

200' OWNERS LIST (KEYPORT)				
Block	Lot	Owner	Owner's Address	
110	23	TEANECK ROAD PARTNERS, LLC	190 MAIN STREET, STE 201 HACKENSACK, NJ 07601	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
110	27.01	BLDG KEYPORT LLC & WREN KEYPORT C/O	417 5TH AVE 4TH FLOOR NEW YORK, NY 10016	
111	3.01	MD LIQUOR & WINE HOLDING LLC	117 HWY 35 S KEYPORT, NJ 07735	
111	4	ONE HUNDRED SEVENTEEN SHG REALTY LL	1820 ROUTE 33 NEPTUNE NJ 07753	

200' OWNERS LIST (HAZLET)				
Block	Lot	Owner	Owner's Address	
164	1	3445 ROUTE 35 INVESTORS TIC I LLC	116 ROUTE 22 EAST N. PLAINFIELD, NJ 07060	
210	2	HD DEVELOP. OF MD % PROP. TAX DEPT.	PO BOX 105842 REW 0926 ATLANTA, GA 30348	

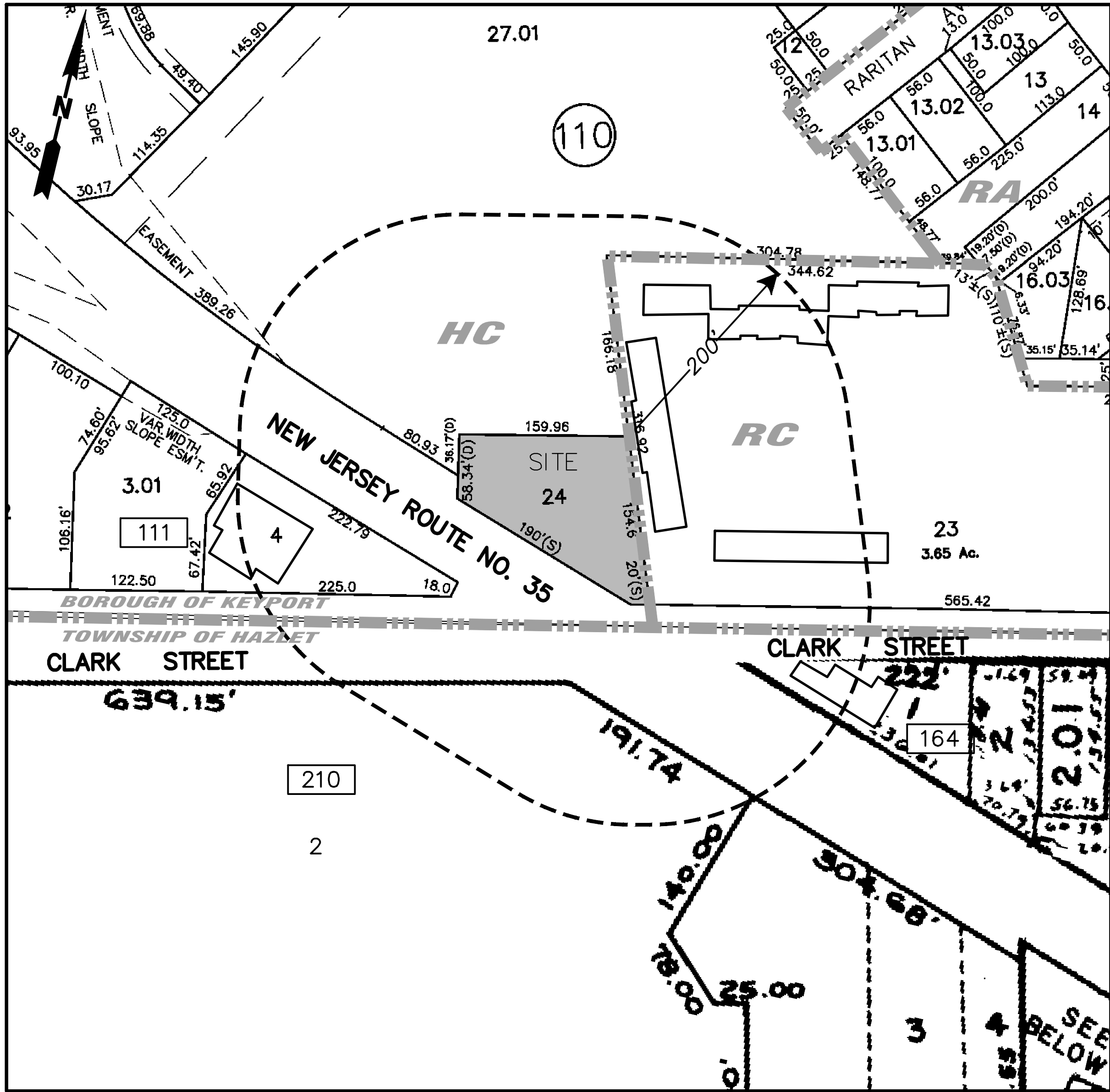
UTILITIES

BAYSHORE REGIONAL SEWERAGE AUTHORITY	100 OAK STREET UNION BEACH NJ 07735
BAYSHORE OUTFALL AUTHORITY	PO BOX 184 BELFORD NJ 07718
SHORELANDS WATER CO., INC.	1709 UNION AVENUE PO BOX 158 HAZLET NJ 07730
COMCAST CABLEVISION OF MONMOUTH COUNTY	403 SOUTH STREET EATONTOWN NJ 07724
JERSEY CENTRAL POWER & LIGHT	300 MADISON AVENUE PO BOX 1911 MORRISTOWN NJ 07962-1911
HAZLET TOWNSHIP SEWER UTILITY DEPARTMENT	1766 UNION AVE PO BOX 66 HAZLET NJ 07730
AT & T COMPANY	900 US HIGHWAY 202/206 BEDMINSTER NJ 07921
NJ AMERICAN WATER CO	661 SHREWSBURY AVENUE SHREWSBURY NJ 07702
VERIZON - NEW JERSEY	PO BOX 152206 IRVING TX 75015
NEW JERSEY NATURAL GAS CO	1415 WYCKOFF ROAD PO BOX 1464 WALL NJ 07719

GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
- THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
- AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
- THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENTS OR DEED RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
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- DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED).
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
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- PROPOSED HOURS OF OPERATIONS ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT

AMENDED PRELIMINARY & FINAL SITE PLAN TAX LOT 24 BLOCK 110 105 NEW JESEY STATE HIGHWAY 35 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY



TAX MAP & 200' RADIUS MAP
SCALE: 1" = 80'

SCHEDULE OF GENERAL REQUIREMENTS			
ZONE HC (HIGHWAY COMMERCIAL)			
EXISTING USE: VACANT/ABANDONED			
PROPOSED USE: RETAIL (P)			
REGULATION	REQUIREMENT	EXISTING (2)	PROPOSED
MIN. LOT AREA	10,000 S.F.	14,608 S.F.	14,608 S.F.
MIN. LOT WIDTH	100'	164.63'	164.63'
MIN. FRONT YARD	50'	-	11.97' (v)
MIN. SIDE YARD - ONE SIDE	6'	-	22.2'
MIN. SIDE YARD - BOTH SIDES	16'	-	53.4'
MIN. REAR YARD	20'	-	38.7'
MAX. BUILDING COVERAGE	35%	-	16.7%
MAX. BUILDING HEIGHT	3.5 STORIES/40'	-	1 STORY/20'
MAX. LOT COVERAGE	90%	30.5% (4,448 S.F.)	70.94% (10,363 S.F.)
MIN. PARKING SETBACK TO RESIDENCE OR STREET LINE(1)	5'	-	2' (v)

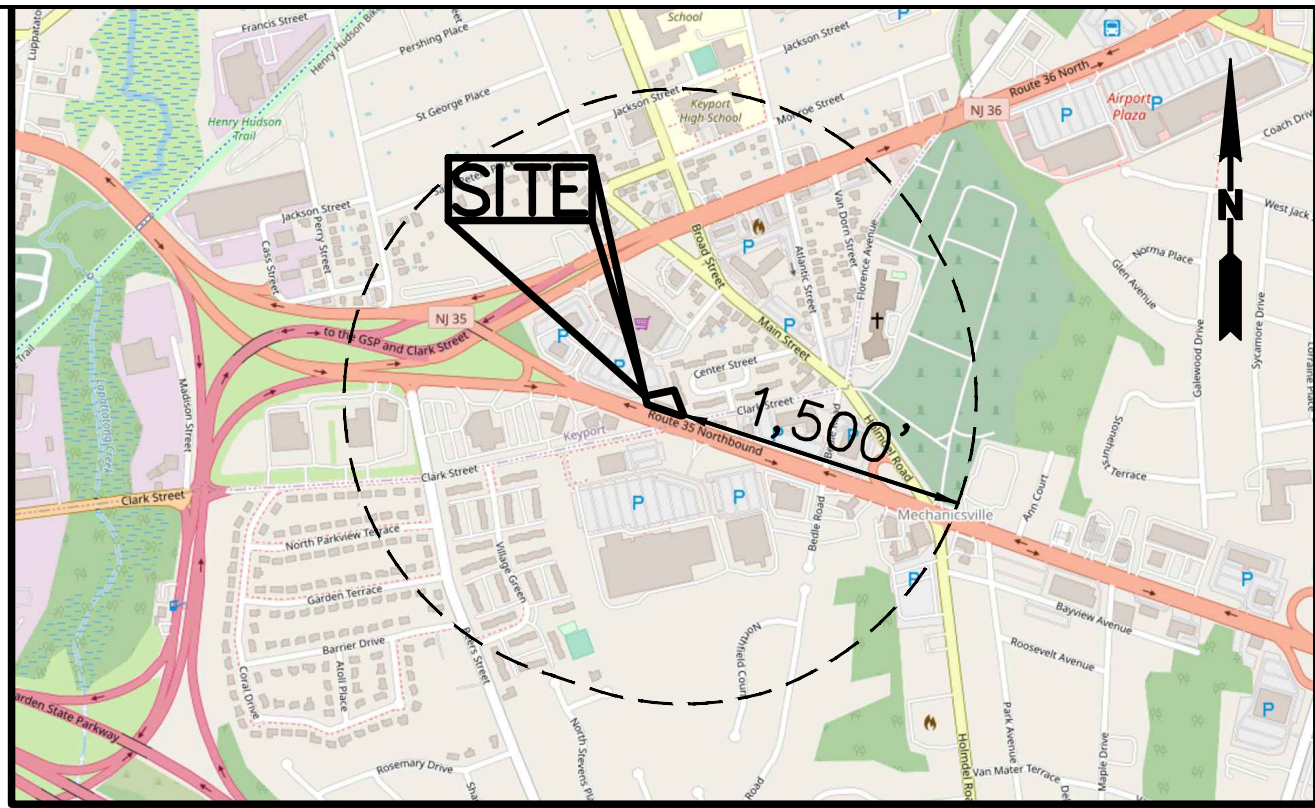
* - DENOTES EXISTING VIOLATION
(v) - DENOTES NEW VARIANCE REQUIRED
(P)- PERMITTED USE

NOTES: (1) SECTION 25:1-18 - OFF STREET PARKING AND LOADING FACILITIES SHALL NOT BE CLOSER THAN FIVE (5') FEET TO ANY R-ZONED LOT OR ANY STREET RIGHT-OF-WAY LINE
(2) EXISTING CONDITIONS LISTED ARE FROM THE PREVIOUS STRUCTURE, WHICH NO LONGER EXISTS ON THE PROPERTY.

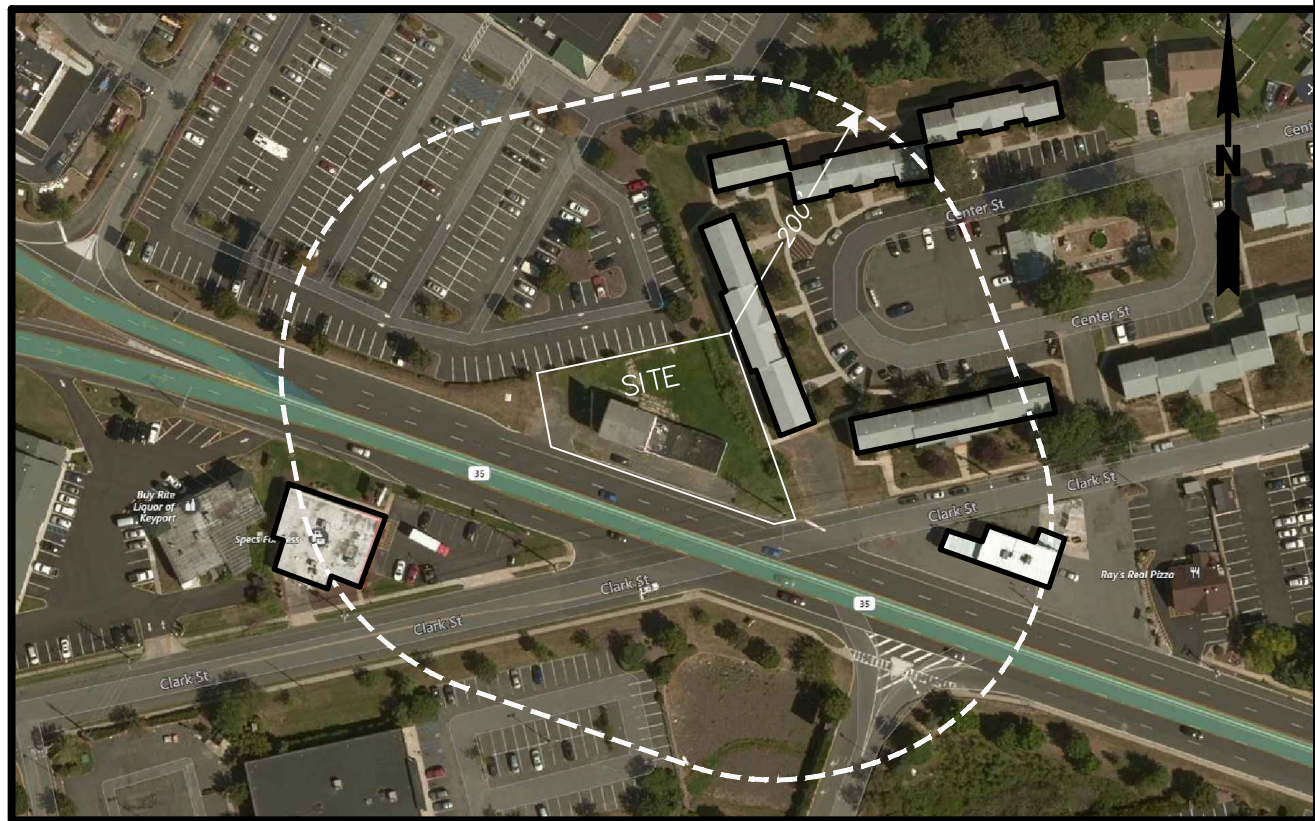
ADDITIONAL ORDINANCE RELIEF

SECTION 25:1-18.A.2. EACH OFF-STREET PARKING SPACE SHALL HAVE A MINIMUM AREA OF 180 SQUARE FEET (9' X 20') EXCLUSIVE OF ACCESS DRIVES AND AISLES AND SHALL BE OF USABLE SHAPE AND CONDITION. THIS SITE PLAN PROPOSES 9' X 18' PARKING SPACES WITH AN AVAILABLE 2 FEET OF OVERHANG AT ALL STALLS. WAIVER REQUESTED.

PARKING REQUIREMENTS	
REQUIREMENT: RETAIL, SALES ONE SPACE FOR EVERY 300 S.F. OF GROSS FLOOR AREA 2,433 S.F. / 300 S.F. = 8.1 (USE 8 SPACES)	
TOTAL SPACES REQUIRED = 8 SPACES TOTAL SPACES PROPOSED = 11 SPACES (INCLUDES 1 ADA SPACES)	



KEY MAP
SCALE: 1" = 1,000'



AERIAL MAP
SCALE: 1" = 150'

OWNER/APPLICANT/ENGINEER

SITE PLAN OF 105 NJSH ROUTE 35
BLOCK 110 LOT 24 ZONE HC-HIGHWAY COMMERCIAL
DATE MARCH 31, 2024 SCALE AS SHOWN
APPLICANT BLAZE KEYPORT LLC
ADDRESS 38 EMPRESS COURT, FREEHOLD, NJ 07728

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD

NJVM LLC 11 LORIAN ROAD
(OWNER) WARREN, NJ 07059
(ADDRESS)

(OWNER SIGNATURE) DATE

I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION THEREON DEPICTED IS CORRECT.

JOSEPH N. BACHI 328 PARK AVENUE P.E. #24GE05325200
(NAME) SCOTCH PLAINS, N.J. 07076 (ADDRESS) (TITLE & LICENSE No.)

Joseph N. Bachi 9/12/2024
(ENGINEER SIGNATURE) DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER THAT JURISDICTION

(DATE) (MUNICIPAL ENGINEER)

SHEET	TITLE	ISSUED	REVISED
1	COVER SHEET	9/12/2024	-
2	SITE PLAN	9/12/2024	-
3	GRADING & DRAINAGE PLAN	9/12/2024	-
4	LIGHTING & LANDSCAPE PLAN	9/12/2024	-
5	CONSTRUCTION DETAILS	9/12/2024	-
1 OF 1	VEHICLE MANEUVERING PLAN	9/12/2024	-
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY	2/27/2023	9/12/2024

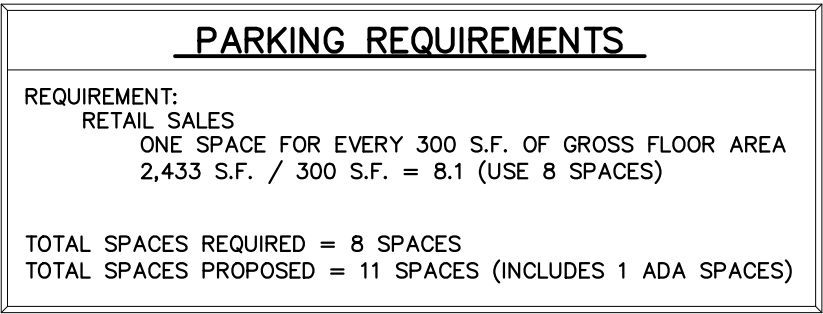
COVER SHEET
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:

Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200



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			2 (v)

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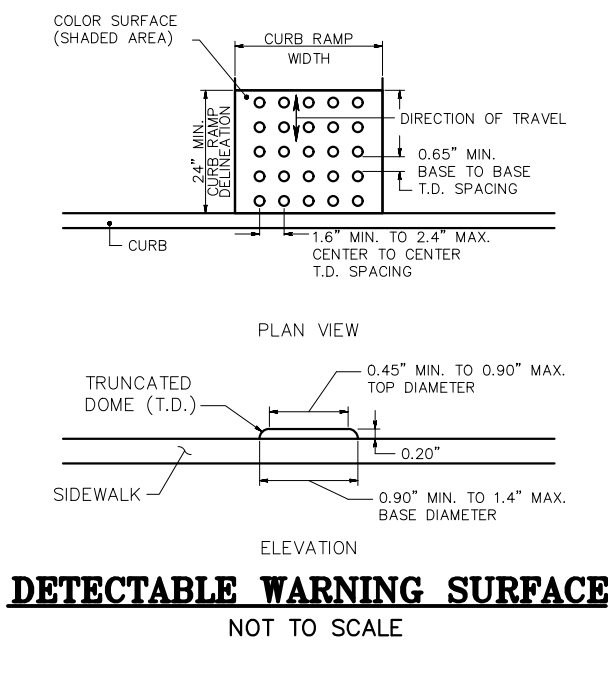
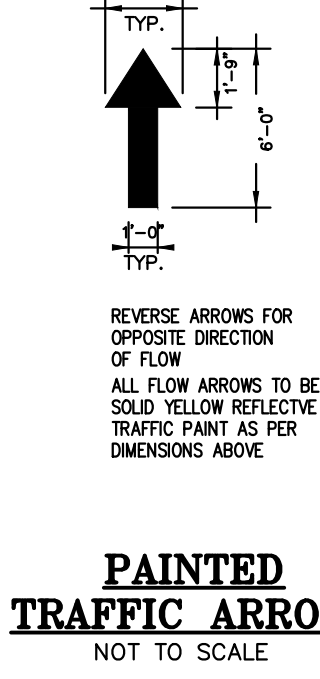
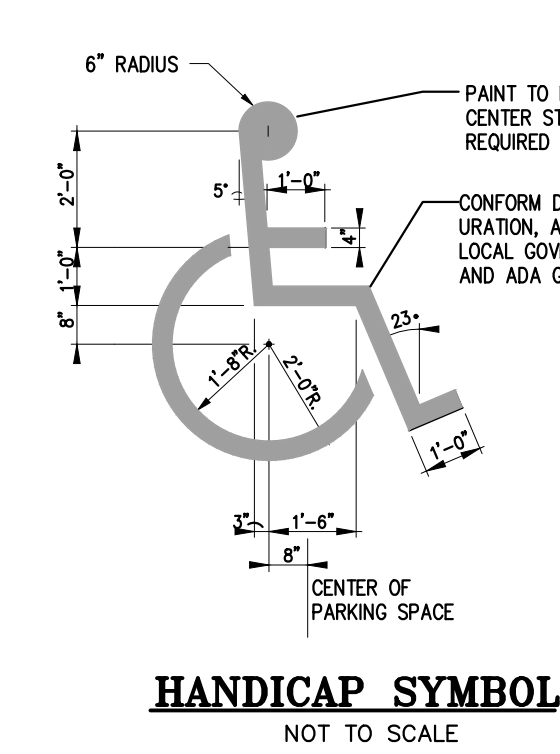
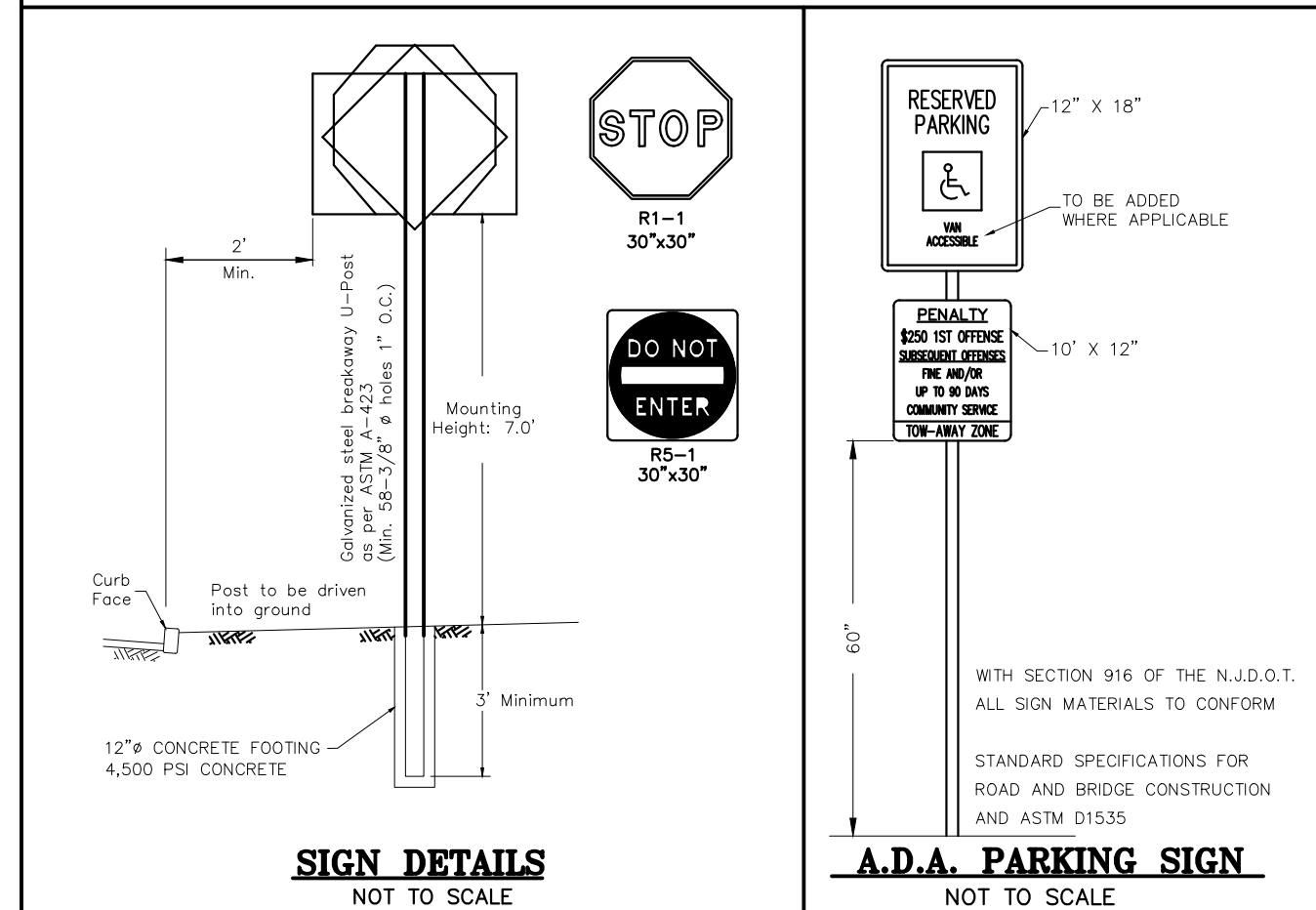
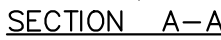
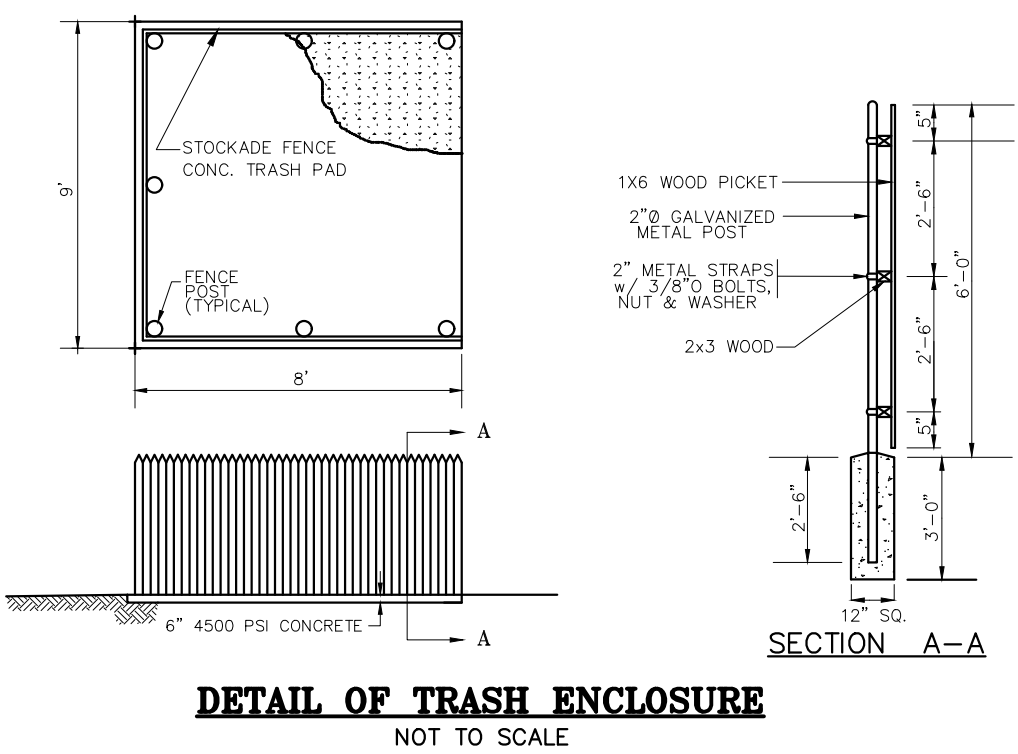
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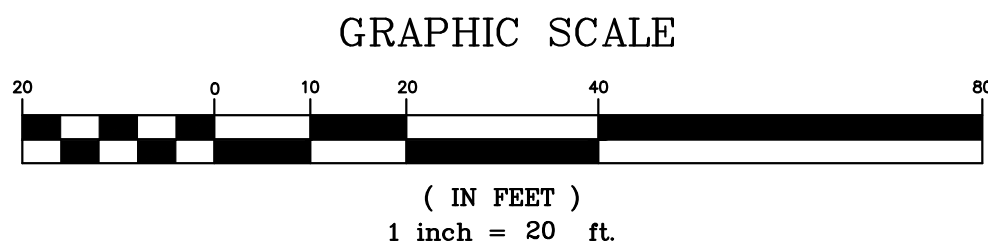
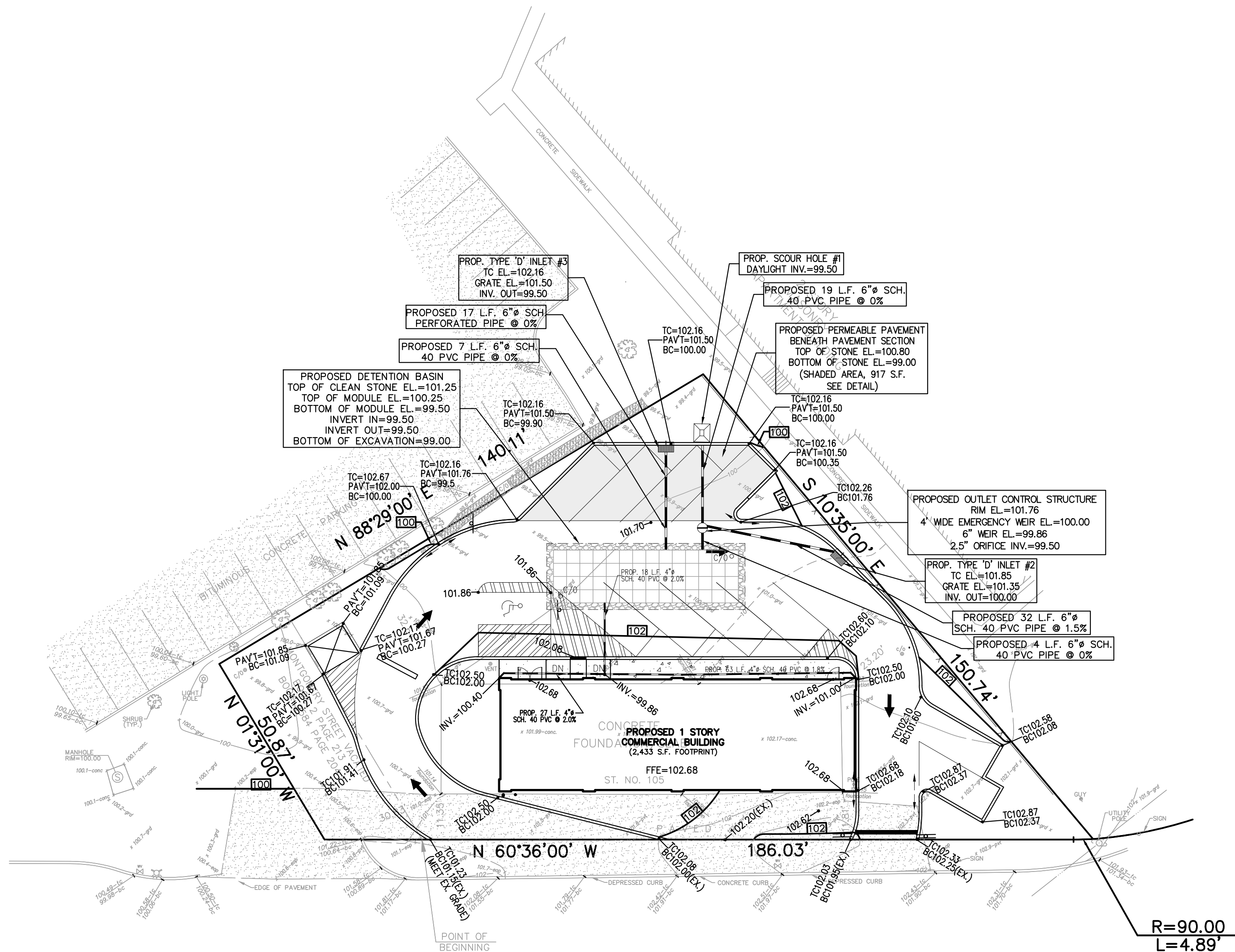
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LEGEND			
-sw	- EXISTING SIDEWALK ELEVATION	TC	- PROPOSED CONTOUR
-gnd	- EXISTING GROUND ELEVATION	SPOT	- PROPOSED SPOT ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION	-pav	- EXISTING PAVEMENT ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION	-gnd	- EXISTING GRAVEL ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION	-bldg	- EXISTING BUILDING ELEVATION
-dc	- EXISTING DEPRESSED CURB	-conc	- EXISTING CONCRETE ELEVATION
SM	- EXISTING SANITARY MANHOLE	TG	- EXISTING TOP OF GRATE ELEVATION
DM	- EXISTING STORM MANHOLE	INV.	- EXISTING INVERT
UT	- EXISTING UTILITY POLE	SPOT	- EXISTING SPOT ELEVATION
WV	- EXISTING WATER VALVE	EDGE	- EXISTING EDGE OF PAVEMENT ELEVATION
TR	- EXISTING TREE AND SIZE	CONTOUR	- EXISTING CONTOUR
TRX	- EXISTING TREES TO BE REMOVED		

GRADING & DRAINAGE PLAN
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

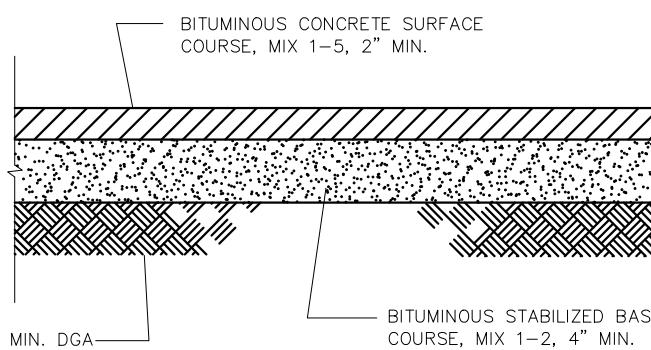
EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners

328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

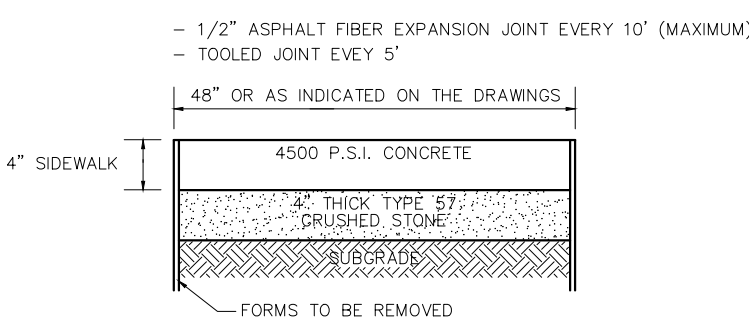
REVISIONS:

Joseph N. Bach
JOSEPH N. BACH, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200

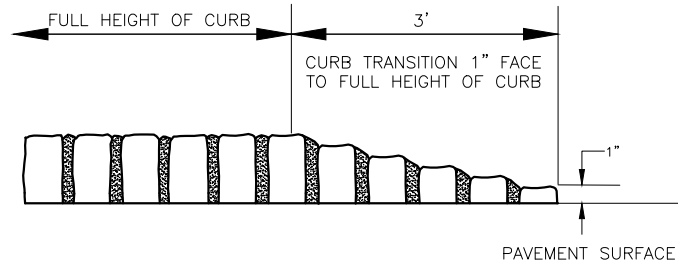
Job No. 844934 Date 9/12/2024 Scale 1"=20' Drawn SK Map No. Sheet 3 of 5



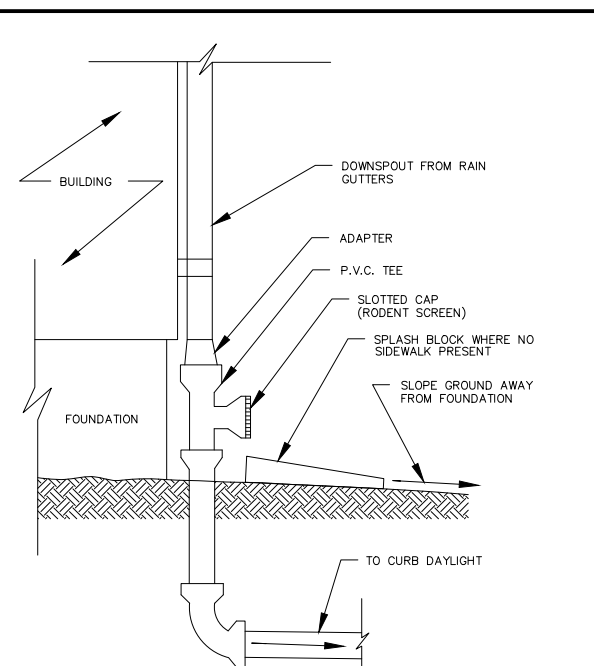
TYPICAL PAVEMENT SECTION
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE



TRANSITION CURB
N.T.S.



DOWN-SPOUT OVERFLOW DETAIL
NOT TO SCALE

Streetworks

Dimensions

ISOFOOTCANDLE PLOT OF COOPER LIGHTING, COOPER LIGHTING, VST VENUS LED, 2 BAR, TYPE 3, AT 12' MOUNTING HEIGHT, 0° VERTICAL TILT

Light Fixture Detail

SCALE: 1" = 20'

McGraw-Edison

Dimensions

ISOFOOTCANDLE PLOT OF COOPER LIGHTING, COOPER LIGHTING, GWC GALLEON LED, 1 BAR, 1,000 MA, TYPE 4, AT 15' MOUNTING HEIGHT, 0° VERTICAL TILT

Light Fixture Detail

SCALE: 1" = 20'

Light Fixture Detail

SCALE: 1" = 20'

Light Fixture Detail

SCALE: 1" = 20'

Light Fixture Detail

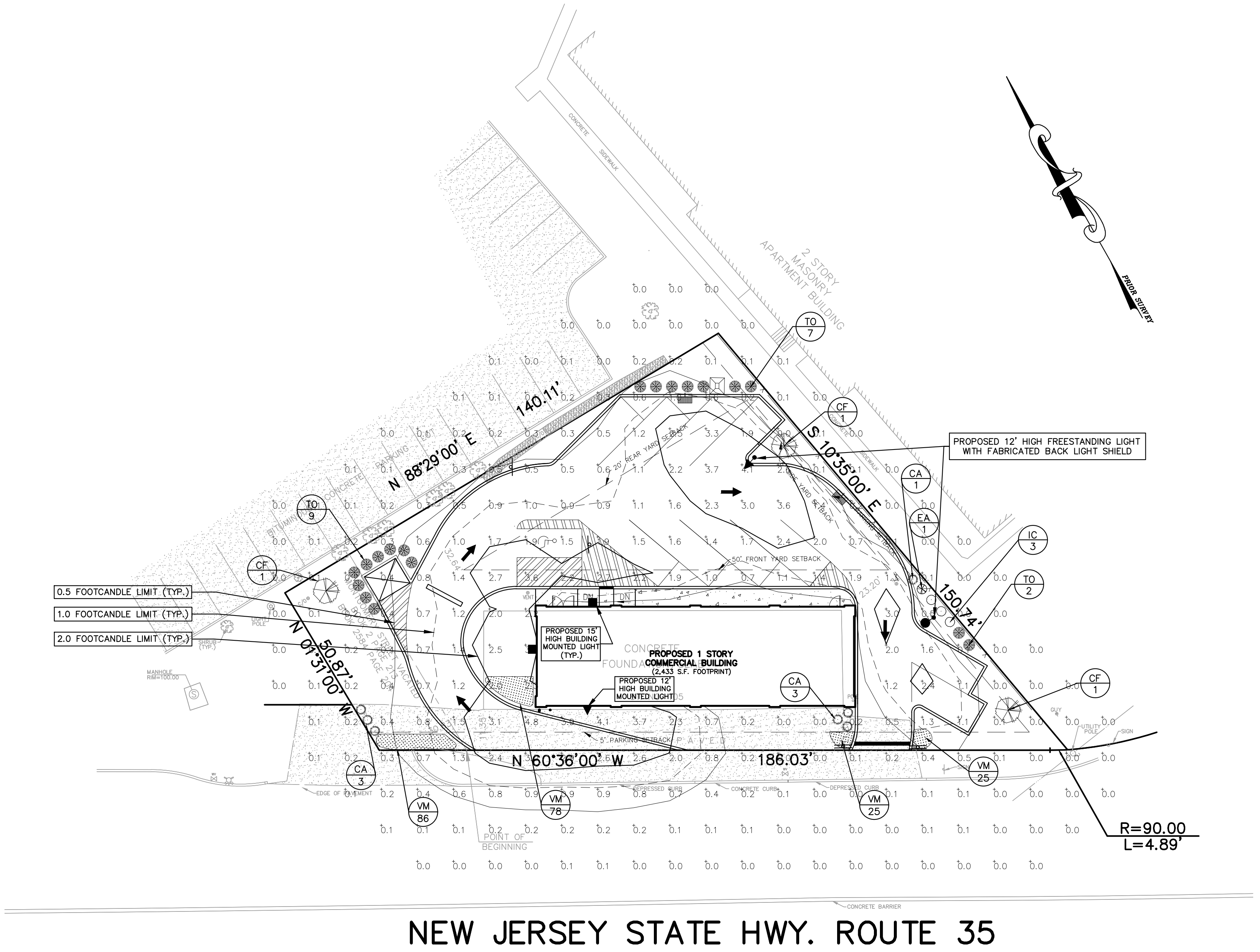
SCALE: 1" = 20'

Shrub Planting Detail

NOT TO SCALE

Deciduous & Evergreen Tree Planting Details

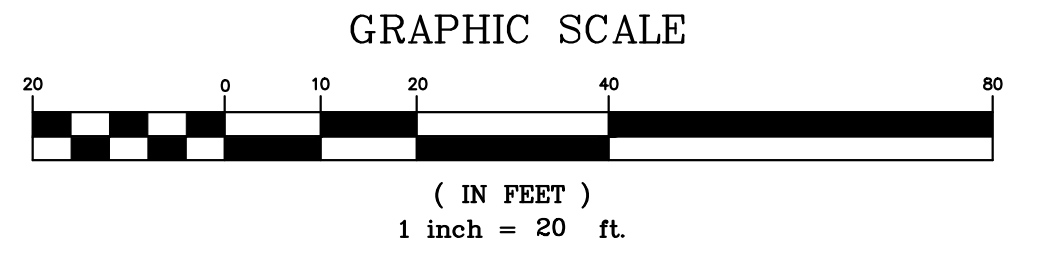
NOT TO SCALE



PROPOSED LUMINAIRE SCHEDULE							
	Arrangement	Tilt	Height	LLF	Description		
➡	E02-LED-E-U-SL3	SINGLE	0°	12'	0.76	COOPER LIGHTING, VST VENUS LED, 2 BAR, TYPE 3	
➡	AF-01-LED-E1-SL4	SINGLE	0°	15'	0.76	COOPER LIGHTING, GWC GALLEON LED, 1 BAR 1,000 MA, TYPE 4	
➡	E02-LED-E-U-SL3-HSS	SINGLE	0°	12'	0.76	COOPER LIGHTING, VST VENUS LED, 2 BAR, TYPE 3 WITH HOUSE SIDE SHIELD	

CALCULATION SCHEDULE								
	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg
CalcPts	Illuminance	Fc	1.75	4.8	0.5	3.50	9.60	2.74

PLANTING SCHEDULE							
QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	REMARKS		
3	⊗	CORNUS FLORIDA	FLOWERING DOGWOOD	2-2 1/2" CAL.	B&B		
1	⊗	EUDYMYUS ALATUS 'COMPACTUS'	DWARF WINGED BURNING BUSH	18"-24"	B&B		
3	⊗	SKY PENCIL HOLLY	ILEX GRENATA 'SKY PENCIL'	2'-3'	B&B		
7	⊗	CAULOPHYTHES AQUIFOLIA 'NAIL FINGER'	FEATHER RED GRASS 'NAIL FINGER'	#3	B&B		
214	⊗	VINCA MINOR	PERIWINKLE	2 1/4" PLUG	---		
18	⊗	THUJA STANDISHII X PLICATA	THUJA GREEN GIANT ARBORVITAE	5'-6'	B&B		



Light Pole Detail

NOT TO SCALE

- GENERAL NOTES:**
- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY:
EKA ASSOCIATES, P.A.
328 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 2/27/2023, REVISED 9/12/2024
 - THIS PARCEL IS KNOWN AS LOT 24 IN BLOCK 110 AS SHOWN ON SHEET 2 OF THE TAX MAPS OF THE BOROUGH OF KEYPORT.
 - AREA OF PARCEL = 14,608 S.F. OR 0.34 ACRES
 - THIS PARCEL MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN. NO EASEMENTS OR DEED RESTRICTIONS ARE LISTED ON DEED BOOK 9276, PAGE 5247. NO TITLE SEARCH WAS PERFORMED FOR THE PROPERTY.
 - IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
 - NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. ALSO NO DETERMINATION OF DEPTH TO GROUND WATER WAS MADE. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.
 - DATUM INFORMATION: ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION = 100.00 (ASSUMED)
 - DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - THIS IS AN AMENDED SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
 - THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
 - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
 - ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NUDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - ANY MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS TO BE COORDINATED BY CONTRACTOR PRIOR TO DEMOLITION.
 - ALL EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
 - EXISTING GAS, WATER & SEWER SERVICES/LATERALS SHALL BE UTILIZED WHERE POSSIBLE, CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PURVEYORS.
 - ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - NO SIDEWALK SHALL EXCEED A 1V:48H CROSS SLOPE AND 1V:20H RUNNING SLOPE. ADA ACCESSIBLE CURB RAMP SHALL PROVIDE FOR A LANDING NOT EXCEEDING 1V:48H IN ANY DIRECTION WITH A RAMP NOT EXCEEDING 1V:12H FOR A DISTANCE OF 6 FEET OR LESS.
 - ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION SHALL BE RESTORED BY THE APPLICANT.
 - PROPOSED HOURS OF OPERATIONS ARE 8AM TO 10PM DAILY WITH A MAXIMUM OF 7 EMPLOYEES PER SHIFT

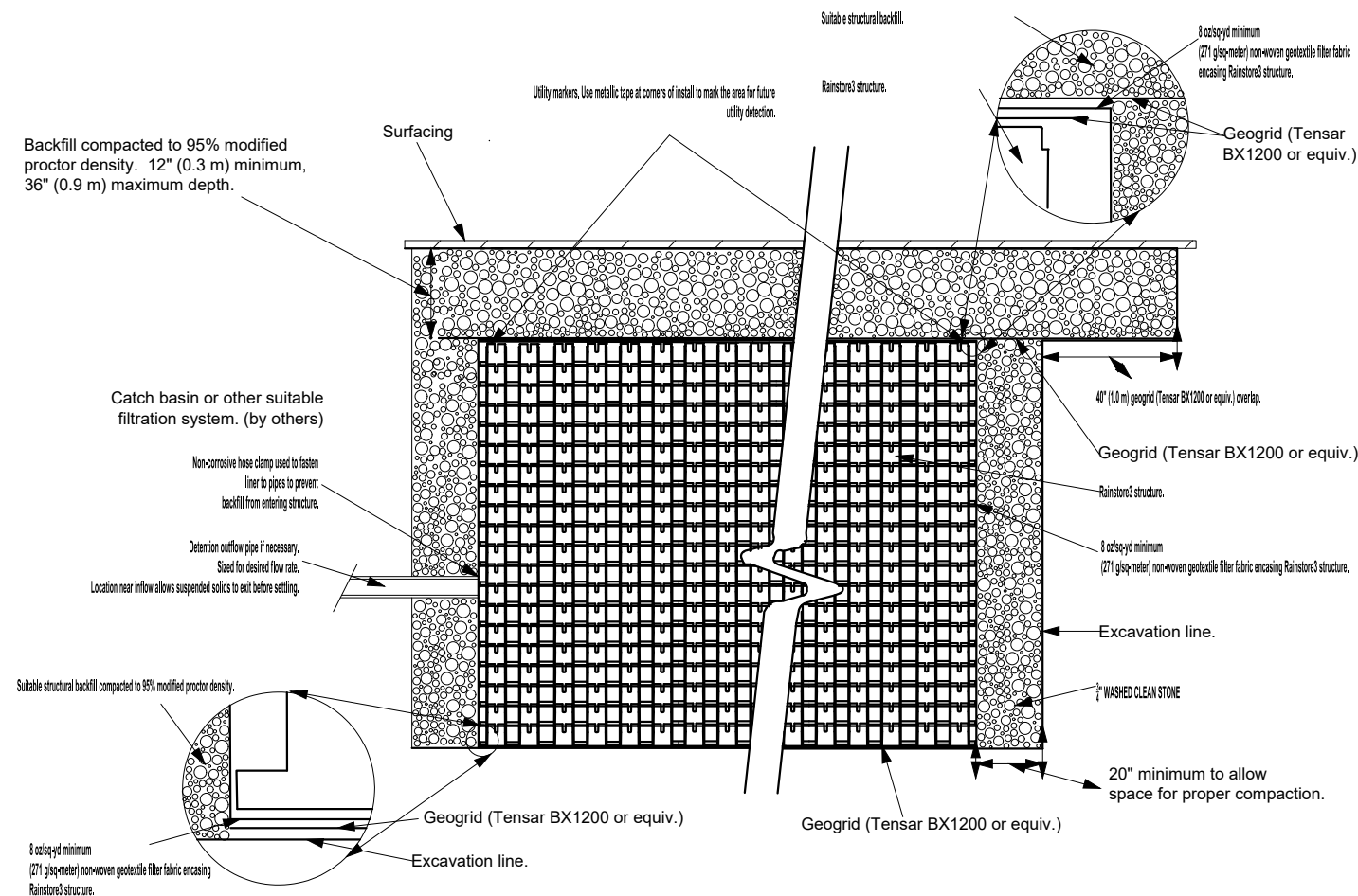
LEGEND			
---	EXISTING SIDEWALK ELEVATION	---	PROPOSED CONTOUR
---	EXISTING GROUND ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING CENTERLINE ELEVATION	---	EXISTING PAVEMENT ELEVATION
---	EXISTING TOP OF CURB ELEVATION	---	EXISTING GRAVEL ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION	---	EXISTING BUILDING ELEVATION
---	EXISTING DEPRESSED CURB	---	EXISTING CONCRETE ELEVATION
---	EXISTING SANITARY MANHOLE	---	EXISTING TOP OF GRATE ELEVATION
---	EXISTING STORM MANHOLE	---	EXISTING INVERT
---	EXISTING UTILITY POLE	---	EXISTING SPOT ELEVATION
---	EXISTING WATER VALVE	---	EXISTING EDGE OF PAVEMENT ELEVATION
---	EXISTING TREE AND SIZE	---	---
---	EXISTING TREES TO BE REMOVED	---	---

LIGHTING & LANDSCAPE PLAN
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

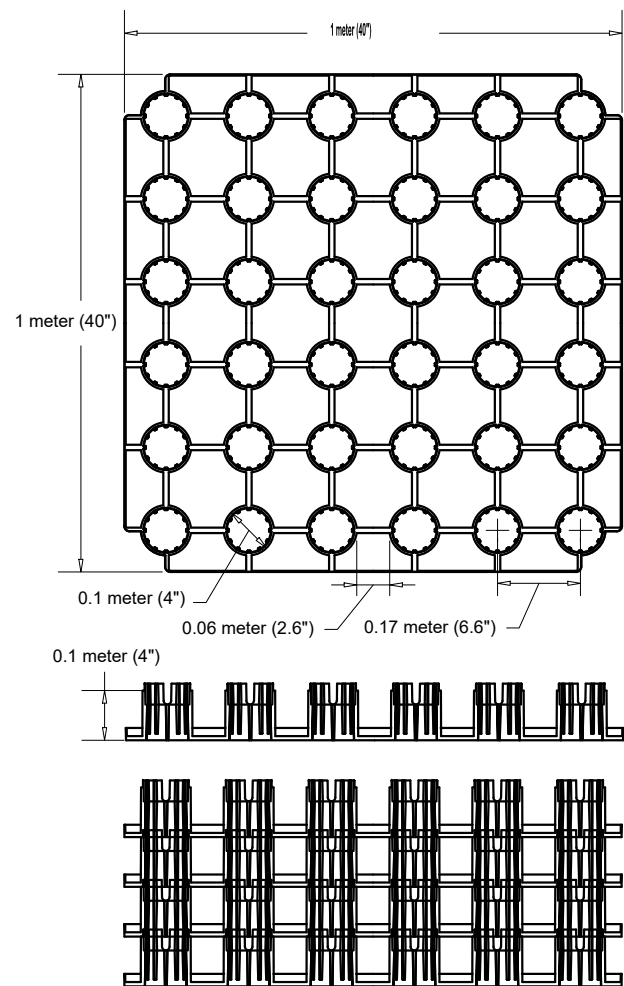
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908-322-2030

REVISIONS:

JOSEPH N. BACH, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200



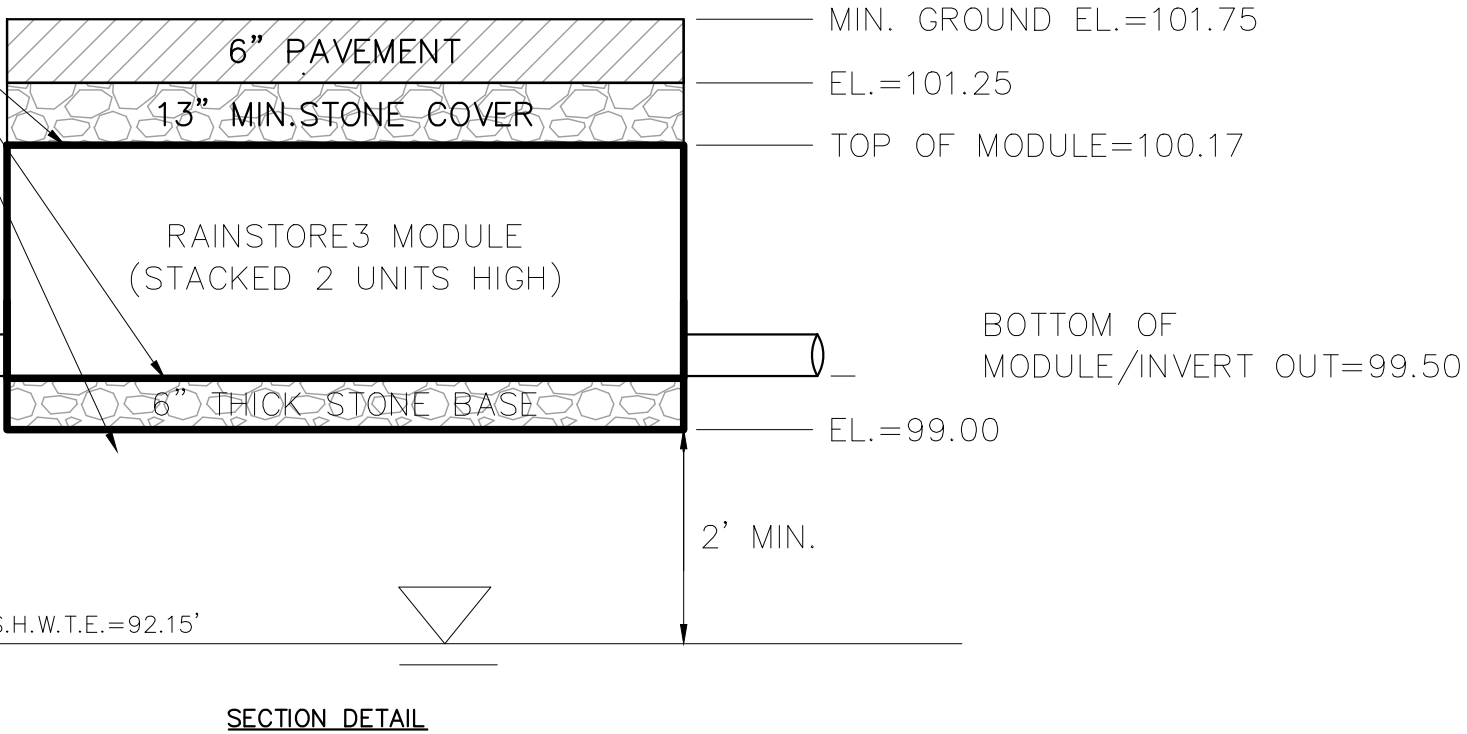
TYPICAL SECTION OF STACKED RAINSTORE 3 UNITS HIGH



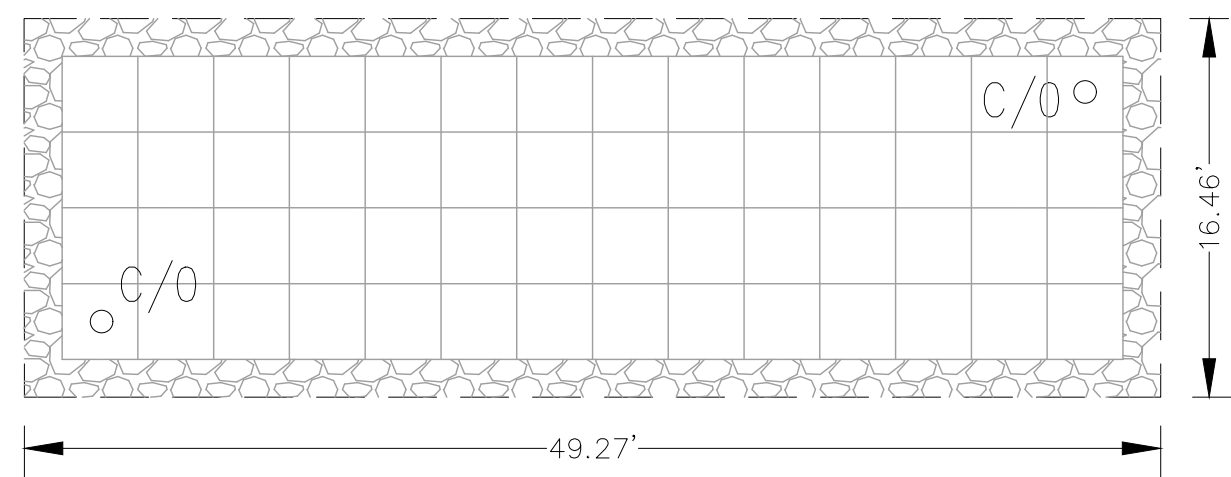
TYPICAL DETAIL OF SINGLE RAINSTORE 3 UNIT

FILTER FABRIC TO BE INSTALLED AROUND MODULES AND ON SIDES AND BOTTOM OF STONE BEDDING

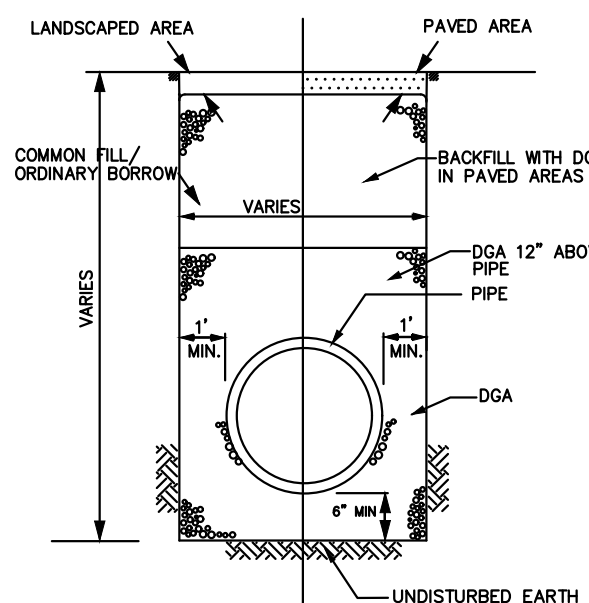
PVC PIPING INVERT IN=99.50



UNDERGROUND RAINSTORE 3 DETENTION BASIN DETAILS
NOT TO SCALE



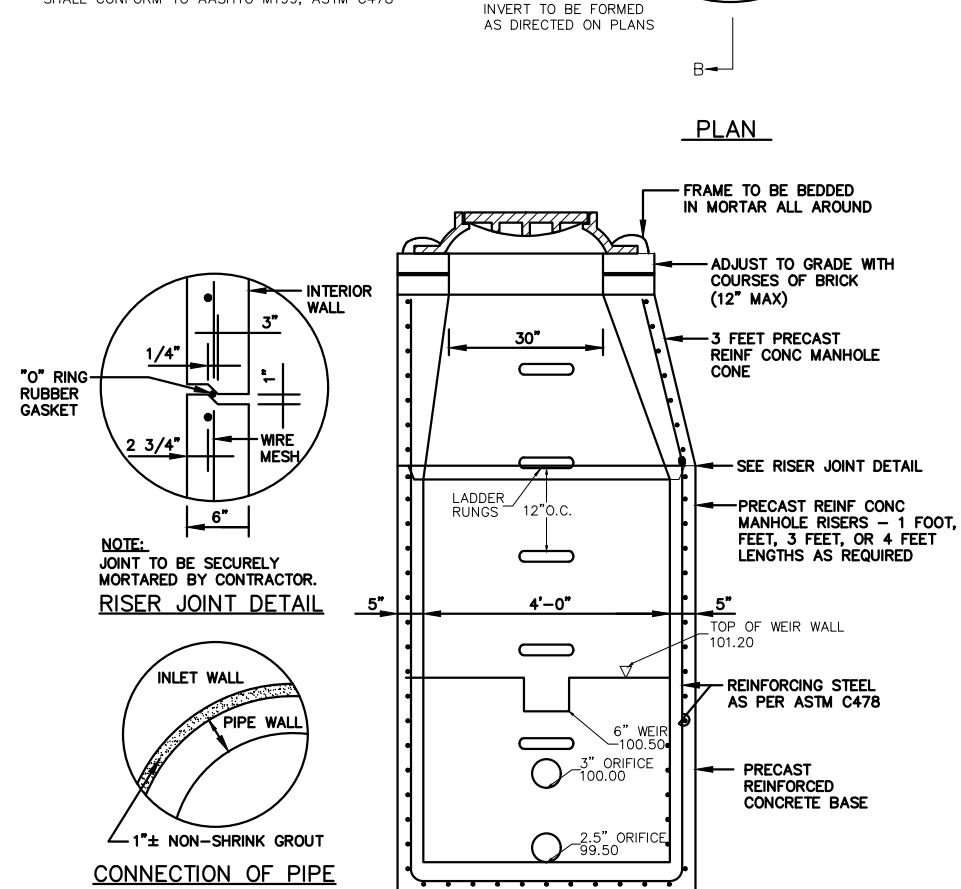
INFILTRATION BASIN LAYOUTS
NOT TO SCALE



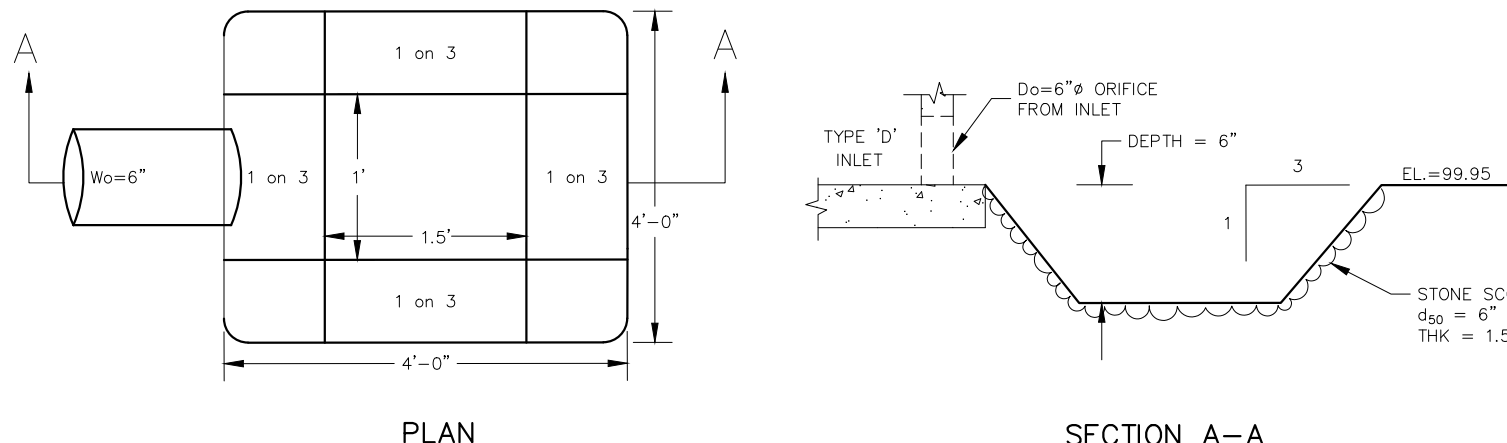
NOTE: D.G.A. TO BE COMPACTED IN 8" MAXIMUM LIFTS

STORM PIPE TRENCH DETAIL
NOT TO SCALE

- GENERAL NOTES: (FOR ALL INSETS)
1. FOOTING AND INVERT TO BE 4,500 P.S.I. CONCRETE
 2. IF WALL CONSTRUCTION IS NOT CONCRETE, THE WALLS SHALL BE PLASTERED INSIDE AND OUT WITH 1/2" THICK GEMENT PLASTER.
 3. PROVIDE 3/4" DIAMETER ALUMINUM LADDER RUNGS AS SHOWN.
 4. WALLS BELOW THE DEPTH OF 12'-0" (MEASURED FROM THE INLET GUTTER TO THE INVERT) SHALL BE 12" THICK AND THE FOUNDATION SHALL BE INCREASED TO 12" IN WIDTH AND 12" IN DEPTH.
 5. PRECAST REINFORCED CONCRETE MANHOLE SECTIONS SHALL CONFORM TO AASHTO M198, ASTM C478

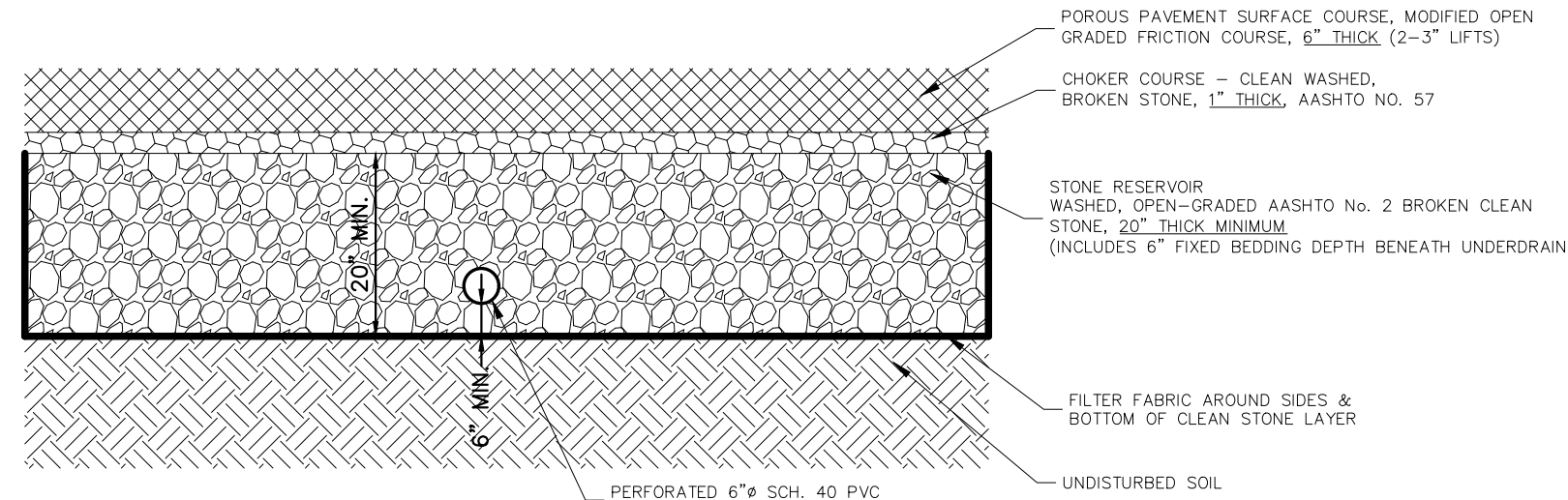


PRECAST CONCRETE DRAINAGE MANHOLE
& OUTLET CONTROL STRUCTURE
NOT TO SCALE



SCOUR HOLE DETAIL & SIZING CALCULATIONS
NOT TO SCALE

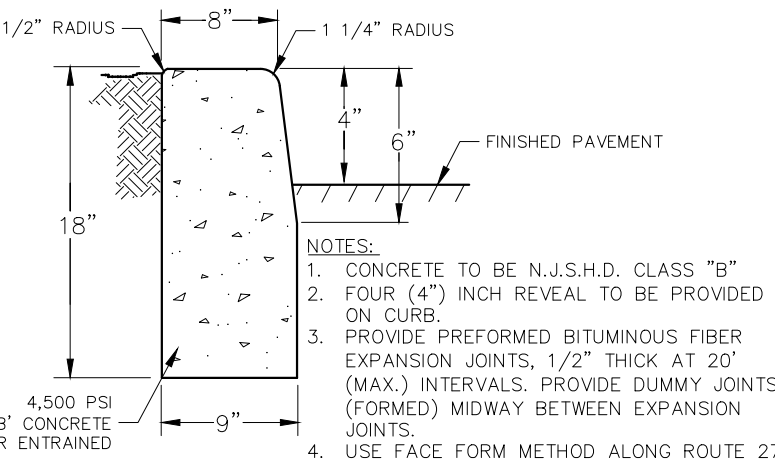
MIN. PAVEMENT EL.=101.30
BOTTOM OF POROUS PAVEMENT EL.=100.80
TOP OF STONE EL.=100.72



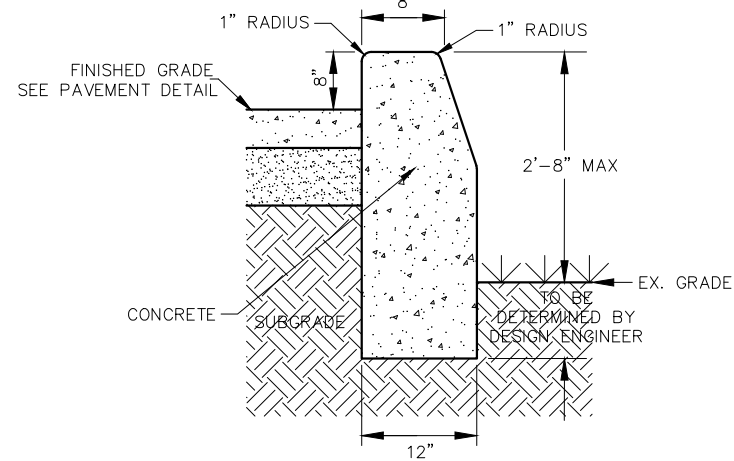
NOTES:

1. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO PERVIOUS PAVING SYSTEM USE.
2. FILTER FABRIC SHOULD BE A NON-WOVEN GEOTEXTILE. FILTER FABRIC IS REQUIRED ALONG THE SIDES AND THE BOTTOM OF THE SYSTEM TO PREVENT MIGRATION OF FINES FROM THE SURROUNDING SOIL.
3. POROUS PAVEMENT SHOULD CONSIST OF COURSE AGGREGATE MIX WITH 100% PASSING #1, 95% PASSING #4, 35% PASSING #8, 15% PASSING #16 AND 2% PASSING #30 U.S. STANDARD SIEVE SIZES WITH A 5.75%-6.00% ASPHALT BINDER BY WEIGHT TO PROVIDE REQUIRED SHEAR STRENGTH AND DURABILITY. POLYMER MODIFIED BINDER PG 64E-22 MUST BE USED FOR PARKING LOTS.
4. CONSTRUCTION OF PERVIOUS PAVEMENT SYSTEMS MAY NOT TAKE PLACE DURING RAIN OR SNOW, NOR WHEN SUBSOIL IS FROZEN. FROZEN AGGREGATE MATERIALS MAY NOT BE INSTALLED. THE MINIMUM AIR TEMPERATURE FOR PAVING IS 50 DEGREES FAHRENHEIT.
5. SEALANT PRIME COAT AND OTHER TREATMENTS THAT COULD REDUCE THE RATE OF INFILTRATION MAY NOT BE APPLIED TO THE SURFACE COURSE.
6. STORAGE BED AGGREGATE MUST BE PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS; THE MAXIMUM RECOMMENDED LOOSE LIFT THICKNESS IS 6 INCHES.
7. THE PROPOSED AREA OF THE PERVIOUS PAVEMENT SYSTEM MUST BE KEPT FREE FROM SEDIMENT DURING THE ENTIRE CONSTRUCTION PROCESS. CONSTRUCTION MATERIALS CONTAMINATED BY SEDIMENTS MUST BE REMOVED AND REPLACED WITH CLEAN MATERIALS.
8. SNOW AND ICE, ESPECIALLY FROM AREAS TREATED WITH SAND, CINDERS OR DE-ICING MATERIALS, MAY NOT BE STOCKPILED ON A PERVIOUS PAVING SYSTEM.
9. SOIL LOGS TO BE PREPARED WITHIN THE VICINITY OF THE POROUS PAVEMENT TO VERIFY THE ABSENCE OF GROUNDWATER WITHIN AT LEAST TWO FEET OF THE BOTTOM OF CLEAN STONE.
10. CLEANOUTS LOCATED WITHIN THE PERVIOUS PAVING SYSTEM MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.
11. THE MINIMUM TESTED INFILTRATION RATE OF THE SURFACE COURSE MUST BE 20 INCHES PER HOUR. THE POROSITY OF THE PERMEABLE ASPHALT SURFACE COURSE MUST BE 15-25% AND THE POROSITY OF ANY PERMEABLE BASE COURSE MUST BE GREATER THAN 25%.
12. ALL JOINTS SHALL BE SECURE AND WATERTIGHT.
13. THE INSTALLATION OF PERMEABLE ASPHALT REQUIRES DIFFERENT TEMPERATURE GUIDELINES THAN THOSE OF IMPERVIOUS ASPHALT: (1) ASPHALT BASE COURSE: 200-245 DEGREES FAHRENHEIT, (2) FINISH ROLLING BASE COURSE: 140-150 DEGREES FAHRENHEIT, (3) ASPHALT SURFACE COURSE: 200-220 DEGREES FAHREHT, (4) FINISH ROLLING SURFACE COURSE: 110-140 DEGREES FAHRENHEIT.
14. VEHICULAR USE IS PROHIBITED FOR AT LEAST 48 HOURS AFTER PAVEMENT INSTALLATION IS COMPLETE.
15. POST-CONSTRUCTION TESTING OF THE PERMEABLE ASPHALT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF EITHER ASTM C1701: STANDARD TEST METHOD FOR INFILTRATION RATE OF IN-PLACE PERVIOUS CONCRETE OR ASTM C1781: STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE UNIT PAVEMENT SYSTEMS. AT LEAST THREE LOCATIONS MUST BE USED FOR THE TEST. AND THEY SHOULD BE SPACED EVENLY ACROSS THE PERVIOUS PAVING SYSTEM. FAILURE TO ACHIEVE THE MINIMUM DESIGN INFILTRATION RATE OF THE SURFACE COURSE AT ONE OR MORE LOCATIONS INDICATES THE SYSTEM CANNOT BE PUT IN SERVICE UNTIL THE SYSTEM IS CORRECTED TO YIELD THE PASSING VALUES. UNLIKE TEST METHODOLOGY OUTLINED IN THE ASTM STANDARDS, THE TEST RESULTS MUST NOT BE AVERAGED. THE MAINTENANCE PLAN MUST INCLUDE A LOG FOR RECORDING EACH LOCATION AND ITS TEST RESULT FOR FUTURE REFERENCE.

POROUS PAVEMENT DETAIL
NOT TO SCALE

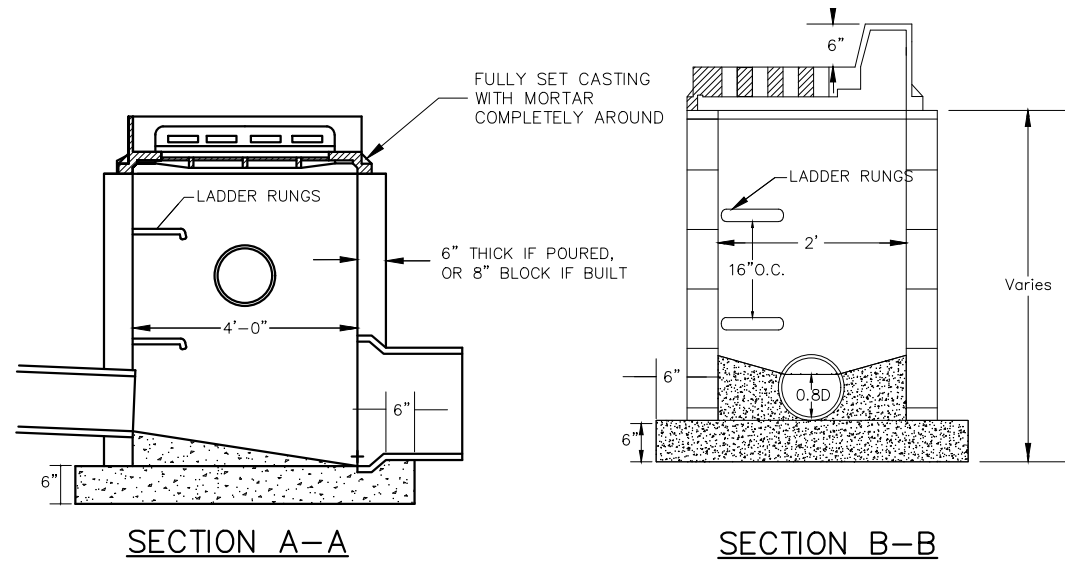


(ON-SITE) CONCRETE CURB DETAIL
NOT TO SCALE

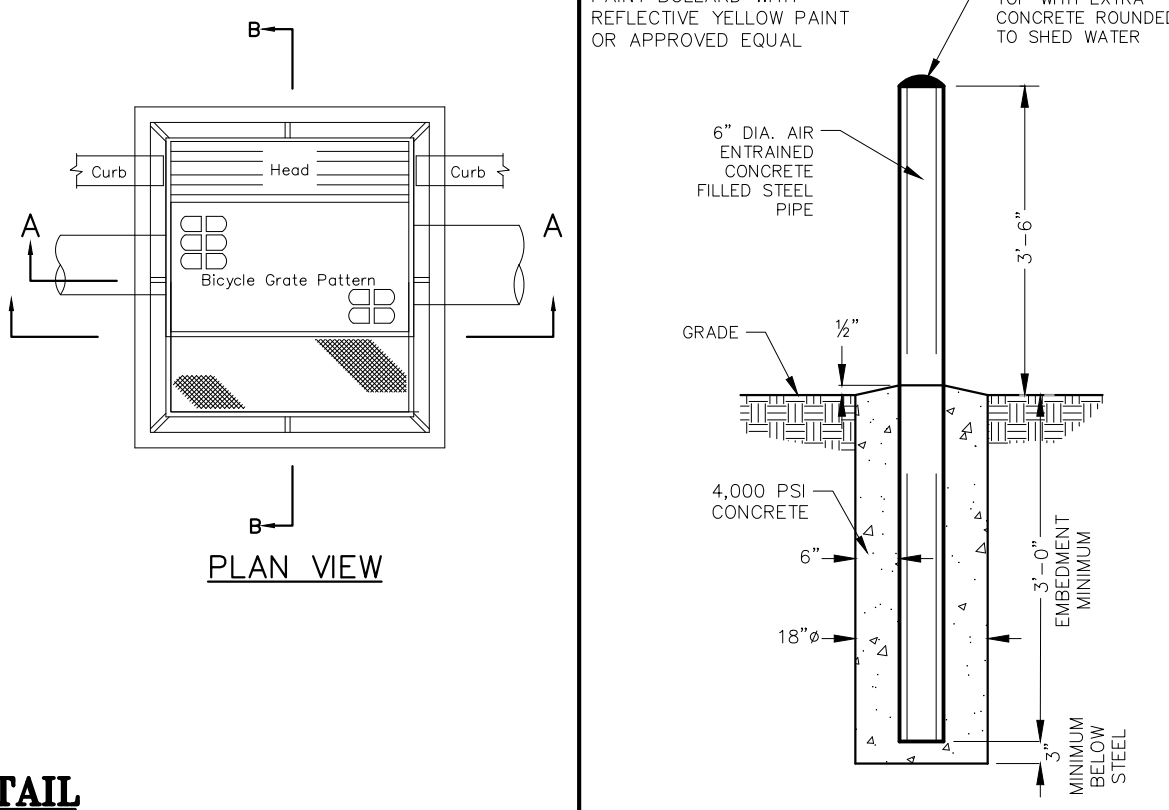


NOTE: EXTENDED CURB DESIGN TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

EXTENDED CONCRETE CURB
NOT TO SCALE



TYPICAL TYPE 'D' INLET DETAIL



BOLLARD DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS
AMENDED PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

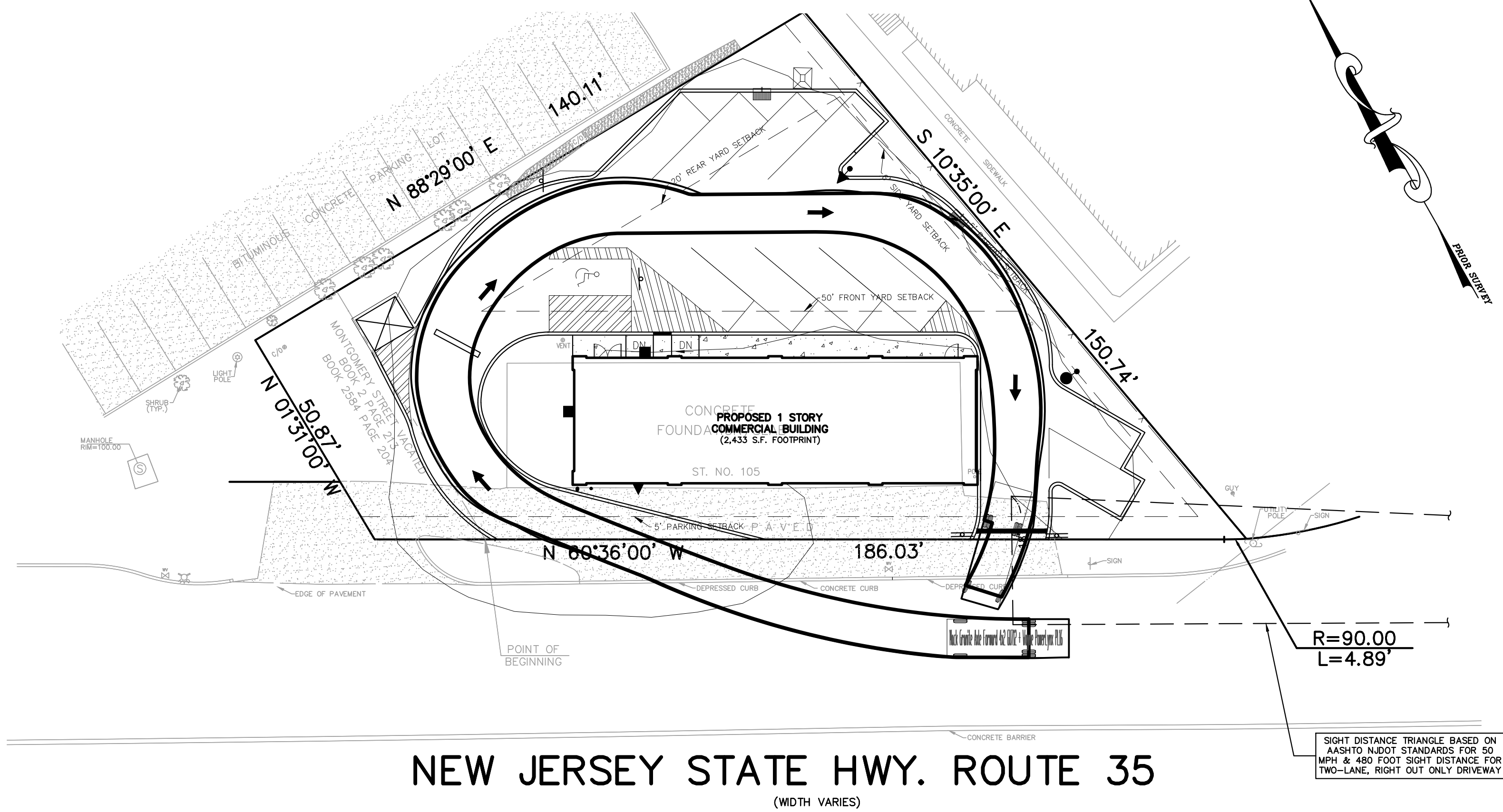
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REVISIONS:

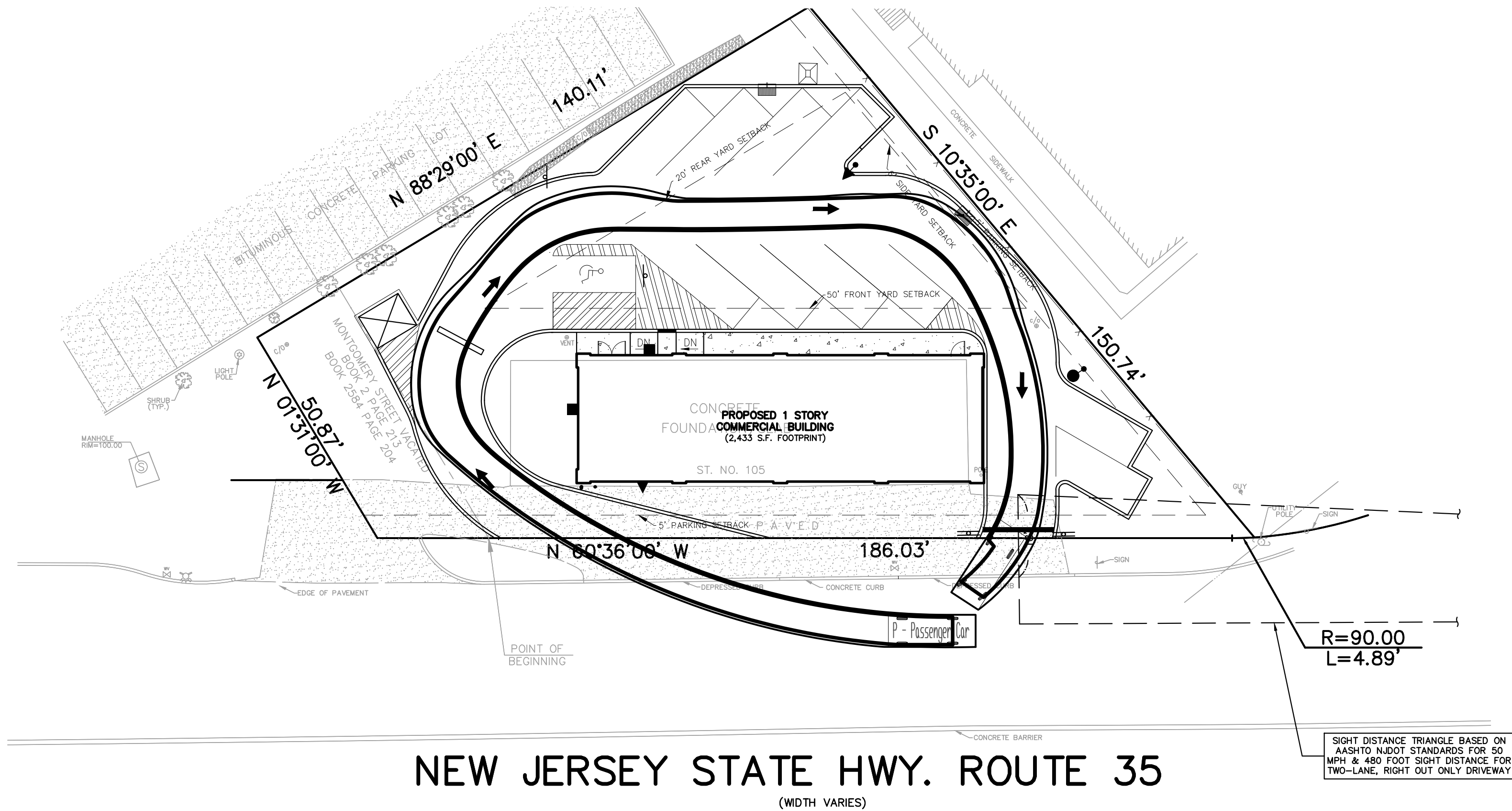
Joseph N. Bachi
JOSEPH N. BACHI, P.E.
PROFESSIONAL ENGINEER
N.J. LICENSE NO. 24GE05325200

Job No. 844934 Date 9/12/2024 Scale 1"=20' Drawn MW Map No. Sheet 5 of 5



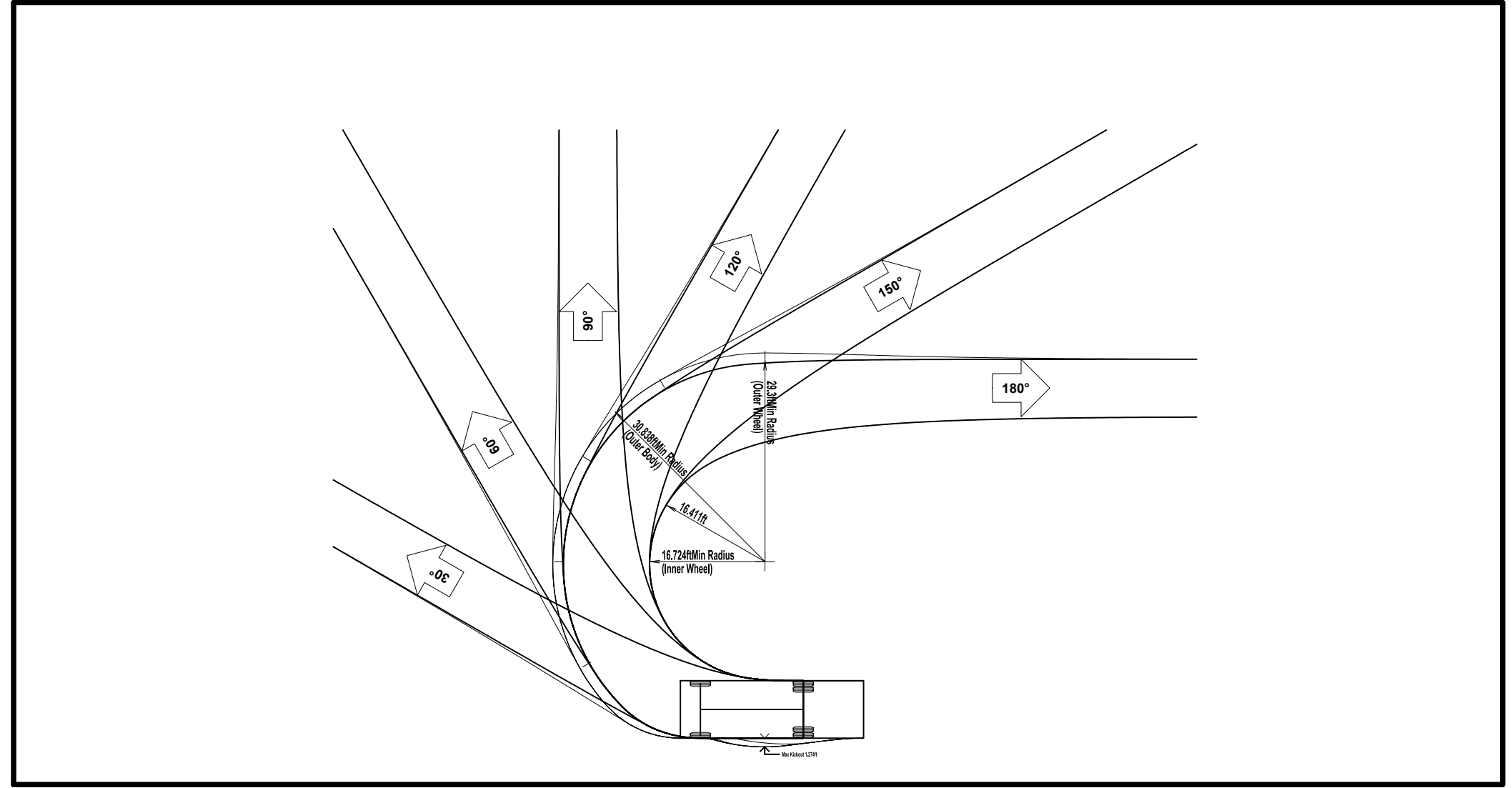
NEW JERSEY STATE HWY. ROUTE 35
(WIDTH VARIES)

TYPICAL GARBAGE TRUCK
SCALE: 1" = 20'

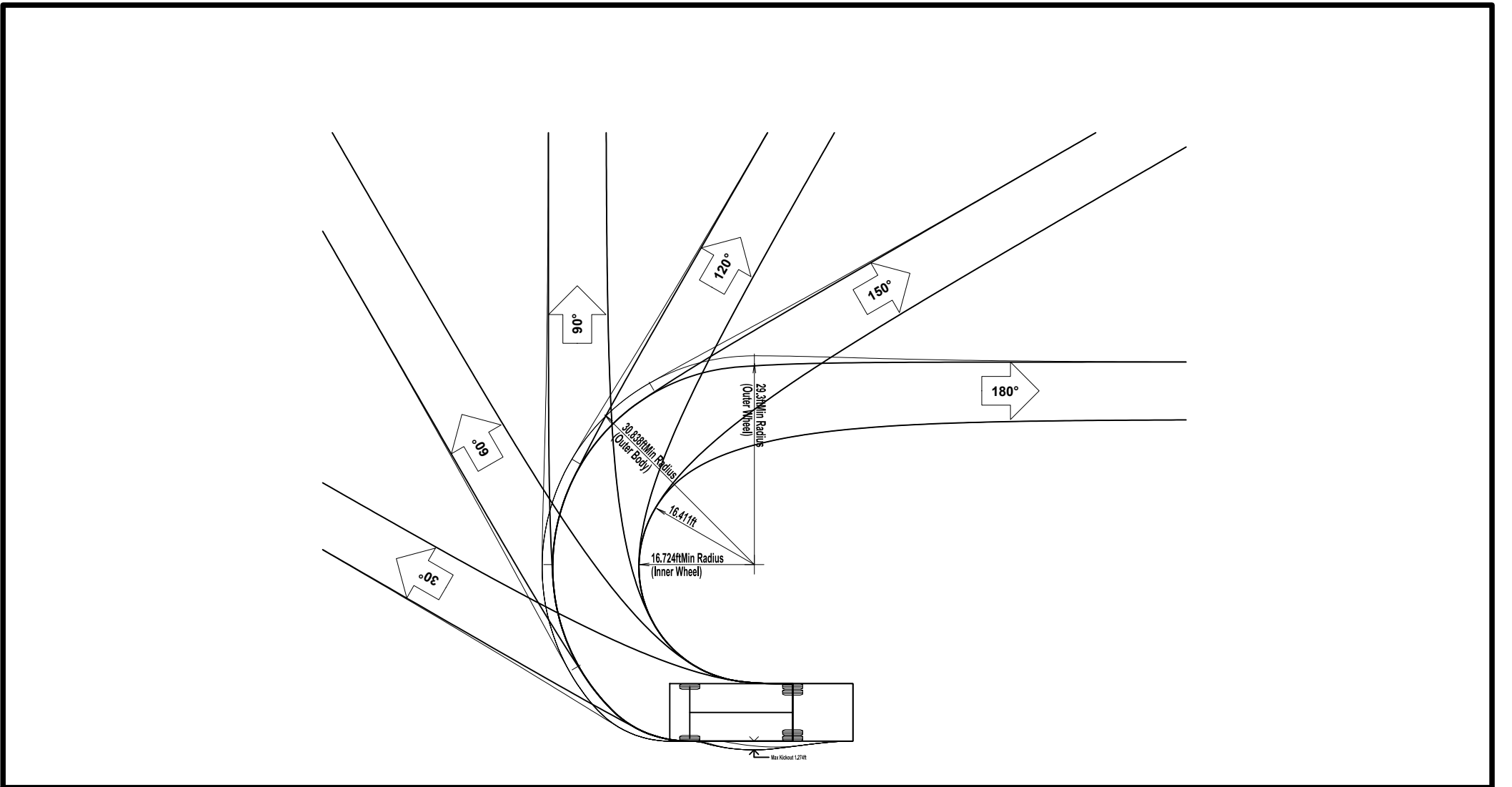


NEW JERSEY STATE HWY. ROUTE 35
(WIDTH VARIES)

AASHTO PASSENGER CAR
SCALE: 1" = 20'



TYPICAL GARBAGE TRUCK
SCALE: 1" = 20'



AASHTO PASSENGER CAR
SCALE: 1" = 20'

LEGEND			
---	EXISTING SIDEWALK ELEVATION	---	PROPOSED CONTOUR
---	EXISTING GROUND ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING CENTERLINE ELEVATION	---	EXISTING PAVEMENT ELEVATION
---	EXISTING TOP OF CURB ELEVATION	---	EXISTING GRAVEL ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION	---	EXISTING BUILDING ELEVATION
---	EXISTING DEPRESSED CURB	---	EXISTING CONCRETE ELEVATION
---	EXISTING SANITARY MANHOLE	---	EXISTING TOP OF GRATE ELEVATION
---	EXISTING STORM MANHOLE	---	EXISTING INVERT
---	EXISTING UTILITY POLE	---	EXISTING SPOT ELEVATION
---	EXISTING WATER VALVE	---	EXISTING EDGE OF PAVEMENT ELEVATION
---	EXISTING TREE AND SIZE	---	EXISTING CONTOUR
---	EXISTING TREES TO BE REMOVED		

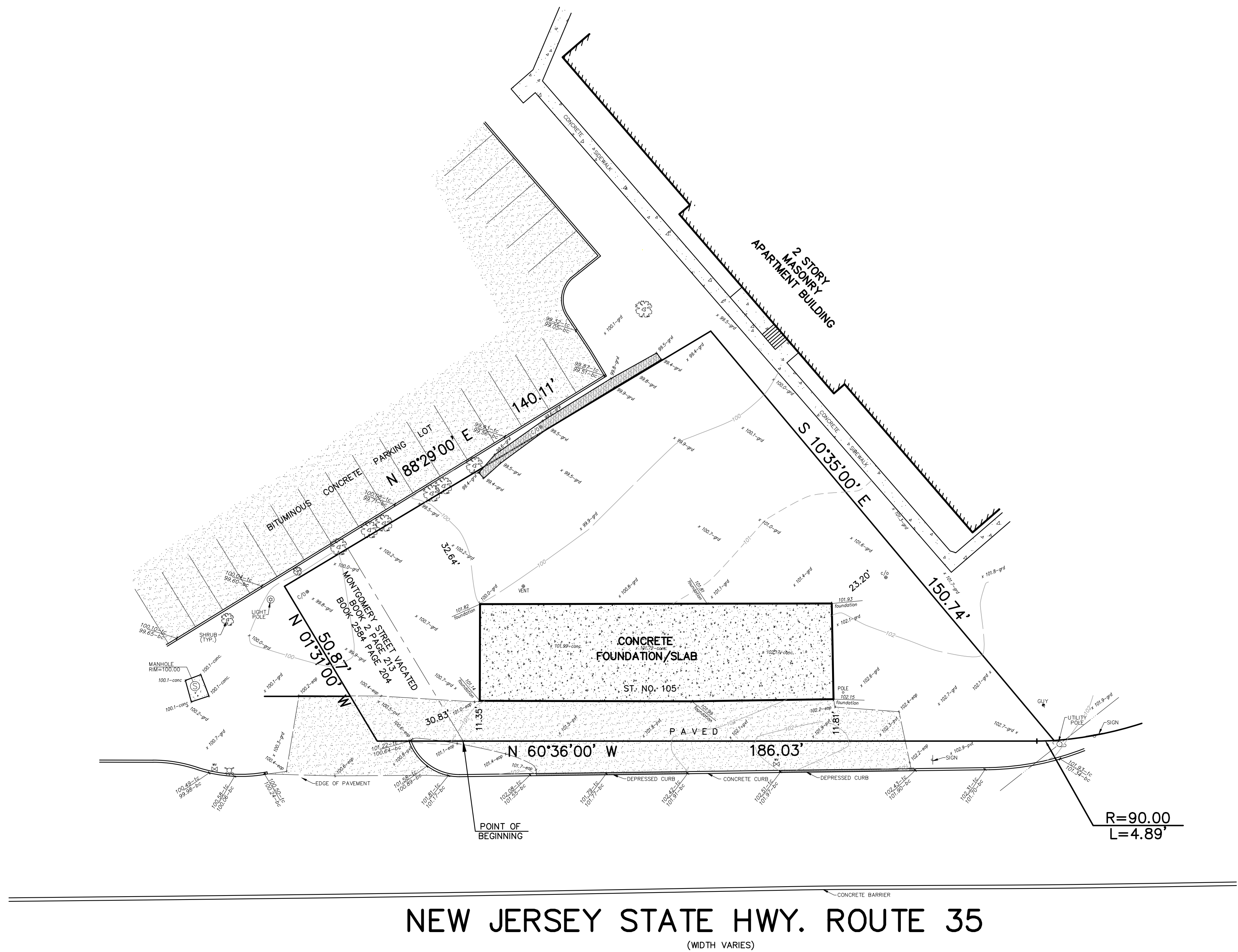
VEHICLE MANEUVERING PLAN
PRELIMINARY & FINAL SITE PLAN
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
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328 Park Avenue, Scotch Plains, N.J. 07076
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REVISIONS:

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N.J. LICENSE NO. 24GE05325200

Job No. 844934 | Date 9/12/2024 | Scale 1"=20' | Drawn SK | Map No. | Sheet 1 of 1



NOTES

1. THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEPTIONS:

	YES	NO
A. DEED OF RECORD	☒	☐
B. FILED MAP	☐	☒
C. FIELD SURVEY	☒	☐
D. TITLE SEARCH	☒	☐
E. TAX MAP	☒	☐
F. OTHER (SEE REFERENCES)	☒	☐

2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.

3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.

5. NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES OR WETLANDS. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS PLAN.

6. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS.

7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL BENCHMARK IS THE RIM OF A MANHOLE LOCATED ON A CONCRETE SLAB ON THE ADJOINING LOT (TAX LOT 27.01, BLOCK 110). RIM ELEVATION =100.00 (ASSUMED).

8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(045:6-36.3) AND N.J.A.C. 13:40-5.1(d).

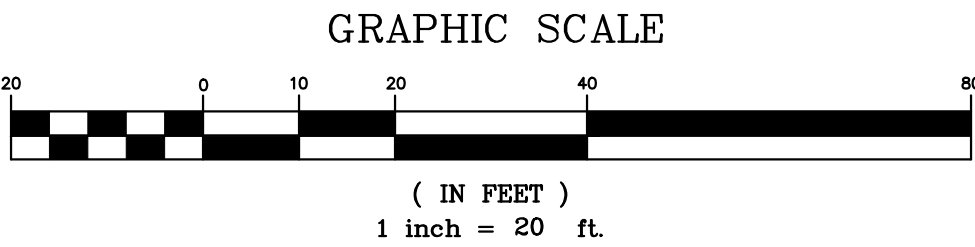
9. PARCEL CONTAINS 14,608 S.F. ±.

RECORD DEED DEED BOOK 9276, PAGE 5247 TAX MAP SHEET No. 2

REFERENCE N/A

FILED MAP DATA N/A

LEGEND			
-sw	- EXISTING SIDEWALK ELEVATION		- PROPOSED CONTOUR
-grd	- EXISTING GROUND ELEVATION		- PROPOSED SPOT ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION	-pav	- EXISTING PAVEMENT ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION	-gd	- EXISTING GRAVEL ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION	-bldg	- EXISTING BUILDING ELEVATION
-dc	- EXISTING DEPRESSED CURB	-fnc	- EXISTING FENCE ELEVATION
	- EXISTING SANITARY MANHOLE	-conc	- EXISTING CONCRETE ELEVATION
	- EXISTING FIRE HYDRANT	-TG	- EXISTING TOP OF GRATE ELEVATION
	- EXISTING STORM MANHOLE	-INV	- EXISTING INVERT
	- EXISTING GUY WIRE		- EXISTING SPOT ELEVATION
	- EXISTING UTILITY POLE	-ep	- EXISTING EDGE OF PAVEMENT ELEVATION
	- EXISTING WATER VALVE	-200	- EXISTING CONTOUR
	- EXISTING GAS VALVE	-tw	- EXISTING TOP OF WALL
	- EXISTING TREE AND SIZE	-bw	- EXISTING BOTTOM OF WALL
-ts	- EXISTING TOP OF SLOPE		
-bs	- EXISTING BOTTOM OF SLOPE		



BOUNDARY & TOPOGRAPHIC SURVEY
TAX LOT 24 BLOCK 110
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:
9/12/2024 - UPDATED TO SHOW EXISTING CONDITIONS

WAYNE K. APPELEGATE, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 35347

Job No. 847709

Date 2/27/2023

Scale 1" = 20'

Drawn WKA

Map No. FILE

Sheet 1 of 1