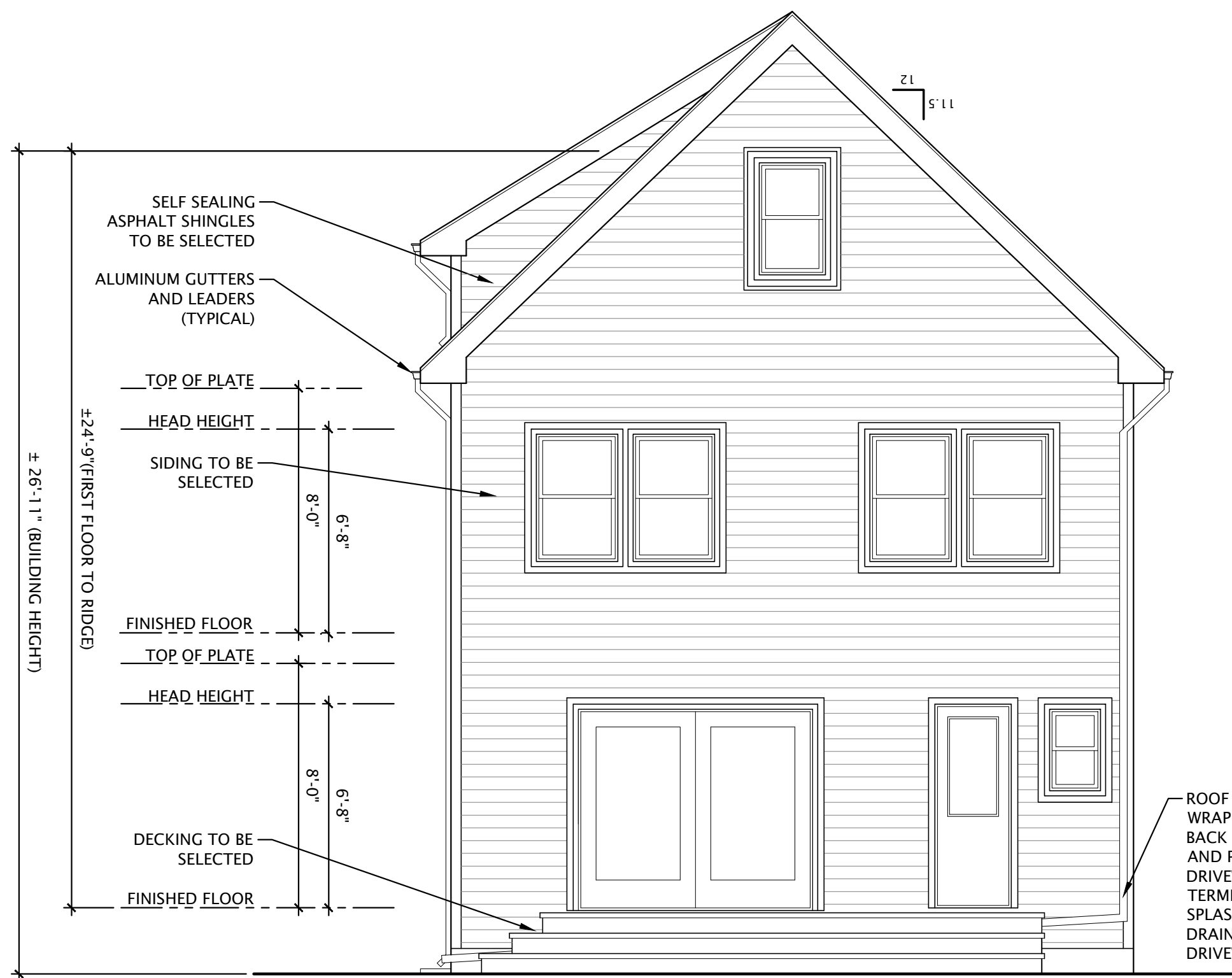
AWN BY: GAJ

FILED BY:	GAJ
#	21-256

A-3

3 OF 5

4 OF 5



REAR ELEVATION

SCALE = 1/4"=1'-0"



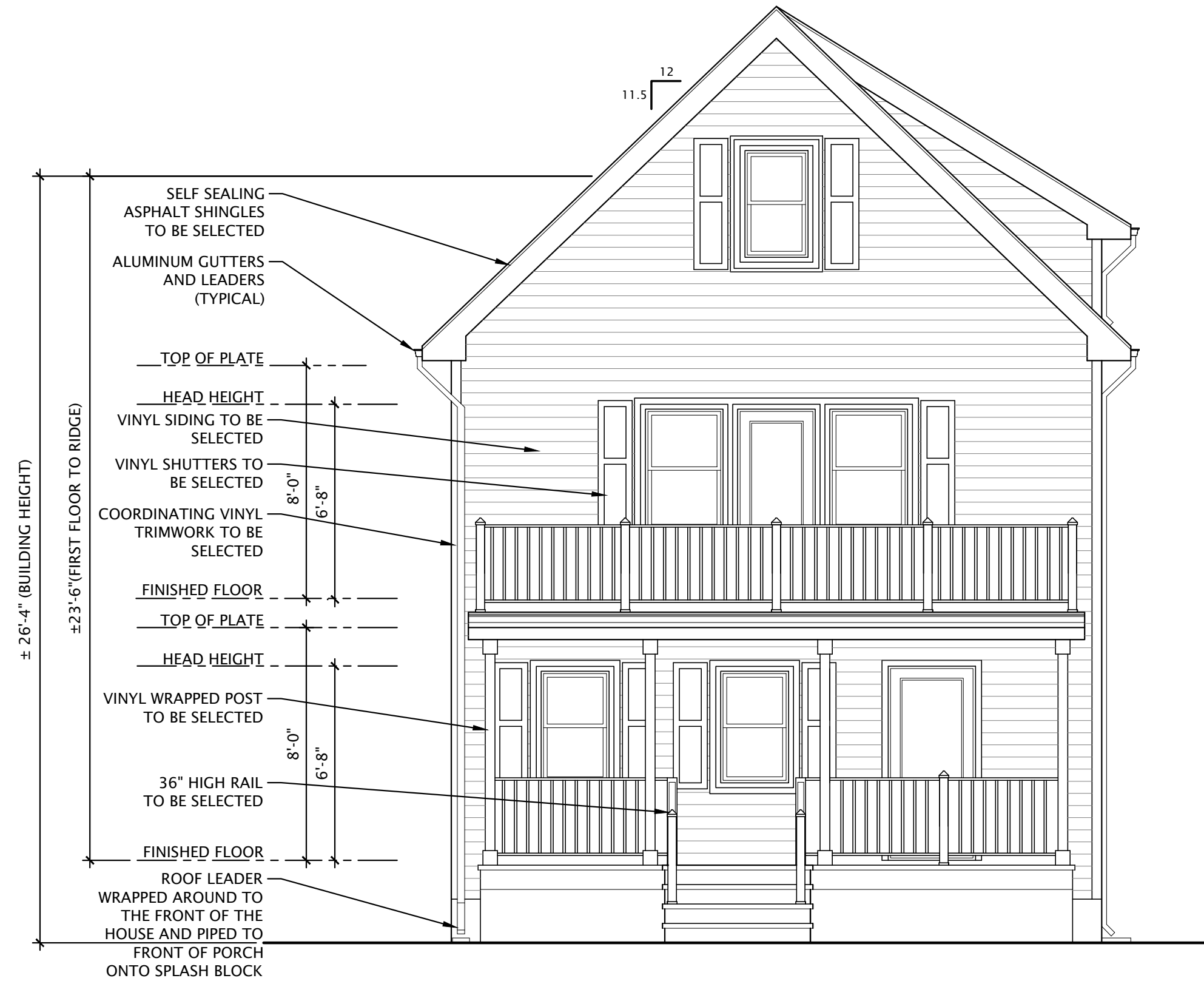
LEFT SIDE ELEVATION

SCALE = 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE = 1/4"=1'-0"

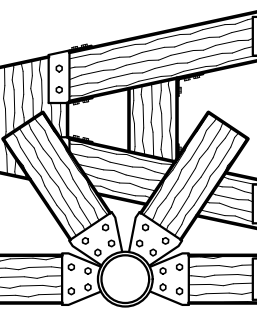


FRONT ELEVATION

SCALE = 1/4"=1'-0"

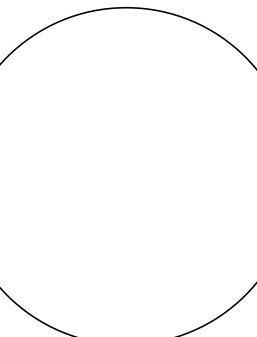
ADDITION & ALTERATION TO;
128 FIRST STREET
KEYPORT, NJ 07735

KINETIC
ARCHITECTS



2244 WINFIELD ST.
RAHWAY, NJ
P (732) 910-6178

GJUNKROFT@
KINETICARCHITECTS.COM



Gary Junkroft RA
NJ LIC. # 17679

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS
PREPARED BY THE ARCHITECT CONSULTANTS FOR THIS PROJECT
ARE HEREBY SUBMITTED TO THE CLIENT FOR REVIEW AND
APPROVAL. THE ARCHITECT CONSULTANTS SHALL NOT BE
RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE
DRAWINGS OR SPECIFICATIONS. THE ARCHITECT CONSULTANTS
SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THE
DRAWINGS OR SPECIFICATIONS AFTER THE CLIENT HAS
APPROVED THE FINAL DRAWINGS OR SPECIFICATIONS.
THE ARCHITECT CONSULTANTS SHALL NOT BE RESPONSIBLE
FOR ANY CHANGES TO THE DRAWINGS OR SPECIFICATIONS
AFTER THE CLIENT HAS APPROVED THE FINAL DRAWINGS
OR SPECIFICATIONS.

ELEVATIONS

06/30/23 - BLDG DEPT SUBM.
05/23/23 - ENGINEER COMM.

DATE: 01/08/23

DRAWN BY: GAJ

CHECKED BY: GAJ

JOB # 21-256

A-5

5 OF 5