

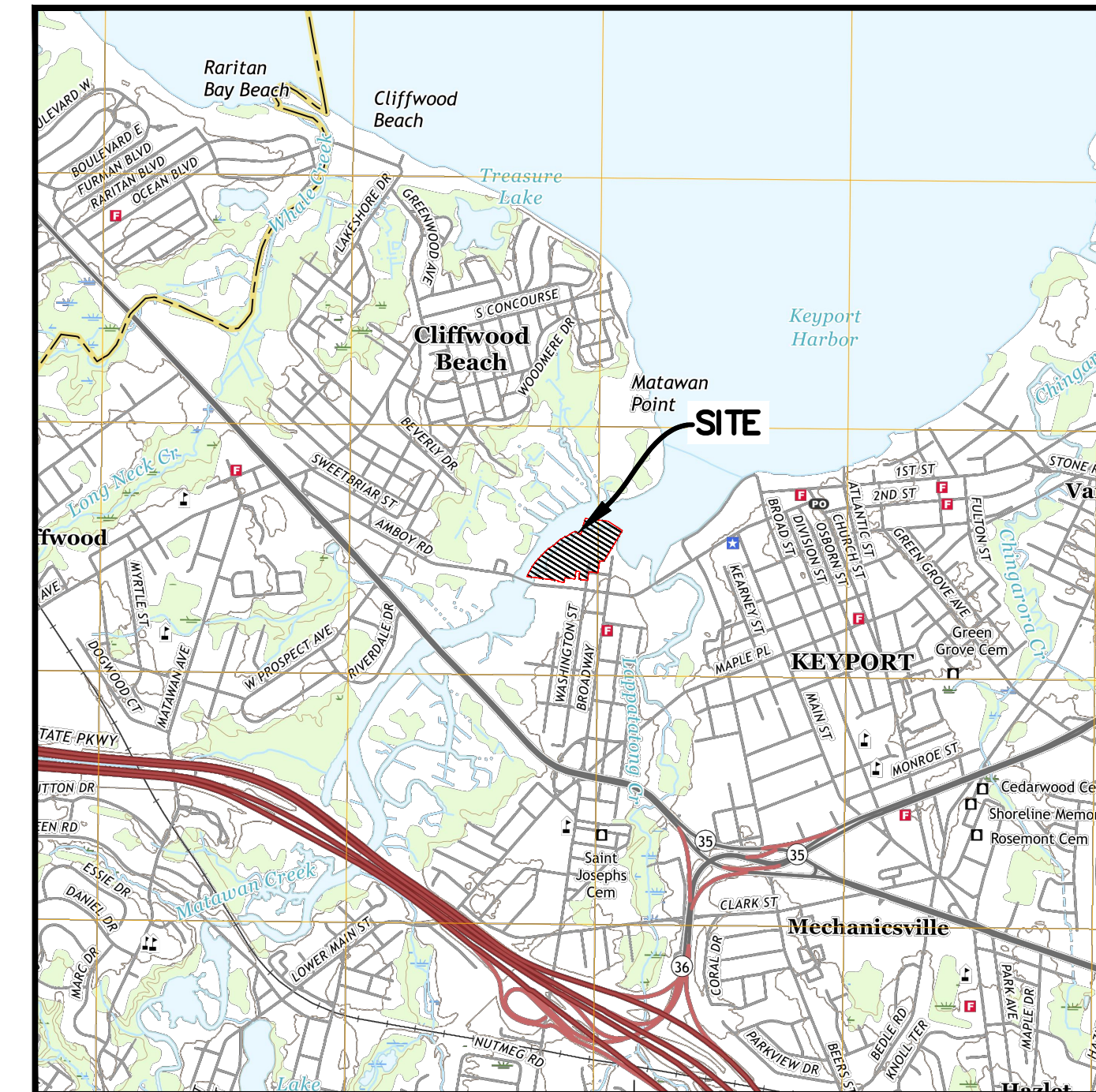
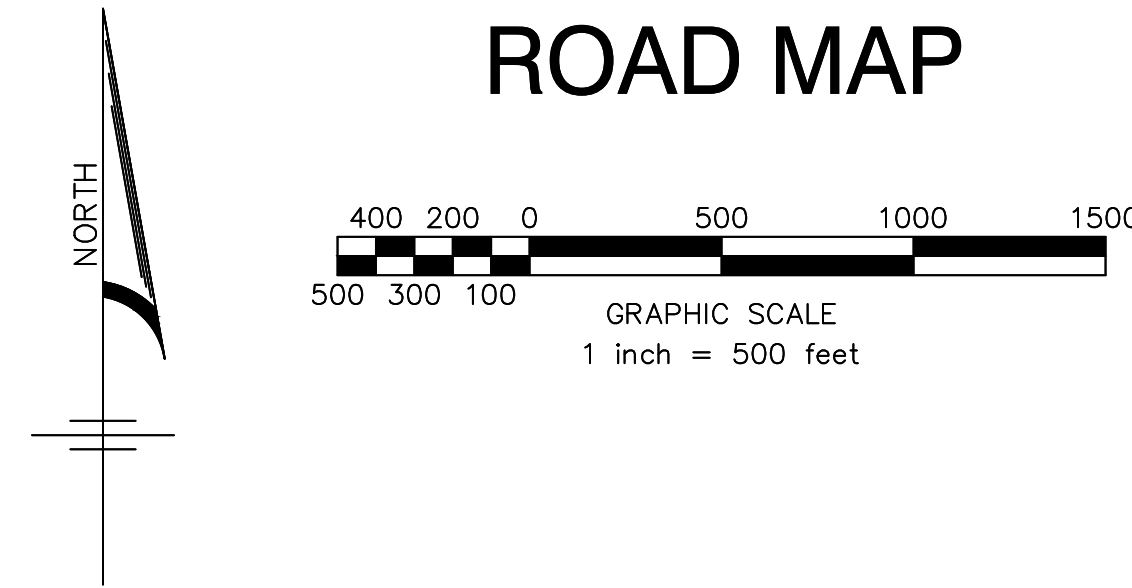
# PROPERTY OWNERS WITHIN 200'

| Block | Lot   | Owner  |
|-------|-------|--|
| 9     | 1     | Damiewicz, Ronald & Shirley<br>42 Washington St<br>Keyport, NJ 07735   |
| 9     | 2     | Damiewicz, Ronald & Shirley<br>44 Washington St<br>Keyport, NJ 07735   |
| 9     | 3     | Thompson, Kenneth & Renee<br>44 Washington St<br>Keyport, NJ 07735     |
| 9     | 4     | Termaie, Ian & Gina<br>48 Washington St<br>Keyport, NJ 07735           |
| 9     | 7     | Monmouth County<br>1 E Main St - Hall of REC<br>Freehold, NJ 07728     |
| 9     | 74    | Vest Corp<br>350 West Front St, PO Box 455<br>Keyport, NJ 07735        |
| 20    | 6     | 357 West Front Street, LLC<br>357 West Front St<br>Keyport, NJ 07735   |
| 20    | 7     | DeVerde, James P<br>30 Washington St<br>Keyport, NJ 07735              |
| 20    | 8     | Gelburd, Brian<br>16 Washington St<br>Keyport, NJ 07735                |
| 20    | 9     | 357 West Front Street, LLC<br>357 West Front St<br>Keyport, NJ 07735   |
| 20    | 10    | Yurker, Alan T<br>28 Washington St<br>Keyport, NJ 07735                |
| 20    | 11    | Hallowell, Jenny<br>32 Washington St<br>Keyport, NJ 07735              |
| 20    | 11.01 | 357 West Front Street, LLC<br>357 West Front St<br>Keyport, NJ 07735   |
| 20    | 12    | Cummons, Christopher & Margat<br>36 Washington St<br>Keyport, NJ 07735 |
| 20    | 12.01 | Demetris, Stanley & Patty<br>337 W Front St<br>Keyport, NJ 07735       |
| 20    | 13    | 357 West Front Street, LLC<br>357 West Front St<br>Keyport, NJ 07735   |
| 20    | 14    | Stanley & Canny Chan<br>29 Hohman Drive<br>Plainsboro, NJ 08536        |

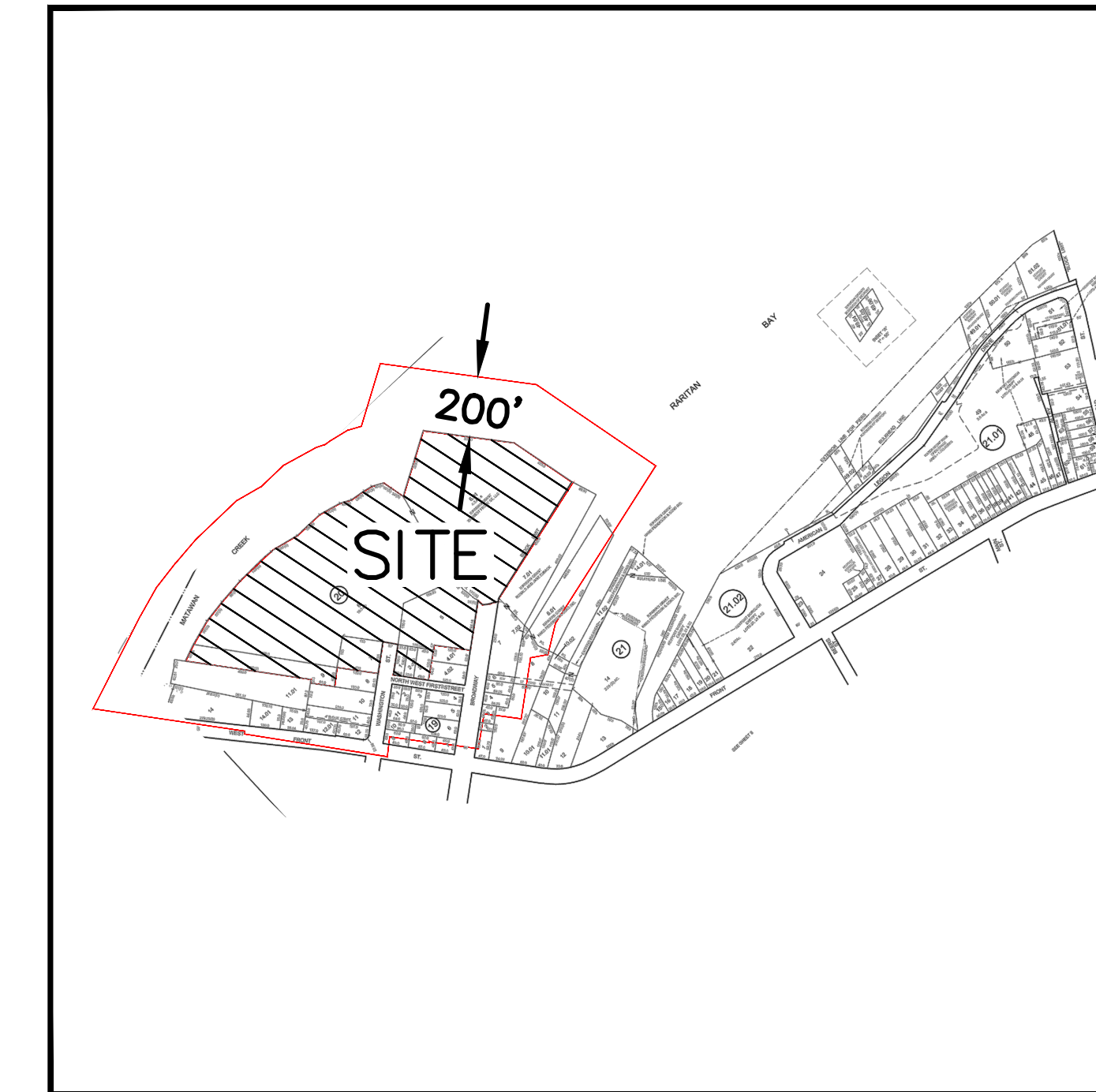
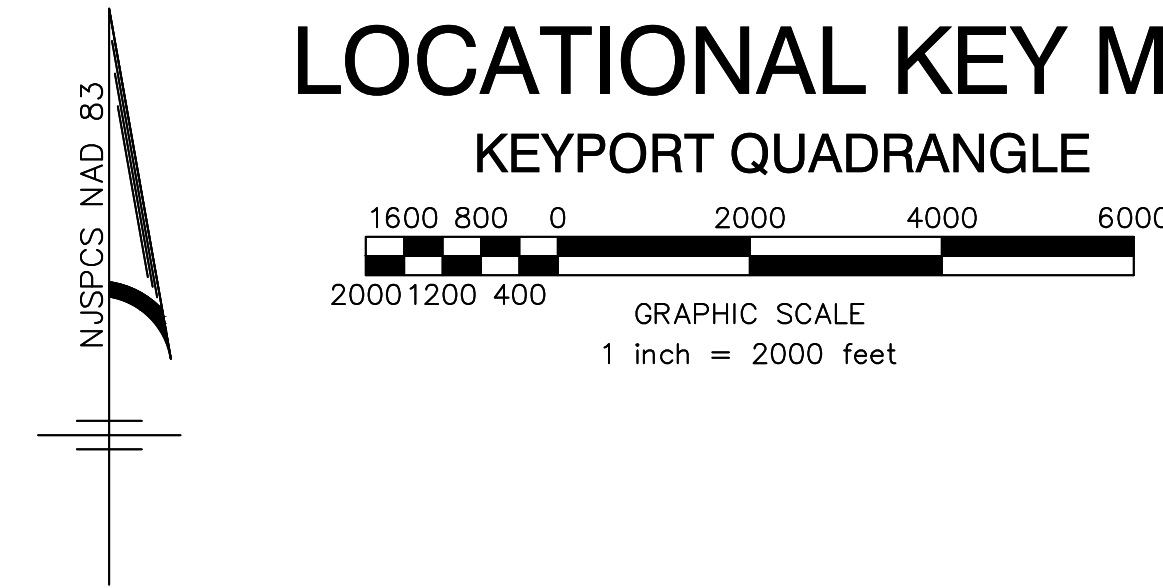
# PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION MARINER'S VILLAGE AT KEYPORT BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY



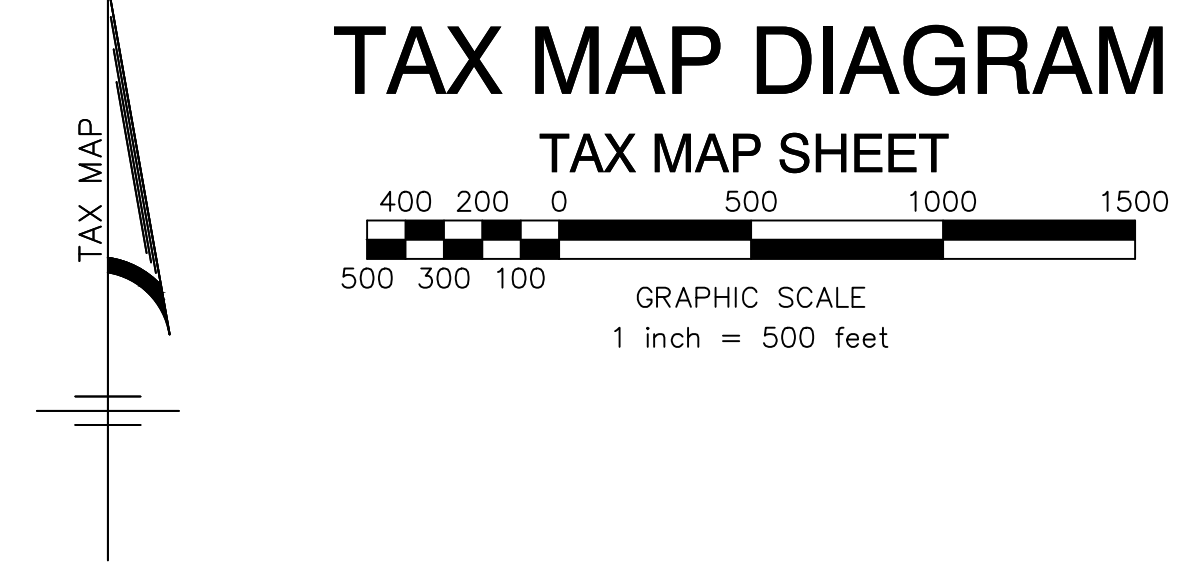
ROAD MAP



LOCATIONAL KEY MAP  
KEYPORT QUADRANGLE



TAX MAP DIAGRAM



# UTILITY CONTACTS

| Utilities Which Service Township of Aberdeen   | Utilities Which Service The Borough of Keyport   |
|--|--|
| Cablevision of Raritan Valley<br>275 Centennial Ave/ CN<br>6805<br>Piscataway, NJ 08855-6805 | Bell Atlantic/Verizon<br>3005 Ave of the Americas<br>Room 3137<br>New York, NY 10036                     |
| GPU Energy PO Box 16001<br>2800 Pottsville Pike<br>Reading, PA 19605-2459                    | JCP&L Real Estate Department<br>PO Box 227<br>Morristown, NJ 07962                                       |
| NJ Natural Gas Co<br>16 West Lincoln Ave<br>Atlantic Highlands, NJ 07716                     | New Jersey Natural Gas Company<br>3415 Wyckoff Road<br>West, NJ 07735                                    |
| Township of Aberdeen<br>1 Aberdeen Sq<br>Aberdeen, NJ 07747                                  | Cablevision<br>275 Centennial Ave/ CN<br>6805<br>Piscataway NJ 08855-6805                                |
| Verizon<br>5100 Admiral Blvd<br>Farmingdale, NJ 07727  | Borough of Keyport- Attn. Scott Hicks<br>Water/Sewer Department<br>70 West Front St<br>Keyport, NJ 07735 |
| NJ American Water- Developer's Service<br>1313 North Ave<br>Plainfield, NJ 07061             | Monmouth County Dept of Transportation<br>Route 79 & Daniels Way<br>Freehold, NJ 07728                   |
| Bayshore Regional<br>100 Oak St<br>Union Beach, NJ 07735                                     | Monmouth County Planning Board<br>Halls of Records Annex<br>1 East Main St<br>Freehold, NJ 07738         |
| Monmouth County Clerk<br>33 Mechanic St<br>Freehold, NJ 07727                                |  |
| Conrail Central RR C/O Tax Dept<br>2003 Market St<br>Philadelphia, PA 19101                  |  |
| NJ Transit<br>110 Penn Plaza E<br>Newark, NJ 07105   |  |

# General Notes

- Project site being known and designated as Block 20, Lots 1, 2, 3, 5, 6, 6.01 & 7 as shown on the current tax assessment map of Borough of Keyport, Monmouth County, New Jersey (Sheet 7), containing 8.53 acres.
- Boundary and topographic information shown based upon map entitled "Boundary & Topographic Survey, Block 20, Lots 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01, Brown's Point Marina, situated in Borough of Keyport, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners, LLC and revised through 7/11/17.
- The property is located in Flood Zones X (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and protected by levees from 1% annual chance flood), AE (EL 14), VE (EL 15), VE (EL 16), & VE (EL 17) according to FEMA's Preliminary Flood Insurance Rate Map number 34025C00376, dated January 31, 2014. The proposed improvements are contained within Zones X and AE.
- Wetlands and transition areas shown are based on an NIDEP LOI for File No. 1332-04-0001.2, dated February 13, 2008 and a Modification dated June 9, 2008.
- Site coordinates: 584,025' N, 572,627' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88  
Datum Conversion Factor: (NAVD 88 + 0.909 = NGVD 29).
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction. Location of existing utilities shown on these drawings are approximate and subject to exact location in the field during construction as required by engineer or as deemed necessary to accurately locate (horizontal and vertical) all impacted utilities which are in conflict with new construction. Contractor to determine the location and elevation of the conflicting utilities and submit the data to the engineer for review elevation prior to construction.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations.
- All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with the requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*, latest edition.

# Owners:

Block 20, Lot 1, 2 & 3  
Mariner's Village at Keyport, LLC  
2601 Biscayne Boulevard  
Miami, FL 33137

Block 20, Lot 5, 6, 6.01, 9, 11, 13, 14, 14.01  
357 West Front Street, LLC  
357 West Front Street  
Keyport, NJ 07735

# Applicant:

Mariner's Village at Keyport, LLC  
2601 Biscayne Boulevard  
Miami, FL 33137

# Site plan of \_\_\_\_\_

Block \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_  
Date \_\_\_\_\_ Scale \_\_\_\_\_  
Applicant \_\_\_\_\_  
Address \_\_\_\_\_  
I consent to the filing of this site plan with the Planning Board

(Owner) \_\_\_\_\_ (Date) \_\_\_\_\_

I hereby certify that I have prepared the site plan and that all dimensions and information thereon depicted is correct.

(Name) \_\_\_\_\_ (Title & License) \_\_\_\_\_

I have reviewed this site plan and certify that it meets all codes and ordinances under that jurisdiction

(Date) \_\_\_\_\_ (Municipal Engineer) \_\_\_\_\_

Approved by Planning Board:

Preliminary \_\_\_\_\_

Final \_\_\_\_\_

(Chairman) \_\_\_\_\_ (Date) \_\_\_\_\_



| PROJECT NAME:                                | ZONE:   |                         |          |
|--|---|-------------------------|----------|
| Mariners Village at Keyport                  | Brown's Point Marina Redevelopment Area   |                         |          |
| Existing & Proposed Permitted Uses           | Existing: Residential and Marina<br>Proposed: Multi-Family Residential and Marina |                         |          |
| Block 20, Lots 1, 2, 3, 5, 6, 6.01 & 7       |   |                         |          |
|  | Required  | Provided                | Complies |
| Minimum Lot Area                             | 1 Acre  | 9.04 Acres <sup>1</sup> | Yes      |
| Minimum Lot Frontage <sup>2</sup>            |   |                         |          |
| Broadway                                     | 150 FT (based on R.O.W. line)   | 165.19 Feet             | Yes      |
| North West First Street                      |   | 165.72 Feet             | Yes      |
| Minimum Front Yard Setback (Broadway)        | 15 Feet <sup>3</sup>  | 17.5 Feet               | Yes      |
| Minimum Front Yard Setback (NW First St)     | 40 Feet   | 40.5 Feet               | Yes      |
| Minimum Side Yard Setback (Lots 4.01 & 4.02) | 20 Feet   | 21.9 Feet               | Yes      |
| Minimum Side Yard Setback (elsewhere)        | 40 Feet   | 41.5 Feet               | Yes      |
| Minimum Rear Yard Setback                    |   |                         |          |
| Max. Impervious Coverage                     | 50%   | 23% <sup>4</sup>        | Yes      |
| Maximum Residential Building Height          | 60 Feet/ 4 Stories  | 4 Stories / = 60 Feet   | Yes      |
| Maximum Parking Structure Height             | 60 Feet / 5 Stories   | 5 Stories / = 60 Feet   | Yes      |
| Minimum Parking Ratio <sup>5</sup>           | 1.4 Spaces per Unit   | 1.45 Spaces per Unit    | Yes      |

- Proposed lot area includes the Washington Street vacation.
- Excludes driveway frontage along County Road.
- A facade facing a Borough Right-of-Way shall be considered a front yard.
- Impervious coverage is 32% relative to fast land area.
- Provided parking ratio excludes 9 surface spaces.

# Parking (required 9 Ft x 18 Ft spaces)

|   |
|---|
| Required (per Brown's Point Marina Redevelopment Plan): |
| 1.4 spaces / dwelling unit                              |
| = 120 units * 1.4 = 168 parking spaces                  |
| Proposed:   |
| Garage: 169 standard spaces + 6 HC spaces = 175 spaces  |
| Site: 8 standard spaces + 1 HC space = 9 spaces         |
| Total:  |
| 175 spaces + 9 spaces = 184 spaces                      |

# SHEET INDEX

| No. | Description                           | Revision Date |
|-----|---------------------------------------|---------------|
| 1.  | TITLE SHEET                           | 01/22/18      |
| 2.  | EXISTING CONDITIONS & DEMOLITION PLAN | 01/22/18      |
| 3.  | OVERALL LAYOUT PLAN                   | 01/22/18      |
| 4.  | LAYOUT PLAN                           | 01/22/18      |
| 5.  | LAYOUT PLAN                           | 01/22/18      |
| 6.  | GRADING & UTILITY PLAN                | 01/22/18      |
| 7.  | GRADING & UTILITY PLAN                | 01/22/18      |
| 8.  | PROFILES                              | 01/22/18      |
| 9.  | LANDSCAPE PLAN                        | 01/22/18      |
| 10. | LANDSCAPE & LIGHTING DETAIL           | 01/22/18      |
| 11. | SOIL EROSION & SEDIMENT CONTROL PLANS | 01/22/18      |
| 12. | SOIL EROSION & SEDIMENT CONTROL PLANS | 01/22/18      |
| 13. | SOIL EROSION & SEDIMENT CONTROL PLANS | 01/22/18      |
| 14. | CONSTRUCTION DETAILS                  | 01/22/18      |
| 15. | CONSTRUCTION DETAILS                  | 01/22/18      |
| 16. | CONSTRUCTION DETAILS                  | 01/22/18      |

| REVISIONS | DATE | BY | CHKD BY |
|-----------|------|----|---------|
|           |      |    |         |

|                            |                      |
|----------------------------|----------------------|
| CHECKED BY: MWV            | RELEASED BY: LLZ     |
| HORIZONTAL SCALE: AS SHOWN | VERTICAL SCALE: N/A  |
| DATE: 07/31/17             | PROJECT No.: MGP-131 |
| DRAWING NAME: 01-Title.dwg | DRAWN BY: JMK        |

LOUIS L. ZIEGNER IV, P.E.  
PROFESSIONAL ENGINEER  
No. 161,766 (06/24/2010)

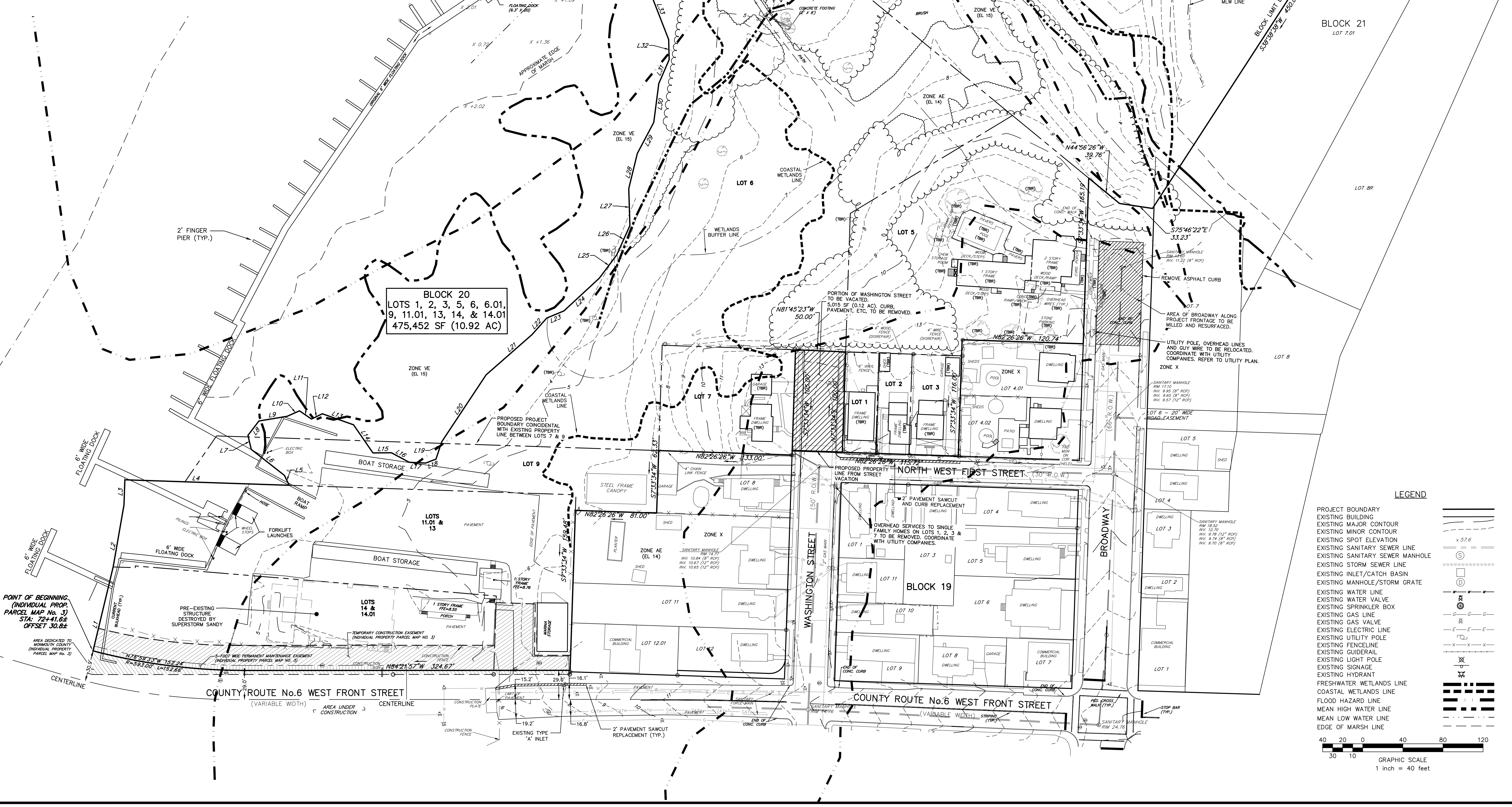
PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
TITLE SHEET  
SITUATED IN  
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic  
DESIGN ENGINEERING ARCHITECTURE PLANNING  
1000 ROUTE 100  
FREEHOLD, NJ 07728  
Tel: 732.329.8800  
Fax: 732.329.8801  
www.midatlantic.com

Certificate of Authorization No. 240208180000  
Louis L. Ziegner IV, P.E. PE No. 062020600  
Matthew J. Riviere, P.E. PE No. 062046000  
Matthew J. Riviere, P.E. PE No. 062046000

**Existing Conditions Notes**

- Project site being known and designated as Block 20, Lots 1, 2, 3, 5, 6, 6.01 & 7 as shown on the current tax assessment map of Borough of Keyport, Monmouth County, New Jersey (Sheet 7), containing 8.53 acres.
- Boundary and topographic information shown based upon map entitled "Boundary & Topographic Survey, Block 20, Lots 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01, Browns Point Marina, situated in Borough of Keyport, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners, LLC and revised through 7/11/17.
- Site coordinates: 584,025' N, 572,627' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88  
Datum Conversion Factor: (NAVD 88 + 0.909 = NGVD 29)
- The property is located in Flood Zones X (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and protected by levees from 1% annual chance flood), AE (EL 14), VE (EL 15), VE (EL 16), & VE (EL 17) according to FEMA's Preliminary Flood Insurance Rate Map number 34025C00376, dated January 31, 2014. The proposed improvements are contained within Zones X and AE.
- Wetlands and transition areas shown are based on an NIDEP LOI for File No. 1322-04-0001.2, dated February 13, 2008 and a Modification dated June 9, 2008.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All debris generated during construction such as trees, stumps, vegetation, dirt piles, construction debris, etc within the project's boundary shall be removed as part of this project and be disposed of off-site unless otherwise stated or approved.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction. Location of existing utilities shown on these drawings are approximate and subject to exact location in the field during construction as required by engineer or as deemed necessary to accurately locate (horizontal and vertically) all impacted utilities which are in conflict with new construction. Contractor to determine the location and elevation of the conflicting utilities and submit the data to the engineer for review elevation prior to construction.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations.



**BLOCK 20**  
**LOTS 1, 2, 3, 5, 6, 6.01,**  
**9, 11.01, 13, 14, & 14.01**  
**475,452 SF (10.92 AC)**

**LEGEND**

- PROJECT BOUNDARY
- EXISTING BUILDING
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER LINE
- EXISTING INLET/CATCH BASIN
- EXISTING MANHOLE/STORM GRATE
- EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING SPRINKLER BOX
- EXISTING GAS LINE
- EXISTING GAS VALVE
- EXISTING ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING FENCELINE
- EXISTING GUINERAIL
- EXISTING LIGHT POLE
- EXISTING SIGNAGE
- EXISTING HYDRANT
- FRESHWATER WETLANDS LINE
- COASTAL WETLANDS LINE
- FLOOD HAZARD LINE
- MEAN HIGH WATER LINE
- MEAN LOW WATER LINE
- EDGE OF MARSH LINE

GRAPHIC SCALE  
 1 inch = 40 feet

**PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION**  
**MARINER'S VILLAGE AT KEYPORT**  
**BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01**  
**EXISTING CONDITIONS; DEMOLITION & LOT CONSOLIDATION PLAN**  
 SITUATED IN  
 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Released By: LLZ  
 Checked By: MWV  
 Drawn By: REC  
 Date: 07/31/17  
 Project No.: MGP-131  
 Drawing Name: 02-Ex\_Cond & Demo.dwg

Professional Engineer  
**Louis L. Zuegner IV, P.E.**  
 No. 12-18

Sheet Number  
**2** OF **16**

Layout Notes

- 1. Boundary and topographic information shown based upon a map entitled "Boundary & Topographic Survey, Block 20; Lots 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01, Brown's Point Marina, situated in Borough of Keyport, Monmouth County, New Jersey", prepared by MidAtlantic Engineering Partners, LLC and revised through 7/11/17.
2. Reference shall be made to the plans entitled, "Brown's Point Marina, Block 20, Lots 5, 6, 6.01, 9, 11.01, 13, 14, 14.01, Phase I and Phase II, NJDEP ACO Restoration Plan, prepared by MidAtlantic Engineering Partners, LLC and revised through June 13, 2017.
3. The property is located in Flood Zones X (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and protected by levees from 1% annual chance flood), AE (EL 14), VE (EL 15), VE (EL 16), & VE (EL 17) according to FEMA's Preliminary Flood Insurance Rate Map number 34025C0037G, dated January 31, 2014.
4. Wetlands and transition areas shown are based on an NJDEP LOI for File No. 1322-04-0001.2, dated February 13, 2008 and a Modification dated June 9, 2008.
5. Site coordinates: 584,025' N, 572,627' E.
6. Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
7. Gray / shaded improvements (curb, sidewalk, etc.) within R.O.W. as proposed on plans titled "Replacement of Monmouth County Bridge MA-14, C.R. 6 (Amboy Avenue/Front Street) at Matwan Creek".
8. All curb and sidewalks shall conform to state and federal barrier free design standards.
9. All sidewalk ramps marked HCR for have detectable warning surface installed in accordance with ADA regulations.
10. All proposed curbing to be concrete curb, unless otherwise noted.
11. Existing concrete curbing and/or walks that will be removed shall be removed from an existing expansion joint or saw cut for removal at an existing construction joint.
12. Where concrete curbing will be constructed within, or adjacent to, existing bituminous pavement, it shall be saw cut and removed, clear through to the subgrade, a minimum distance of 24 inches from, and parallel to, the proposed curb face.
13. Sidewalk/walkway risers must be greater than 4" and less than 7".
14. All contractors must call the New Jersey One Call System (1-800-272-1000) in accordance with the Underground Facilities Control Act prior to any subsurface activity.
15. This project has been designed in accordance with New Jersey Administrative Code, Title 5, Chapter 23, "Residential Site Improvement Standards" to the maximum extent feasible.
16. See architect's plans for building elevations, building signage, garage layout and floor plans.
17. All solid waste shall be stored internally and/or within designated areas for disposal.
18. All construction to be in accordance with NJDOT Standard Specifications for Road and Bridge Construction, latest edition.
19. The contractor shall:
a. Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
b. Be responsible to maintain the site in a clean and organized manner.
c. Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
d. Repair any damage to public streets, curbs, sidewalks and utilities as a result of construction activities.
e. Coordinate the construction schedule with the owner prior to start of work.
f. Obtain any required road opening permits and perform work in accordance with AHJ requirements.
g. Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
h. Be responsible for site safety & security and the means & methods of construction for project duration.
i. Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
j. Notify the owner and engineer of any required field change immediately.
k. Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
l. Only import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E.
20. Along the limits of project frontage along Broadway, North West First Street and Washington Street, any curb, sidewalk and pavement that is damaged during construction shall be replaced. Damaged pavement shall be milled and resurfaced for its full width.

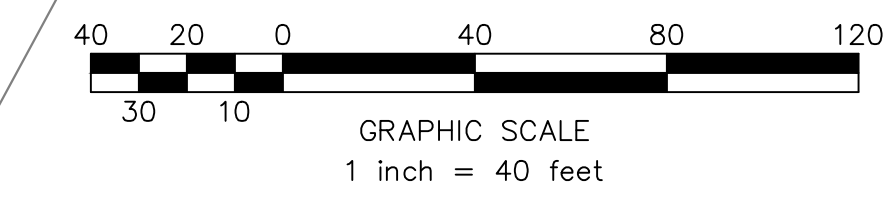
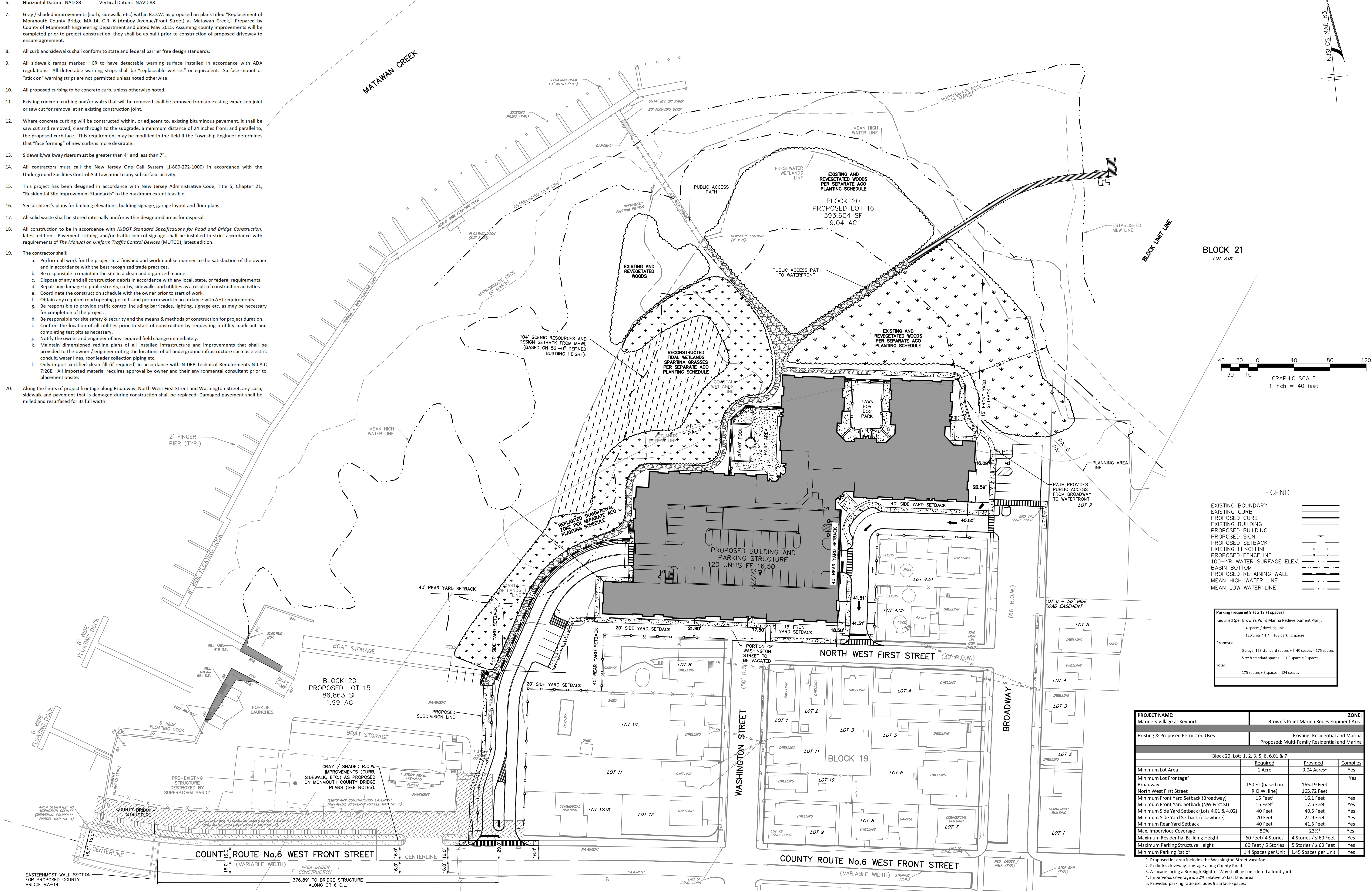
Table with 2 columns: N.J.A.C. Section and PA-1 CAFRA Compliance Chart. Rows include Total Parcel Area (2.65 Ac), Wetlands Areas (0.81 Ac, 0.31 Ac), Open Water (0.46 Ac), Net Land Area (Total Parcel Area - Wetlands, Buffers & Open Water) (1.86 Ac), Total Allowable Impervious Coverage (80% of Net Land Area) (1.49 Ac), Total Proposed Impervious Coverage (1.75 Ac), Total Forested Area (0.45 Ac), Net Forested Area (Upland Only) (0.45 Ac), Required Tree Preservation Area (10% of Net Forested Area) (0.04 Ac), Proposed Tree Preservation Area (0.04 Ac), Required Tree Preservation / Planting Area (0% of Unforested Area) (0.00 Ac), Proposed Tree Preservation / Planting Area (inside buffer) (0.01 Ac), Proposed Tree Preservation / Planting Area (outside buffer) (0.06 Ac), Required Herb / Shrub Vegetation Preservation / Planting Area (0.43 Ac), Proposed Herb / Shrub Veg Preservation / Planting Area (inside buffer) (0.13 Ac), Proposed Herb / Shrub Veg Preservation / Planting Area (outside buffer) (0.31 Ac), Total Required Preservation/Planting Area (0.47 Ac), Total Proposed Preservation/Planting Area (0.51 Ac).

Figure 2 - CAFRA Compliance Chart for Coastal Metropolitan Planning Area

Table with 2 columns: N.J.A.C. Section and PA-3 CAFRA Compliance Chart. Rows include Total Parcel Area (5.99 Ac), Wetlands Areas (0.81 Ac, 2.05 Ac), Open Water (0.22 Ac), Net Land Area (Total Parcel Area - Wetlands, Buffers & Open Water) (3.11 Ac), Total Allowable Impervious Coverage (3% of Net Land Area) (0.09 Ac), Total Proposed Impervious Coverage (0.04 Ac), Total Forested Area (2.12 Ac), Net Forested Area (Upland Only) (0.14 Ac), Required Tree Preservation Area (70% of Net Forested Area) (1.48 Ac), Proposed Tree Preservation Area (0.10 Ac), Required Tree Preservation / Planting Area (0% of Unforested Area) (0.01 Ac), Proposed Tree Preservation / Planting Area (inside buffer) (0.16 Ac), Proposed Tree Preservation / Planting Area (outside buffer) (0.01 Ac), Required Herb / Shrub Vegetation Preservation / Planting Area (0.10 Ac), Proposed Herb / Shrub Veg Preservation / Planting Area (inside buffer) (0.67 Ac), Proposed Herb / Shrub Veg Preservation / Planting Area (outside buffer) (0.02 Ac), Total Required Preservation/Planting Area (0.21 Ac), Total Proposed Preservation/Planting Area (0.85 Ac).

Figure 3 - CAFRA Compliance Chart for Environmentally Sensitive Planning Area

Tide Range Diagram showing M.H.W. ELEV. 2.48 (NAVD 1988), M.H.W. ELEV. 2.13 (NAVD 1988), M.T.L. ELEV. -0.38 (NAVD 1988), M.L.W. ELEV. -2.89 (NAVD 1988), M.L.L.W. ELEV. -3.14 (NAVD 1988). Includes text: BENCHMARK DATUM MONUMENT 17-1 (1934) KEYPORT, NJ CONVERSION FACTOR FROM NAVD88 TO NGVD29 IS +1.01. TIDE RANGE DIAGRAM NOT TO SCALE.



LEGEND table with symbols for: EXISTING BOUNDARY, EXISTING CURB, PROPOSED CURB, EXISTING BUILDING, PROPOSED BUILDING, PROPOSED SIGN, PROPOSED SETBACK, EXISTING FENCELINE, PROPOSED FENCELINE, 100-YR WATER SURFACE ELEV., BASIN BOTTOM, PROPOSED RETAINING WALL, MEAN HIGH WATER LINE, MEAN LOW WATER LINE.

Parking (Required 9 Ft x 18 Ft Spaces) table. Required: 1.4 spaces / dwelling unit = 120 units \* 1.4 = 168 parking spaces. Proposed: Garage: 169 standard spaces + 6 HC spaces = 175 spaces. Site: 8 standard spaces + 1 HC space = 9 spaces. Total: 175 spaces + 9 spaces = 184 spaces.

PROJECT NAME: Mariners Village at Keyport. ZONE: Brown's Point Marina Redevelopment Area. Table with columns: Existing & Proposed Permitted Uses, Existing Residential and Marina, Proposed Multi-Family Residential and Marina. Rows include Minimum Lot Area, Minimum Lot Frontage, Broadway, North West First Street, Minimum Front Yard Setback, Minimum Side Yard Setback, Minimum Rear Yard Setback, Max. Impervious Coverage, Maximum Residential Building Height, Maximum Parking Structure Height, Minimum Parking Ratio.

- 1. Proposed lot area includes the Washington Street vacatur.
2. Excludes driveway frontage along County Road.
3. A facade facing a Borough Right-of-Way shall be considered a front yard.
4. Impervious coverage is 32% relative to fast land area.
5. Provided parking ratio excludes 9 surface spaces.

Right margin containing revision table, release information (RELEASED BY: LLZ, CHECKED BY: MWV, DATE: 07/31/17), project info (PROJECT No.: MGP-131, DRAWING NAME: 03-LayOut.dwg), and professional seal/signature of Louis J. Ziegner IV, P.E., dated 12-18.

File Name: G:\Miller Group\0305\MGP-131 Mariners Village\DWG\03-LayOut.dwg
Plot Time: Jan 23, 2018 11:33:20am

- Layout Notes**
- Boundary and topographic information shown based upon a map entitled "Boundary & Topographic Survey, Block 20 Lots 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01, Brown's Point Marina, situated in Borough of Keyport, Monmouth County, New Jersey," prepared by MidAtlantic Engineering Partners, LLC and revised through 7/11/17.
  - Reference shall be made to the plans entitled, "Brown's Point Marina, Block 20, Lots 5, 6, 6.01, 9, 11.01, 13, 14, 14.01, Phase I and Phase II, NIDEP ACO Restoration Plan, prepared by MidAtlantic Engineering Partners, LLC and revised through June 13, 2017. The areas shown thereon will be restored / planted prior to construction of this project. Therefore, disturbance for project construction shall not, under any circumstances, exceed the limits shown hereon without prior consent by engineer.
  - The property is located in Flood Zones X (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and protected by levees from 1% annual chance flood), AE (EL 14), VE (EL 15), VE (EL 16), & VE (EL 17) according to FEMA's Preliminary Flood Insurance Rate Map number 34025C00376, dated January 31, 2014. The proposed improvements are contained within Zones X and AE.
  - Wetlands and transition areas shown are based on an NIDEP LOI for File No. 1322-04-0001.2, dated February 13, 2008 and a Modification dated June 9, 2008.
  - Site coordinates: 584,025' N, 572,627' E.  
Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
  - Gray / shaded improvements (curb, sidewalk, etc.) within R.O.W. as proposed on plans titled "Replacement of Monmouth County Bridge MA-14, C.R. 6 (Amby Avenue/Front Street) at Matawan Creek," Prepared by County of Monmouth Engineering Department and dated May 2015. Assuming county improvements will be completed prior to project construction, they shall be as-built prior to construction of proposed driveway to ensure agreement.
  - All curb and sidewalks shall conform to state and federal barrier free design standards.
  - All sidewalk ramps marked HCR to have detectable warning surface installed in accordance with ADA regulations. All detectable warning strips shall be "replaceable wet-set" or equivalent. Surface mount or "stick on" warning strips are not permitted unless noted otherwise.
  - All proposed curbing to be concrete curb, unless otherwise noted.
  - Existing concrete curbing and/or walks that will be removed shall be removed from an existing expansion joint or saw cut for removal at an existing construction joint.
  - Where concrete curbing will be constructed within, or adjacent to, existing bituminous pavement, it shall be saw cut and removed, clear through to the subgrade, a minimum distance of 24 inches from, and parallel to, the proposed curb face. This requirement may be modified in the field if the Township Engineer determines that "face forming" of new curbs is more desirable.
  - Sidewalk/walkway risers must be greater than 4" and less than 7".
  - All contractors must call the New Jersey One Call System (1-800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
  - This project has been designed in accordance with New Jersey Administrative Code, Title 5, Chapter 21, "Residential Site Improvement Standards" to the maximum extent feasible.
  - See architect's plans for building elevations, building signage, garage layout and floor plans.
  - All solid waste shall be stored internally and/or within designated areas for disposal.
  - All construction to be in accordance with NIDOT Standard Specifications for Road and Bridge Construction, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of The Manual on Uniform Traffic Control Devices (MUTCD), latest edition.
  - The contractor shall:
    - Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
    - Be responsible to maintain the site in a clean and organized manner.
    - Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
    - Repair any damage to public streets, curbs, sidewalks and utilities as a result of construction activities.
    - Coordinate the construction schedule with the owner prior to start of work.
    - Obtain any required road opening permits and perform work in accordance with AHTJ requirements.
    - Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
    - Be responsible for site safety & security and the means & methods of construction for project duration.
    - Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
    - Notify the owner and engineer of any required field change immediately.
    - Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
    - Only import certified clean fill (if required) in accordance with NIDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.
  - Along the limits of project frontage along Broadway, North West First Street and Washington Street, any curb, sidewalk and pavement that is damaged during construction shall be replaced. Damaged pavement shall be milled and resurfaced for its full width.

| PROJECT NAME:                                |                               | Brown's Point Marina Redevelopment Area   |          | ZONE: |
|--|-------------------------------|---|----------|-------|
| Existing & Proposed Permitted Uses           |                               | Existing: Residential and Marina<br>Proposed: Multi-Family Residential and Marina |          |       |
| Block 20, Lots 1, 2, 3, 5, 6, 6.01 & 7       |                               |   |          |       |
| Minimum Lot Area                             | Required<br>1 Acre            | Provided<br>9.04 Acres <sup>1</sup>   | Complies | Yes   |
| Minimum Lot Frontage <sup>2</sup>            | 150 FT (based on R.O.W. line) | 165.19 Feet<br>165.72 Feet  | Yes      | Yes   |
| Minimum Front Yard Setback (Broadway)        | 15 Feet <sup>3</sup>          | 17.5 Feet   | Yes      | Yes   |
| Minimum Front Yard Setback (NW First St)     | 15 Feet                       | 17.5 Feet   | Yes      | Yes   |
| Minimum Side Yard Setback (Lots 4.01 & 4.02) | 40 Feet                       | 40.5 Feet   | Yes      | Yes   |
| Minimum Side Yard Setback (elsewhere)        | 20 Feet                       | 21.9 Feet   | Yes      | Yes   |
| Minimum Rear Yard Setback                    | 40 Feet                       | 41.5 Feet   | Yes      | Yes   |
| Max. Impervious Coverage                     | 50%                           | 23%   | Yes      | Yes   |
| Maximum Residential Building Height          | 60 Feet / 4 Stories           | 4 Stories / 5 60 Feet   | Yes      | Yes   |
| Maximum Parking Structure Height             | 60 Feet / 5 Stories           | 5 Stories / 5 60 Feet   | Yes      | Yes   |
| Minimum Parking Ratio <sup>4</sup>           | 1.4 Spaces per Unit           | 1.45 Spaces per Unit  | Yes      | Yes   |

- Proposed lot area includes the Washington Street vacation.
- Excludes driveway frontage along County Road.
- A facade facing a Broadway Street frontage shall be considered a front yard.
- Impervious coverage is 52% relative to fast land area.
- Proposed parking ratio excludes 9 surface spaces.

**Parking (required 9 Ft x 18 Ft spaces)**

Required (per Brown's Point Marina Redevelopment Plan):  
1.4 spaces / dwelling unit  
= 120 units \* 1.4 = 168 parking spaces

Proposed:  
Garage: 169 standard spaces + 6 HC spaces = 175 spaces  
Site: 8 standard spaces + 1 HC space = 9 spaces

Total:  
175 spaces + 9 spaces = 184 spaces

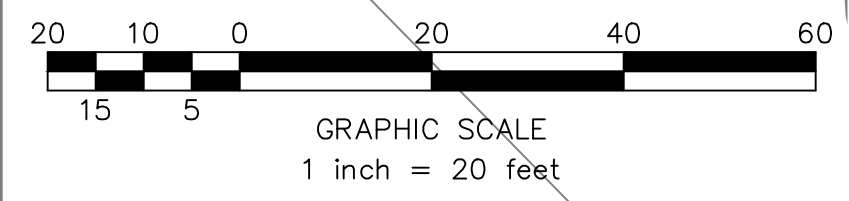
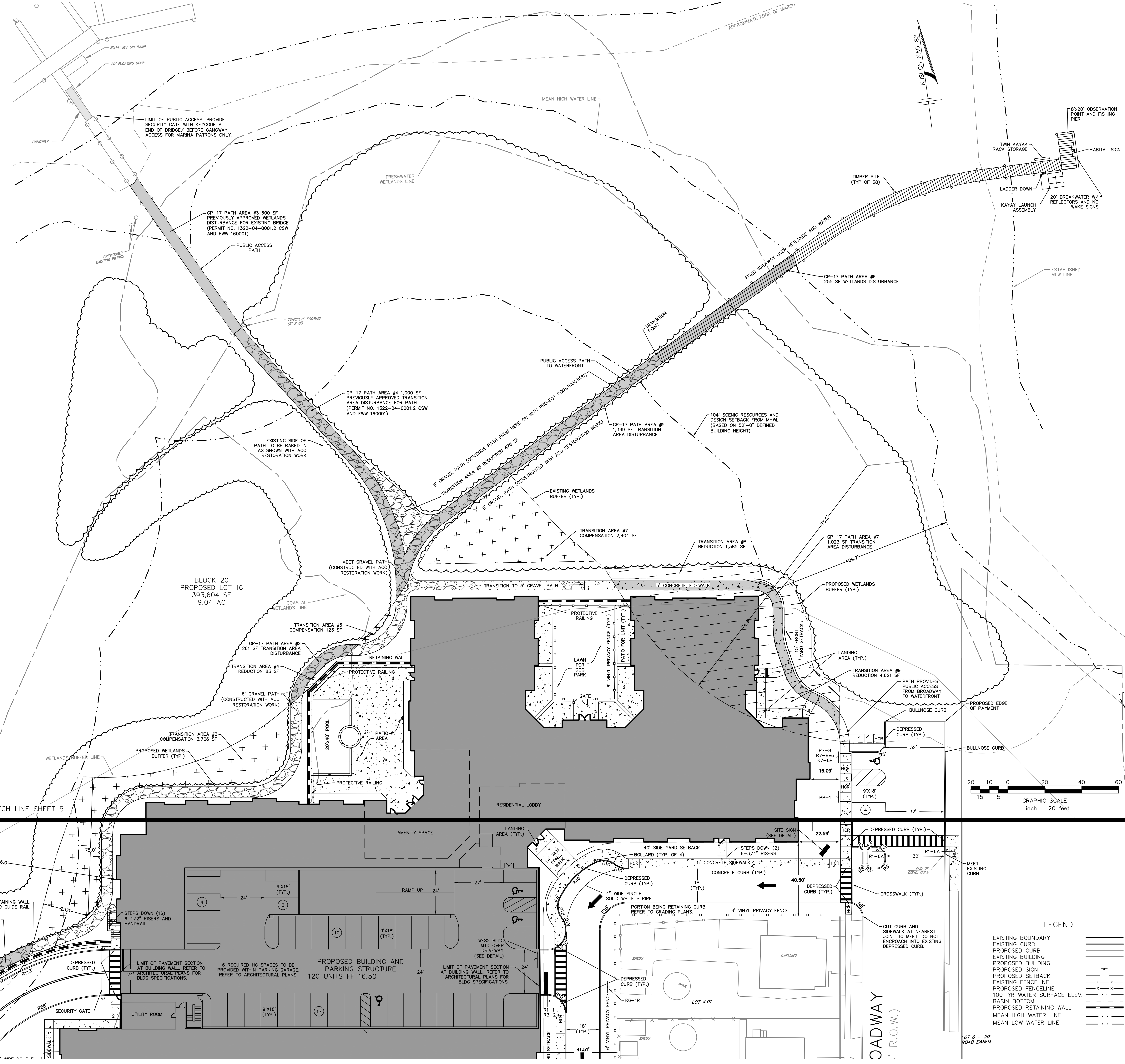
**Wetlands Transition Areas**

| Area         | Reduction       | Compensation    |
|--------------|-----------------|-----------------|
| Area 1       | 307 SF          | 676 SF          |
| Area 2       | 307 SF          | 3,706 SF        |
| Area 3       | 83 SF           | 123 SF          |
| Area 4       | 83 SF           | 123 SF          |
| Area 5       | 475 SF          | 2,404 SF        |
| Area 6       | 475 SF          | 2,404 SF        |
| Area 7       | 1,385 SF        | 6,909 SF        |
| Area 8       | 4,621 SF        | 6,909 SF        |
| Area 9       | 6,871 SF        | 6,909 SF        |
| <b>Total</b> | <b>6,871 SF</b> | <b>6,909 SF</b> |

Net Addition = + 38 SF  
Existing Orsite Transition Area = 103,015 SF

**GP-17 Path Areas**

| Area         | Quantity        | Type            | Application         |
|--------------|-----------------|-----------------|---------------------|
| Area 1       | 343 SF          | Transition Area | Current             |
| Area 2       | 261 SF          | Transition Area | Current             |
| Area 3       | 600 SF          | Wetlands        | Previously approved |
| Area 4       | 1,000 SF        | Transition Area | Previously approved |
| Area 5       | 1,399 SF        | Transition Area | Current             |
| Area 6       | 255 SF          | Wetlands        | Current             |
| Area 7       | 1,023 SF        | Transition Area | Current             |
| <b>Total</b> | <b>4,881 SF</b> |                 |                     |



**LEGEND**

- EXISTING BOUNDARY
- EXISTING CURB
- PROPOSED CURB
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED SIGN
- PROPOSED SETBACK
- EXISTING FENCELINE
- PROPOSED FENCELINE
- 100-YR WATER SURFACE ELEV.
- BASEIN BOTTOM
- PROPOSED RETAINING WALL
- MEAN HIGH WATER LINE
- MEAN LOW WATER LINE

| DATE | REVISIONS |
|------|-----------|
|      |           |
|      |           |
|      |           |

RELEASED BY: LLZ  
CHECKED BY: MWW  
DRAWN BY: REC  
DATE: 07/23/17  
PROJECT NO.: MGP-131  
DRAWING NAME: 03-LayOut.dwg

PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20, LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
LAYOUT PLAN  
SITUATED IN  
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Louis Ziegler IV, P.E.  
Professional Engineer  
No. 001000000  
Date: 7.22.18

|   |                               |   |                 |
|---|-------------------------------|---|-----------------|
| <b>PROJECT NAME:</b><br>Mariners Village at Keyport |                               | <b>ZONE:</b><br>Brown's Point Marina Redevelopment Area                           |                 |
| <b>Existing &amp; Proposed Permitted Uses</b>       |                               | Existing: Residential and Marina<br>Proposed: Multi-Family Residential and Marina |                 |
| <b>Block 20, Lots 1, 2, 3, 5, 6, 6.01 &amp; 7</b>   |                               |   |                 |
| Minimum Lot Area                                    | Required<br>1 Acre            | Provided<br>9.04 Acres  | Complies<br>Yes |
| Minimum Lot Frontage                                | 150 FT (based on R.O.W. line) | 165.19 Feet   | Yes             |
| North West First Street                             |                               | 165.72 Feet   | Yes             |
| Minimum Front Yard Setback (Broadway)               | 15 Feet                       | 16.1 Feet   | Yes             |
| Minimum Front Yard Setback (NW First St)            | 15 Feet                       | 17.5 Feet   | Yes             |
| Minimum Side Yard Setback (Lots 4.01 & 4.02)        | 40 Feet                       | 40.5 Feet   | Yes             |
| Minimum Side Yard Setback (elsewhere)               | 20 Feet                       | 21.9 Feet   | Yes             |
| Minimum Rear Yard Setback                           | 40 Feet                       | 41.5 Feet   | Yes             |
| Max. Impervious Coverage                            | 50%                           | 23%*  | Yes             |
| Maximum Residential Building Height                 | 60 Feet / 4 Stories           | 4 Stories / s 60 Feet   | Yes             |
| Maximum Parking Structure Height                    | 60 Feet / 5 Stories           | 5 Stories / s 60 Feet   | Yes             |
| Minimum Parking Ratio                               | 1.4 Spaces per Unit           | 1.45 Spaces per Unit  | Yes             |

| Wetlands Transition Areas     | Reduction       | Compensation    |
|-------------------------------|-----------------|-----------------|
| Area 1                        | 307 SF          | 676 SF          |
| Area 2                        | 83 SF           | 3,706 SF        |
| Area 3                        | 475 SF          | 123 SF          |
| Area 4                        | 1,385 SF        | 2,404 SF        |
| Area 5                        | 4,621 SF        | 6,909 SF        |
| <b>Total</b>                  | <b>6,871 SF</b> | <b>6,909 SF</b> |
| <b>Net Addition = + 38 SF</b> |                 |                 |

| GP-17 Path Area | Quantity        | Type            | Application         |
|-----------------|-----------------|-----------------|---------------------|
| Area 1          | 343 SF          | Transition Area | Current             |
| Area 2          | 261 SF          | Transition Area | Current             |
| Area 3          | 600 SF          | Wetlands        | Previously approved |
| Area 4          | 3,000 SF        | Transition Area | Previously approved |
| Area 5          | 1,899 SF        | Transition Area | Current             |
| Area 6          | 250 SF          | Wetlands        | Current             |
| Area 7          | 1,023 SF        | Transition Area | Current             |
| <b>Total</b>    | <b>6,316 SF</b> |                 |                     |

**Parking (Required 9 ft x 18 ft spaces)**  
 Required (per Brown's Point Marina Redevelopment Plan):  
 1.4 spaces / dwelling unit  
 = 120 units \* 1.4 = 168 parking spaces  
**Proposed:**  
 Garage: 169 standard spaces + 6 HC spaces + 175 spaces  
 Site: 8 standard spaces + 1 HC space + 9 spaces  
**Total:**  
 175 spaces + 9 spaces = 184 spaces

**LEGEND**  
 EXISTING BOUNDARY  
 EXISTING CURB  
 PROPOSED CURB  
 EXISTING BUILDING  
 PROPOSED BUILDING  
 PROPOSED SIGN  
 PROPOSED SETBACK  
 EXISTING FENCELINE  
 PROPOSED FENCELINE  
 100-YR WATER SURFACE ELEV.  
 BASIN BOTTOM  
 PROPOSED RETAINING WALL

104' SCENIC RESOURCES AND DESIGN SETBACK FROM MHW (BASED ON 52'-0" DEFINED BUILDING HEIGHT).  
 40' REAR YARD SETBACK  
 20' SIDE YARD SETBACK  
 15' FRONT YARD SETBACK  
 40' REAR YARD SETBACK  
 20' SIDE YARD SETBACK  
 15' FRONT YARD SETBACK  
 40' REAR YARD SETBACK  
 20' SIDE YARD SETBACK  
 15' FRONT YARD SETBACK

EMPLOYEE PARKING SPACES FOR MARINA, EXCLUDED FROM PROJECT PARKING COUNTS.  
 TERMINATE FENCE BEGIN RETAINING WALL AND GUIDE RAIL.  
 PROPOSED SUBDIVISION LINE  
 COUNTY STANDARD STOP BAR  
 CUT CURB AT JOINT / RADIUS TO MEET.  
 COUNTY STANDARD CROSSWALK  
 CUT CURB AT NEAREST JOINT TO MEET.

376.89' TO BRIDGE STRUCTURE ALONG CR 6 C.L.  
 CENTERLINE  
 COUNTY STANDARD STOP BAR  
 CUT CURB AT NEAREST JOINT TO MEET.

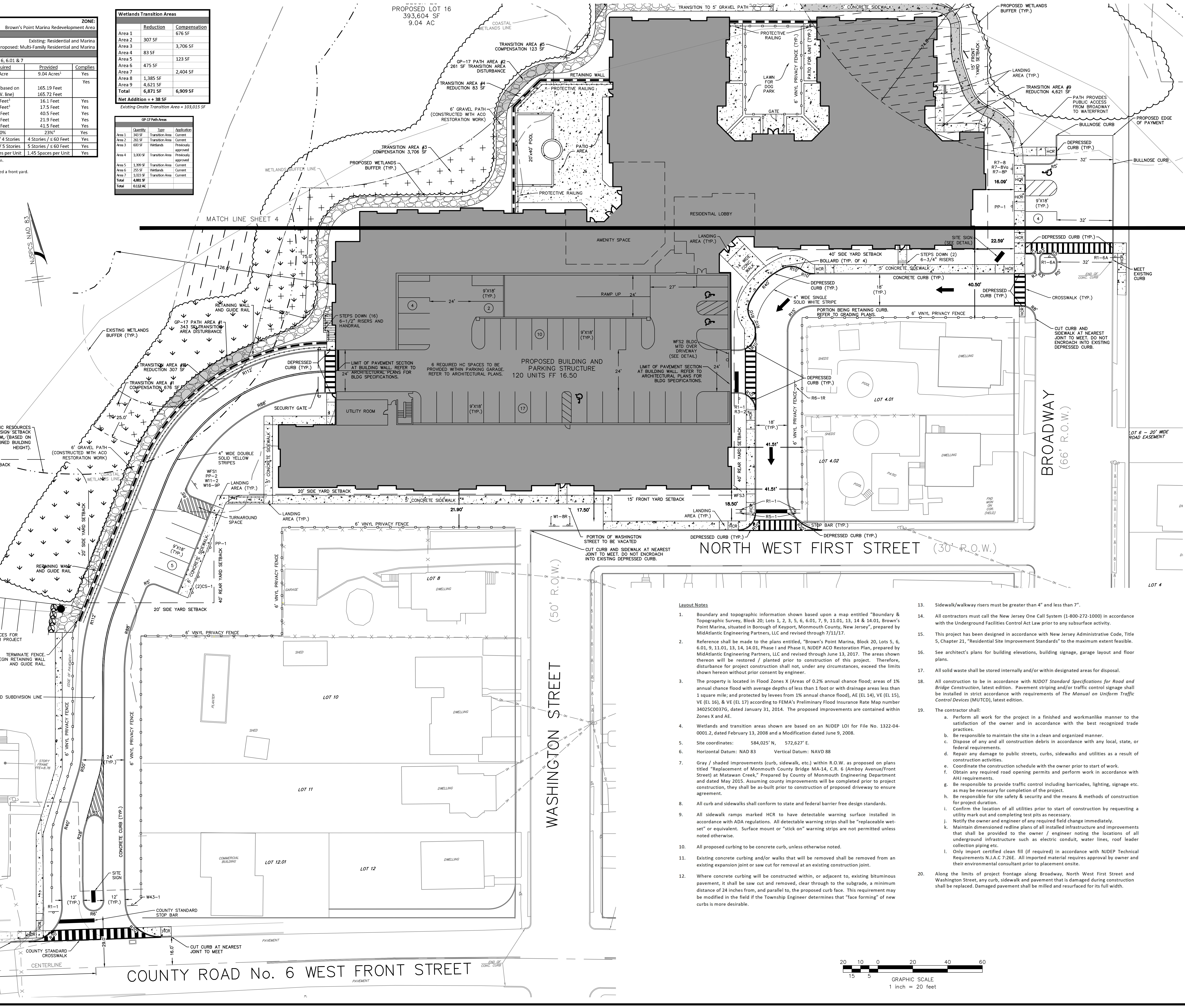
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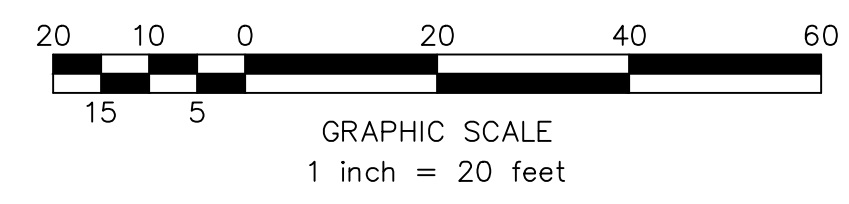
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 COUNTY STANDARD STOP BAR  
 CUT CURB AT NEAREST JOINT TO MEET.



**Layout Notes**

- Boundary and topographic information shown on a map entitled "Boundary & Topographic Survey, Block 20, Lots 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01, Brown's Point Marina, situated in Borough of Keyport, Monmouth County, New Jersey," prepared by MidAtlantic Engineering Partners, LLC and revised through 7/11/17.
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- The property is located in Flood Zones X (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and protected by levees from 1% annual chance flood), AE (EL 14), VE (EL 15), VE (EL 16), & VE (EL 17) according to FEMA's Preliminary Flood Insurance Rate Map number 34025C00376, dated January 31, 2014. The proposed improvements are contained within Zones X and AE.
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- Site coordinates: 584,025' N, 572,627' E.  
Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Gray / shaded improvements (curb, sidewalk, etc.) within R.O.W. as proposed on plans titled "Replacement of Monmouth County Bridge MA-14, C.R. 6 (Amboy Avenue/Front Street) at Matawan Creek," Prepared by County of Monmouth Engineering Department and dated May 2015. Assuming county improvements will be completed prior to project construction, they shall be as-built prior to construction of proposed driveway to ensure agreement.
- All curb and sidewalks shall conform to state and federal barrier free design standards.
- All sidewalk ramps marked HCR to have detectable warning surface installed in accordance with ADA regulations. All detectable warning strips shall be "replaceable wet-set" or equivalent. Surface mount or "stick on" warning strips are not permitted unless noted otherwise.
- All proposed curbing to be concrete curb, unless otherwise noted.
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- Where concrete curbing will be constructed within, or adjacent to, existing bituminous pavement, it shall be saw cut and removed, clear through to the subgrade, a minimum distance of 24 inches from, and parallel to, the proposed curb face. This requirement may be modified in the field if the Township Engineer determines that "face forming" of new curbs is more desirable.
- Sidewalk/walkway risers must be greater than 4" and less than 7".
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- This project has been designed in accordance with New Jersey Administrative Code, Title 5, Chapter 21, "Residential Site Improvement Standards" to the maximum extent feasible.
- See architect's plans for building elevations, building signage, garage layout and floor plans.
- All solid waste shall be stored internally and/or within designated areas for disposal.
- All construction to be in accordance with NJDOT Standard Specifications for Road and Bridge Construction, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of The Manual on Uniform Traffic Control Devices (MUTCD), latest edition.
- The contractor shall:
  - Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
  - Be responsible to maintain the site in a clean and organized manner.
  - Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
  - Repair any damage to public streets, curbs, sidewalks and utilities as a result of construction activities.
  - Coordinate the construction schedule with the owner prior to start of work.
  - Obtain any required road opening permits and perform work in accordance with AHS requirements.
  - Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
  - Be responsible for site safety & security and the means & methods of construction for project duration.
  - Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
  - Notify the owner and engineer of any required field change immediately.
  - Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
  - Only import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.
- Along the limits of project frontage along Broadway, North West First Street and Washington Street, any curb, sidewalk and pavement that is damaged during construction shall be replaced. Damaged pavement shall be milled and resurfaced for its full width.



|                        |                             |                   |                     |                                |
|------------------------|-----------------------------|-------------------|---------------------|--------------------------------|
| RELEASED BY:<br>LLZ    | CHECKED BY:<br>MWW          | DATE:<br>07/23/17 | PROJECT NO.:MGP-131 | DRAWING NAME:<br>03-LayOut.dwg |
| VERTICAL SCALE:<br>N/A | HORIZONTAL SCALE:<br>1"=20' | DRAWN BY:<br>CTFU | DATE:               | REVISIONS:                     |

Lotus J. Zuegner IV, P.E.  
 PROFESSIONAL ENGINEER  
 No. 14766-00040000

PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
 MARINERS VILLAGE AT KEYPORT  
 BLOCK 20, LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
 LAYOUT PLAN  
 SITUATED IN  
 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic  
 ENGINEERING PARTNERS, LLC  
 24608 18000  
 Certificate of Authorization No. 24608 18000  
 PE No. 062426500  
 Matthew J. Brennan P.E. PE No. 062446500  
 William J. Pasquari P.E. PE No. 062455500  
 Sheet Number  
 5 OF 16

- Grading Notes**
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
  - All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*.
  - All curbs shall be depressed at crosswalks and conform to applicable state and federal barrier free design standards.
  - ADA designated units are to conform to the accessibility standards set forth in the Americans with Disabilities Act.
  - All walkways to have a maximum cross slope of 2% and running slope of 5% unless otherwise noted.
  - Sidewalk/walkway risers must be greater than 4" and less than 7". Tread depth to be 11" min.
  - All proposed curbing shall have a 6" reveal, unless otherwise stated.
  - All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
  - All grading in pavement areas shall be greater than 1% unless otherwise noted.
  - Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code.
  - Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
  - All grassed areas to have a minimum of 4" clean top soil, when sod is being installed, or 6" clean top soil for seeding applications.
  - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
  - Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.

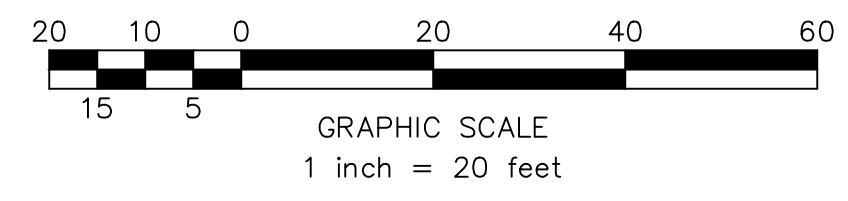
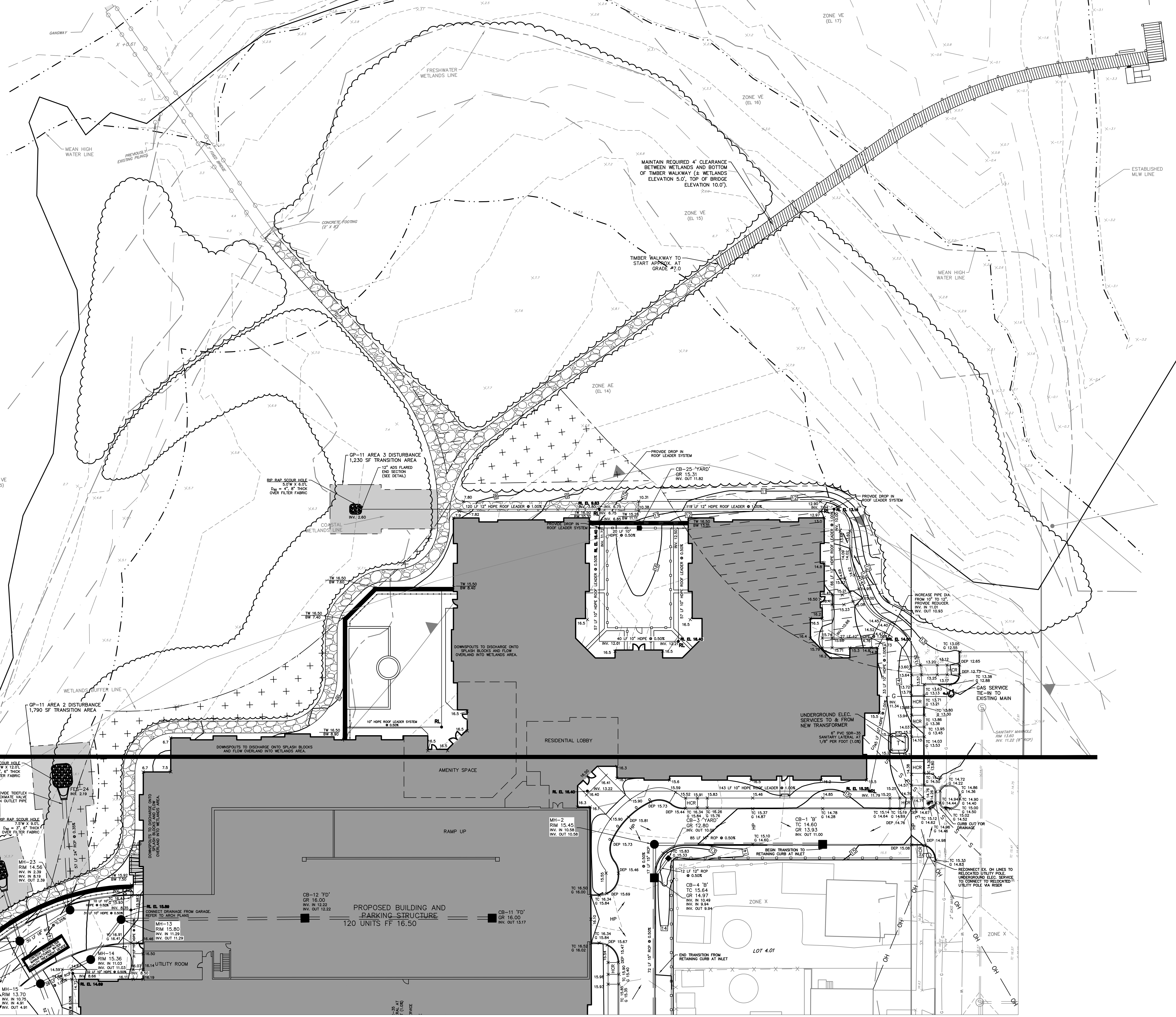
- Utility Notes**
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
  - All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*.
  - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
  - Attention to the contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
  - Contractor to perform test pits to verify existing utility depths, sizes and locations prior to connecting proposed sewer and water mains to existing sewer and water mains. The contractor shall notify the engineer in writing of any conflicts so that design modifications can be made if necessary.
  - All construction shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
  - Pipe lengths indicated are measured center to center of each structure.
  - All utility service connections to buildings to be located underground.
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  - Shop drawings and product catalog information for all water and sanitary sewer structures, conduits, materials, and appurtenances, to be provided to the project engineer for review and approval prior to purchasing.
  - Refer to technical specifications for water and sanitary sewer for material, installation specifications and testing requirements.
  - Unless otherwise indicated, RCP shall be class 3 wall, bell and spigot type with O-ring gaskets.
  - HDPE pipes shall be ADS N-12 with soil tight joints or approved equal.
  - Electrical, telephone, CATV and all other wire-served utility extensions and services shall be installed underground with standards established by the servicing utility company.
  - See MEP/Architectural plans for all utility connections to building. All utility connections shall be reviewed & verified by the contractor prior to start of site construction.
  - Adequate structural support of sewers and water lines at all points of crossing shall be provided to prevent excessive deflection, settlement, or damage. The crossings shall be arranged such that the joints in the pipes are equidistant and as far apart as possible from the other pipe.
  - Where utilities cross beneath existing / proposed water mains or storm and sanitary sewers, the utility contractor shall provide adequate structural support by installing select backfill from the utility to the spring line of the water main or sewer. Select backfill shall be clean sand or NIDOT soil I-9 compacted to 95% of the modified proctor aggregate type density ASTM D-698 Method D. It shall extend a minimum of 10 feet each way from the centerline of the crossing.
  - A 10-ft. horizontal distance shall separate water mains and sanitary sewer mains. Where such separation is not possible, the water mains and sanitary sewer mains shall be installed in separate trenches with the water main at least 18 inches above the sewer main. Where such vertical separation is not possible, the sewer main shall be constructed with watertight joints for a distance of 10 feet in either direction of the water main (N.J.A.C. 7:10-11.7(d)-5).
  - All sanitary and drainage structures shall be precast concrete unless otherwise specified.

T.B.M. #17-1

|                                  |
|----------------------------------|
| M.H.W. ELEV. 2.48 (NAVD 1988)    |
| M.H.W. ELEV. 2.13 (NAVD 1988)    |
| M.T.L. ELEV. -0.38 (NAVD 1988)   |
| M.L.W. ELEV. -2.89 (NAVD 1988)   |
| M.L.L.W. ELEV. -3.14 (NAVD 1988) |

BENCHMARK DATUM MONUMENT 17-1 (1934) KEYPORT, NJ  
CONVERSION FACTOR FROM NAVD88 TO NGVD29 IS +1.01

**TIDE RANGE DIAGRAM**  
NOT TO SCALE



**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- 100-YR WATER SURFACE ELEV.
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY LATERAL
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING HYDRANT
- PROPOSED WATER HYDRANT
- PROPOSED WATER METER
- PROPOSED WATER LATERAL
- EXISTING GAS LINE
- PROPOSED GAS LINE

MATCH LINE SHEET 7

|              |          |                   |                          |
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| CHECKED BY:  | CFU      | HORIZONTAL SCALE: | 1" = 20'                 |
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| DATE:        | 07/21/17 | PROJECT No.:      | 04-Grading & Utility.dwg |
| DATE:        | 07/21/17 | PROJECT No.:      | 04-Grading & Utility.dwg |
| DATE:        | 07/21/17 | PROJECT No.:      | 04-Grading & Utility.dwg |

Drawn By: CFU  
Checked By: MMW  
Date: 07/21/17  
Project No.: MCP-131  
Drawing Name: 04-Grading & Utility.dwg

Professional Engineer  
Louis L. Zuegner IV, P.E.  
No. 141,000,000,000

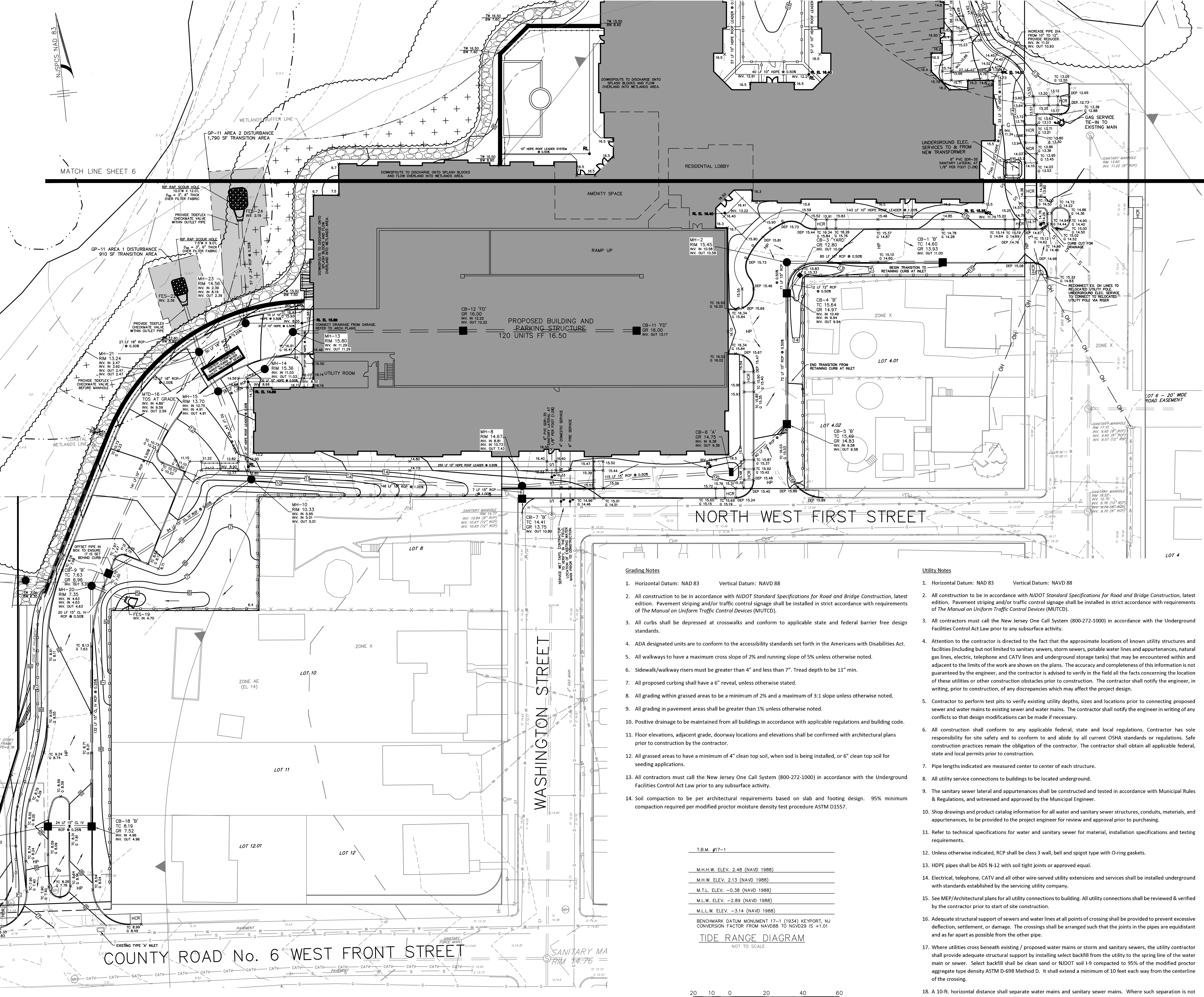
PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
GRADING & UTILITY PLAN

SITUATED IN  
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Sheet Number  
6 OF 16

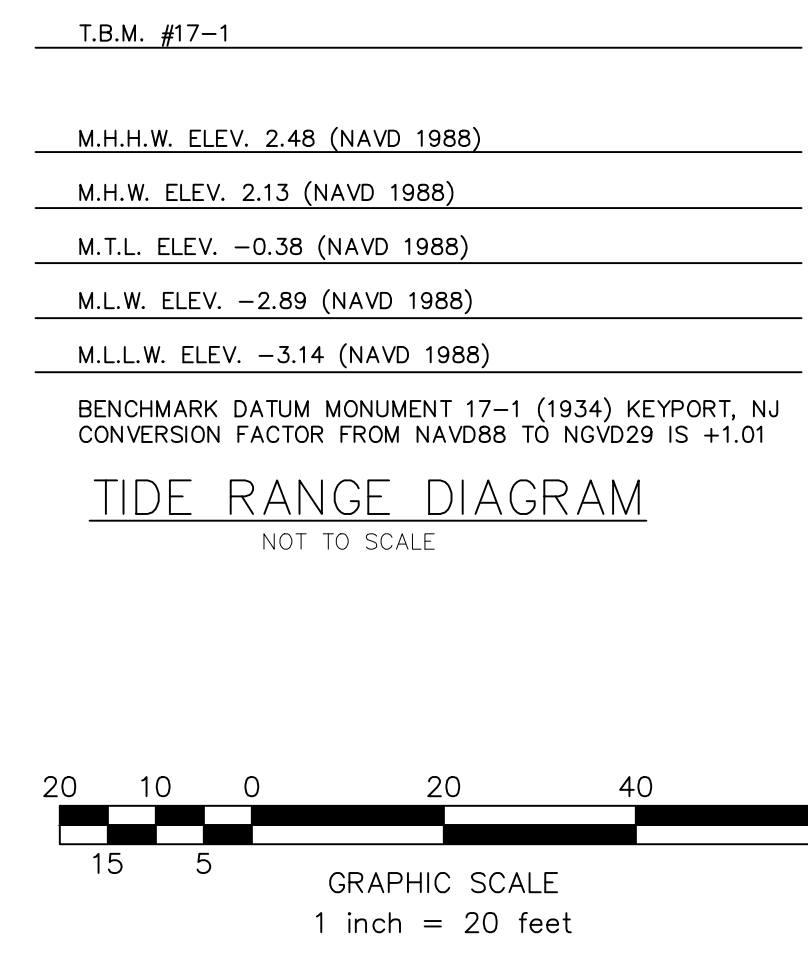
**LEGEND**  
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 PROPOSED CONTOUR  
 EXISTING SPOT ELEVATION  
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 EXISTING SANITARY SEWER LINE  
 PROPOSED SANITARY SEWER LINE  
 EXISTING STORM SEWER LINE  
 PROPOSED STORM SEWER LINE  
 EXISTING INLET  
 PROPOSED INLET  
 EXISTING MANHOLE  
 PROPOSED SANITARY MANHOLE  
 EXISTING SANITARY MANHOLE  
 100-YR WATER SURFACE ELEV.

**LEGEND**  
 EXISTING SANITARY SEWER LINE  
 PROPOSED SANITARY SEWER LINE  
 EXISTING STORM SEWER LINE  
 PROPOSED STORM SEWER LINE  
 EXISTING INLET  
 PROPOSED INLET  
 EXISTING MANHOLE  
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 EXISTING SANITARY MANHOLE  
 PROPOSED SANITARY LATERAL  
 EXISTING WATER LINE  
 PROPOSED WATER LINE  
 EXISTING HYDRANT  
 PROPOSED WATER HYDRANT  
 EXISTING WATER LATERAL  
 PROPOSED WATER LATERAL  
 EXISTING GAS LINE  
 PROPOSED GAS LINE



- Grading Notes**
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
  - All construction to be in accordance with *NJDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*.
  - All curbs shall be depressed at crosswalks and conform to applicable state and federal barrier free design standards.
  - ADA designated units are to conform to the accessibility standards set forth in the Americans with Disabilities Act.
  - All walkways to have a maximum cross slope of 2% and running slope of 5% unless otherwise noted.
  - Sidewalk/walkway risers must be greater than 4" and less than 7". Tread depth to be 11" min.
  - All proposed curbing shall have a 6" reveal, unless otherwise stated.
  - All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
  - All grading in pavement areas shall be greater than 1% unless otherwise noted.
  - Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code.
  - Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
  - All grassed areas to have a minimum of 4" clean top soil, when sod is being installed, or 6" clean top soil for seeding applications.
  - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
  - Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.

- Utility Notes**
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
  - All construction to be in accordance with *NJDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*.
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  - All sanitary and drainage structures shall be precast concrete unless otherwise specified.



|              |      |                   |          |                 |         |              |                          |
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| DESIGNED BY: | CFJU | DATE:             | 07/21/17 | PROJECT No.:    | MCP-131 | DRAWING No.: | 04-Grading & Utility.dwg |
| REVISIONS:   |      | DATE:             |          | BY:             |         | DESCRIPTION: |                          |

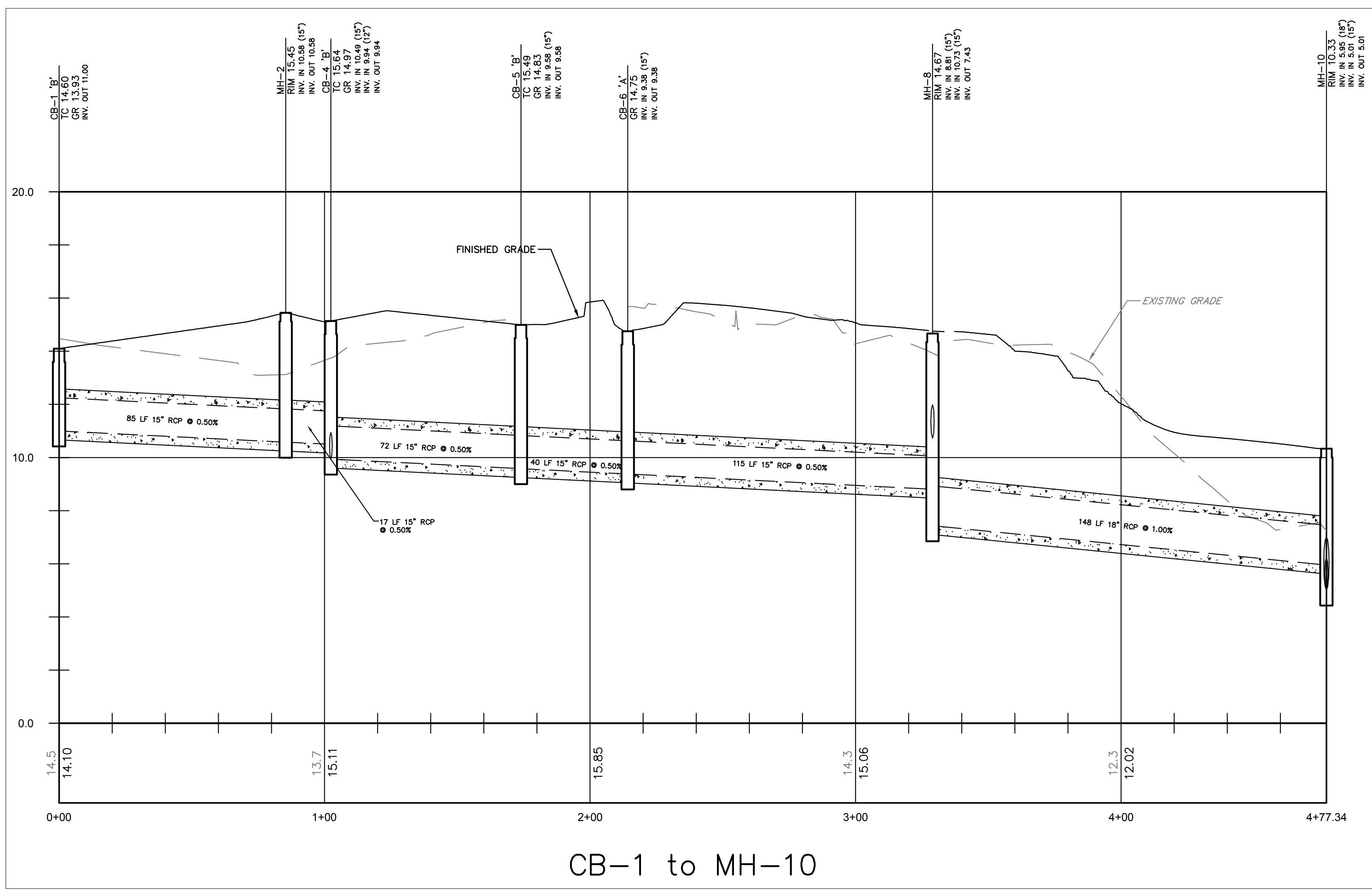
Professional Engineer  
**Louis J. Zuegner IV, P.E.**  
 No. 14376-000000000000  
 State of New Jersey

**PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION**  
**MARINER'S VILLAGE AT KEYPORT**  
 BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
**GRADING & UTILITY PLAN**

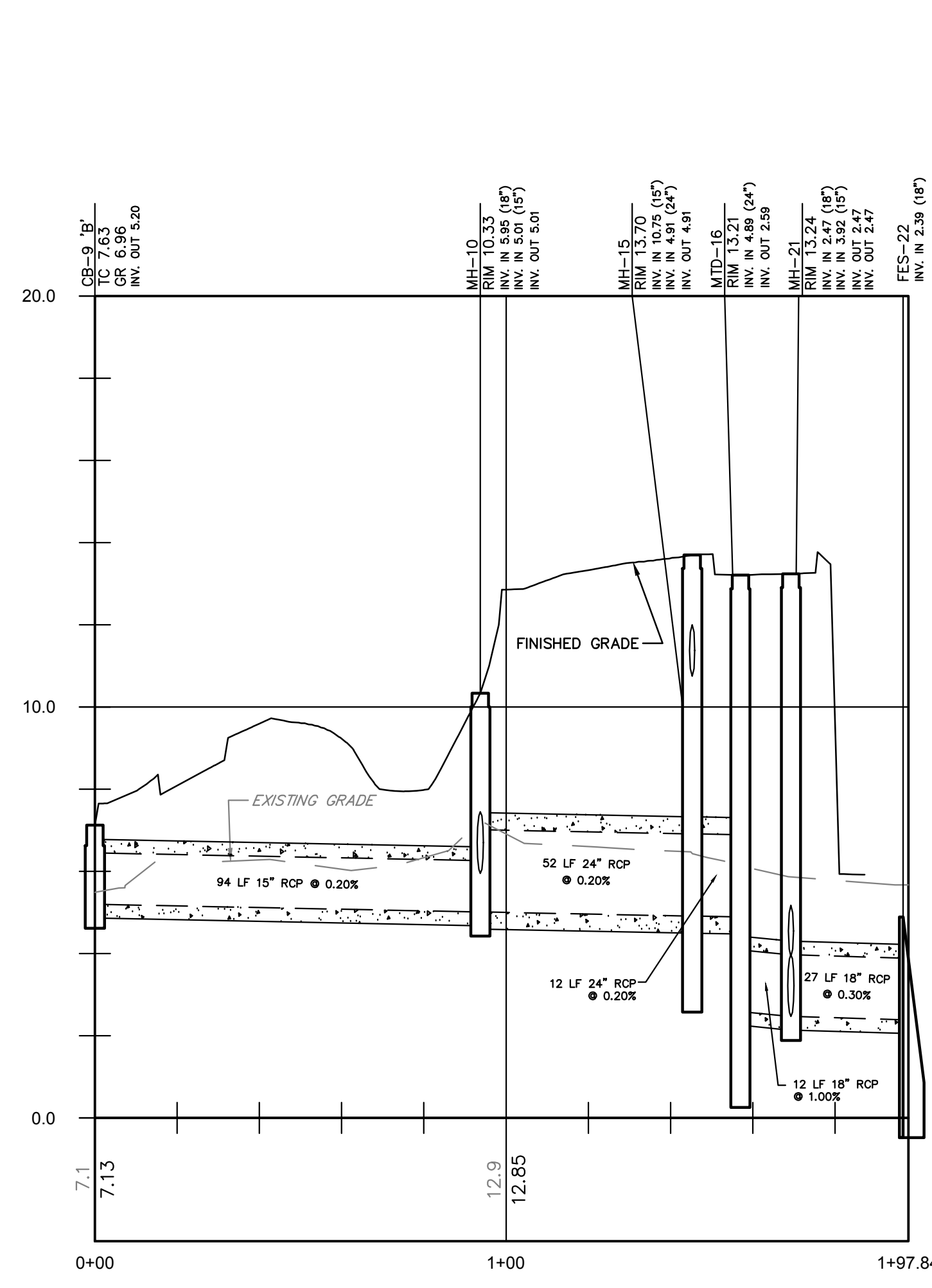
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Sheet Number  
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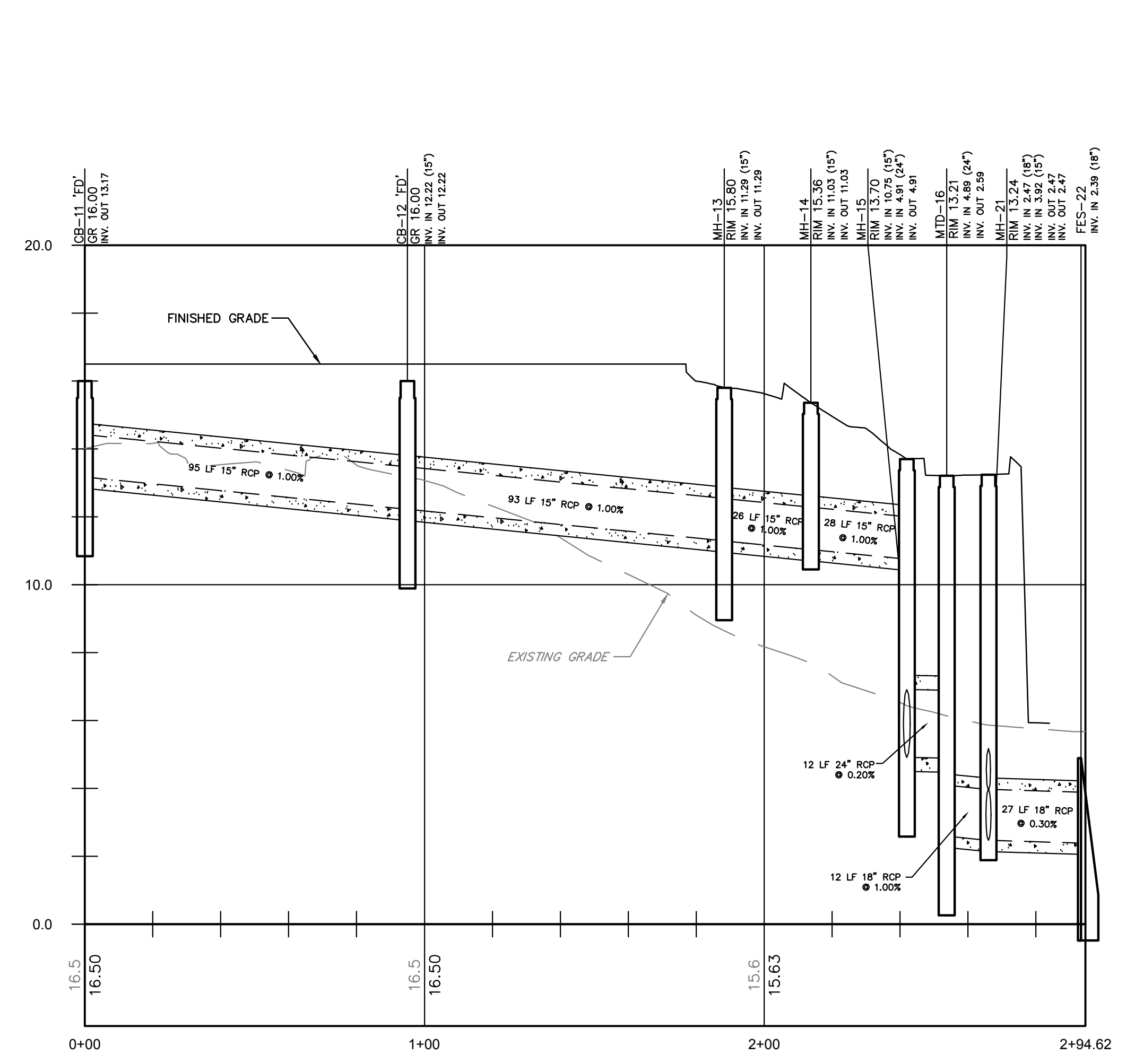
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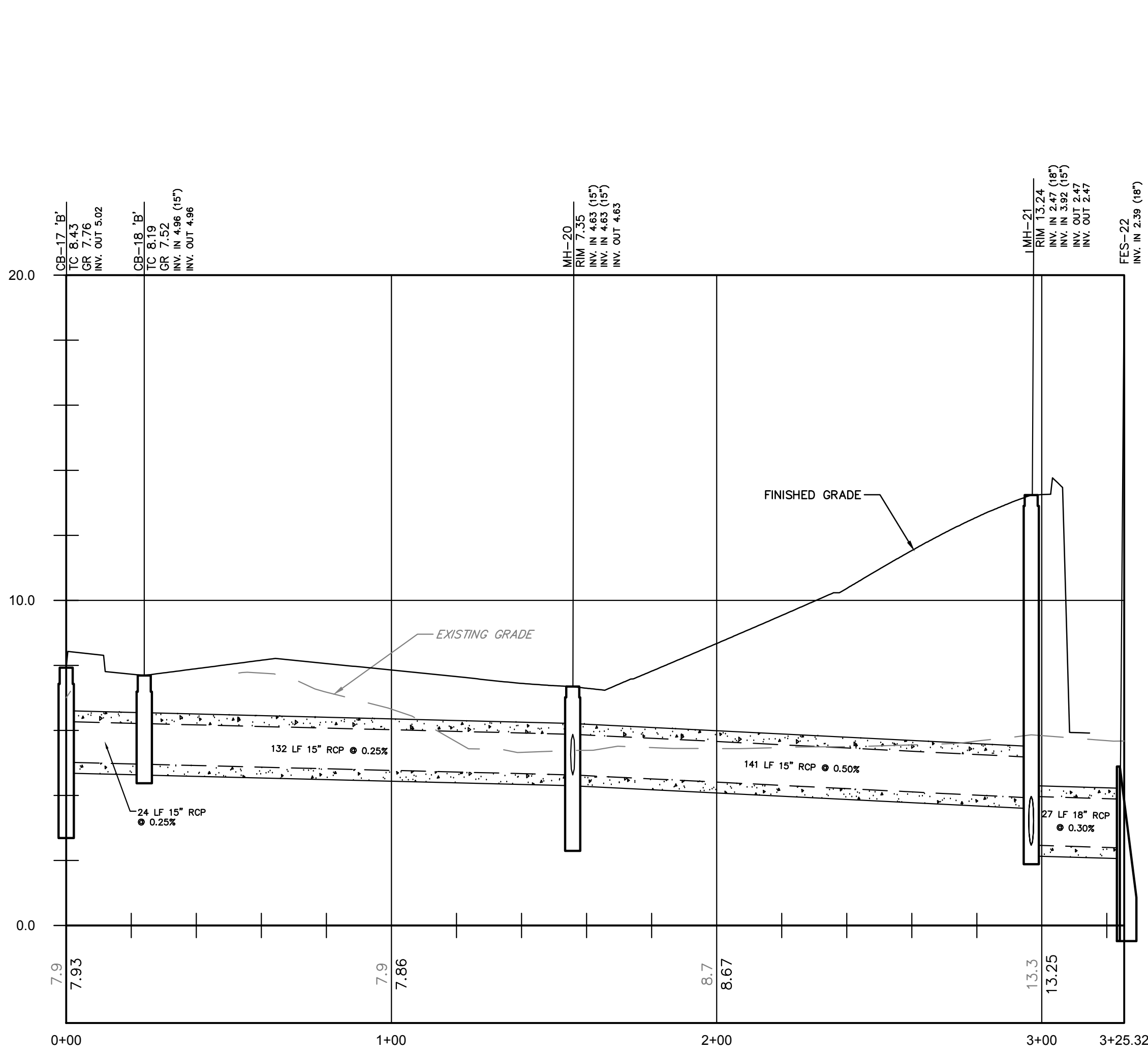
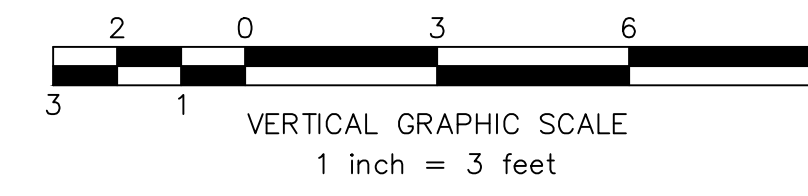
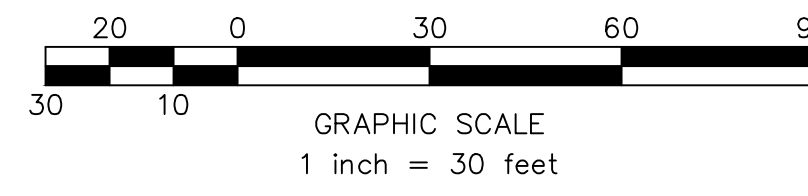
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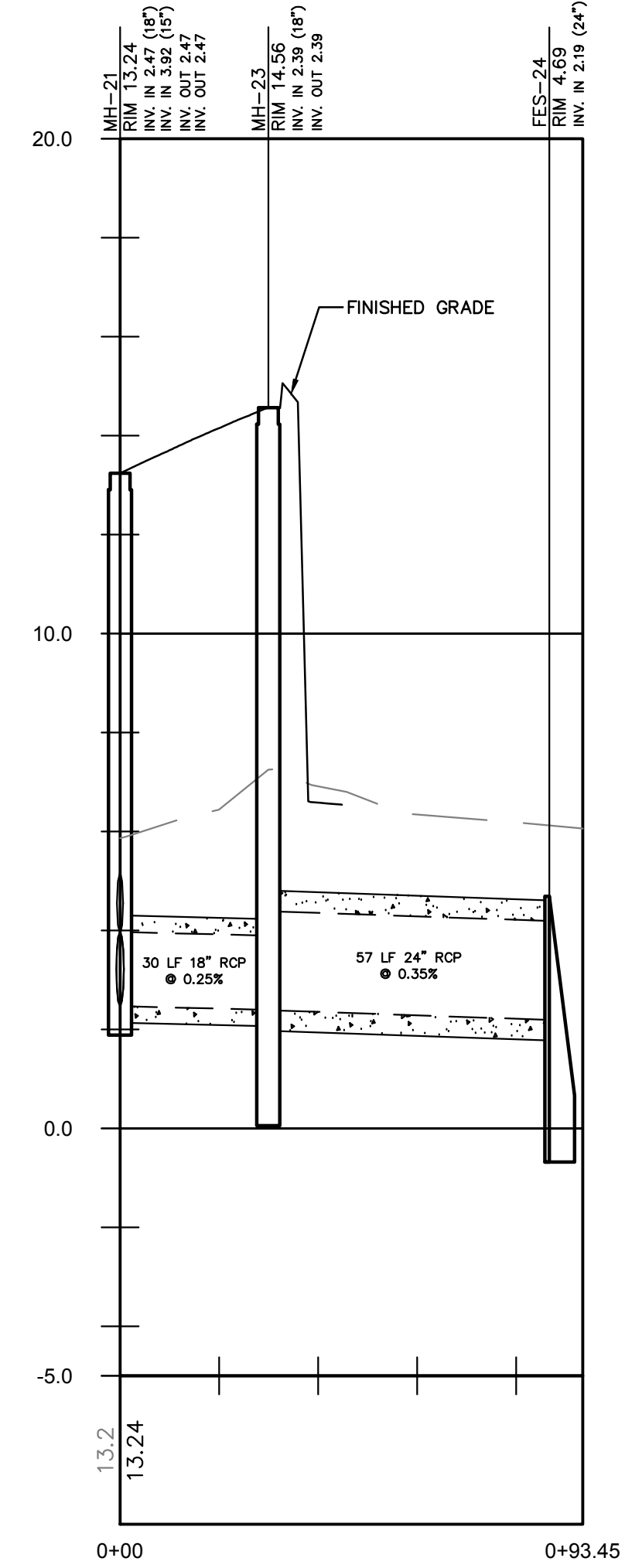
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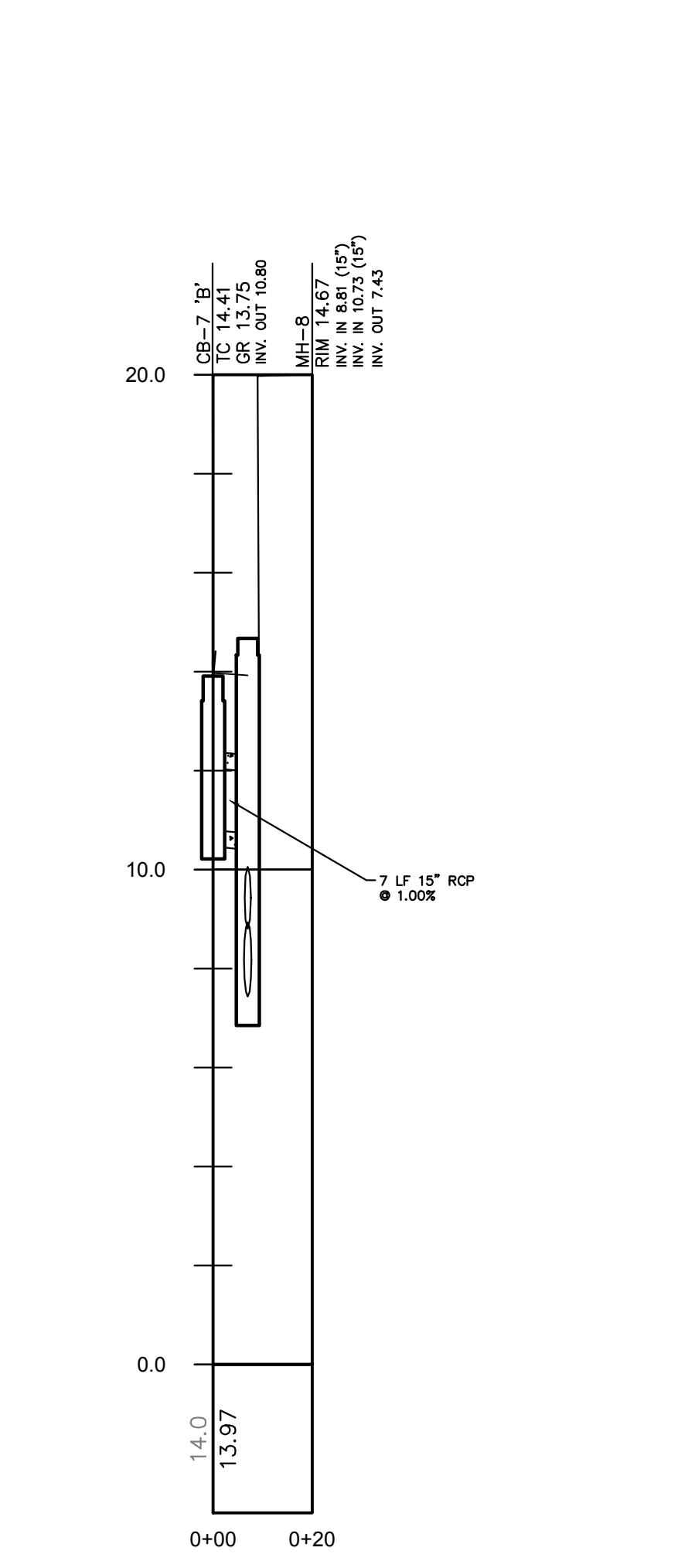
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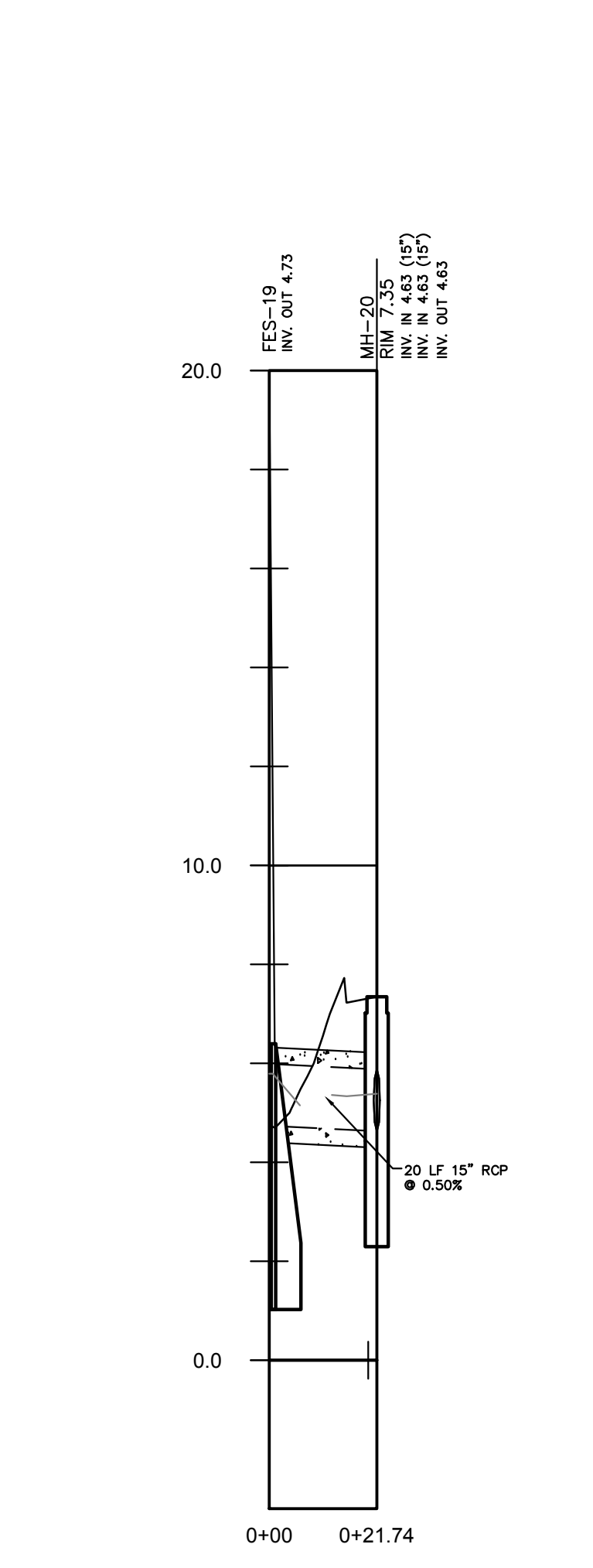
CB-17 TO FES-22



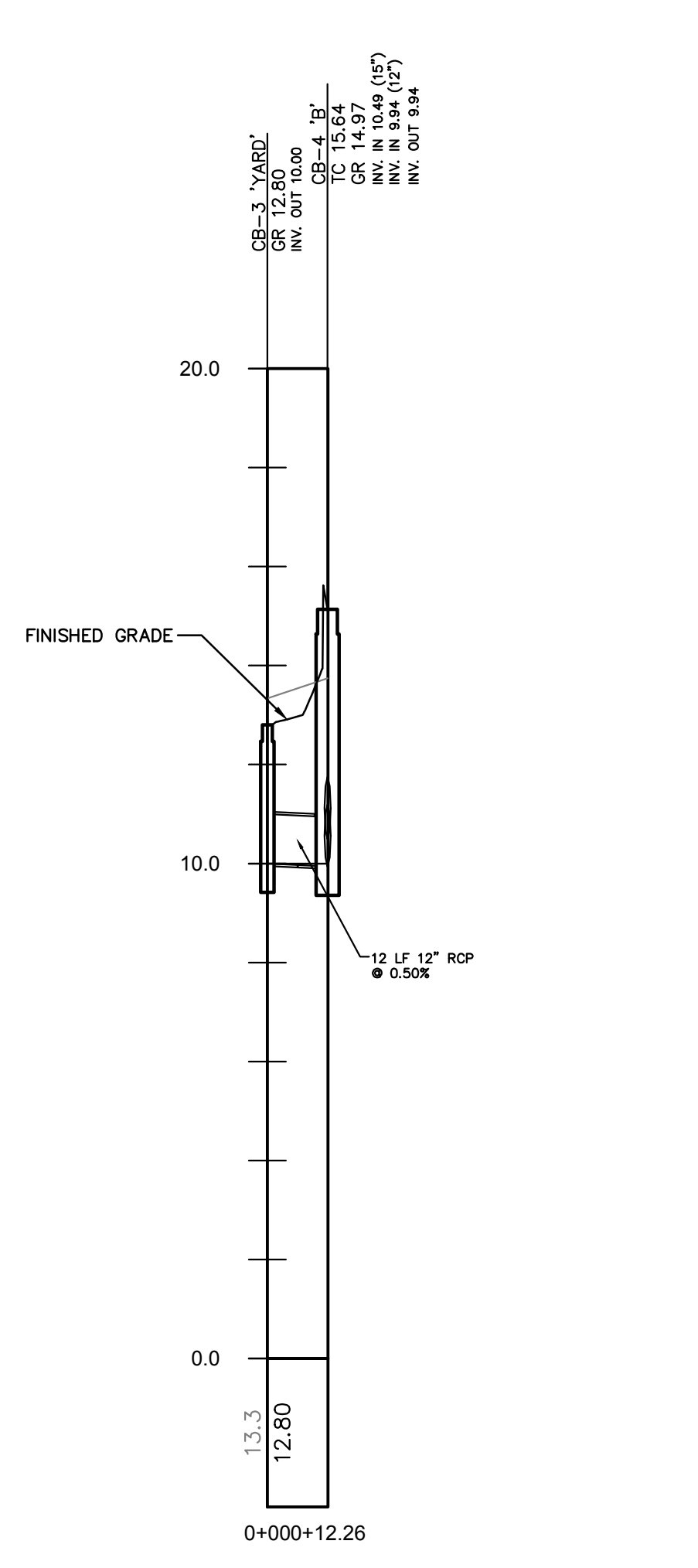
MH-21 to FES-24



CB-7 TO MH-8



FES-19 TO MH-20



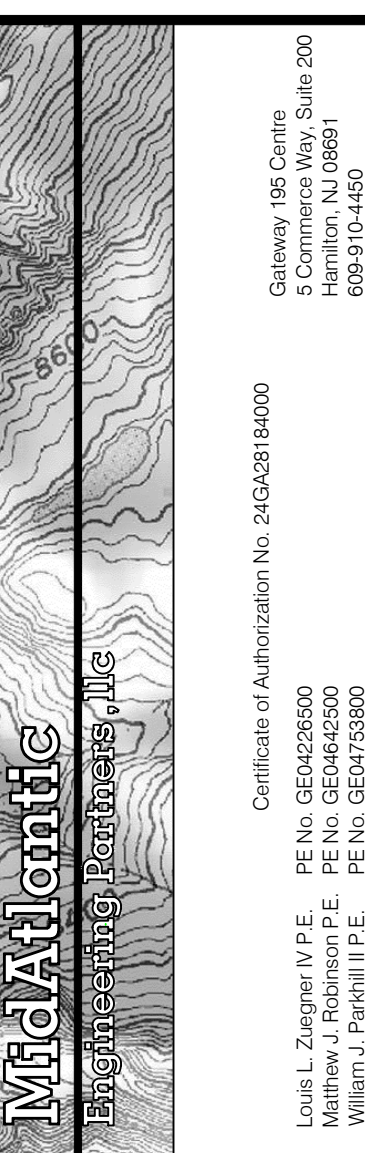
CB-3 to CB-4

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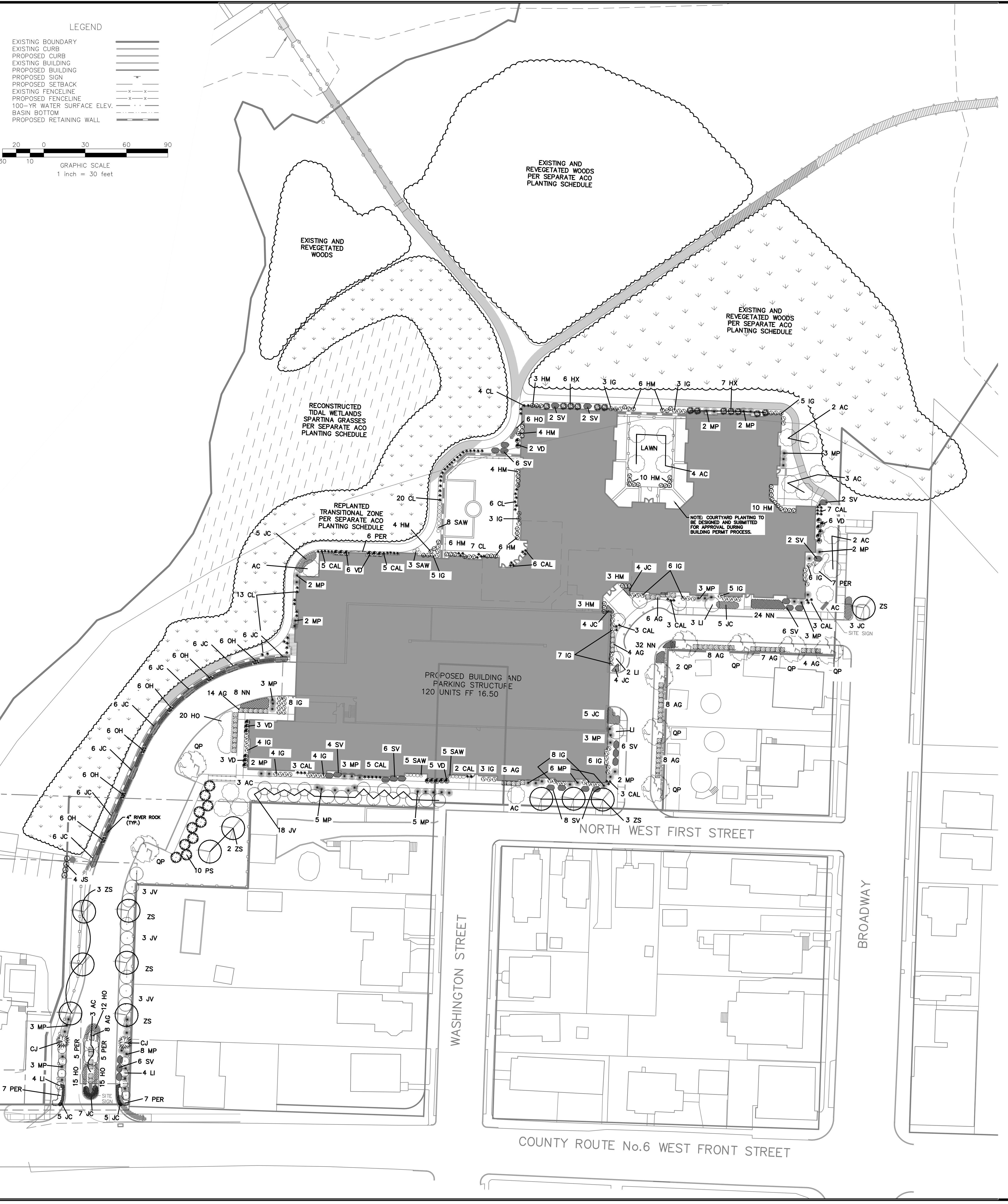
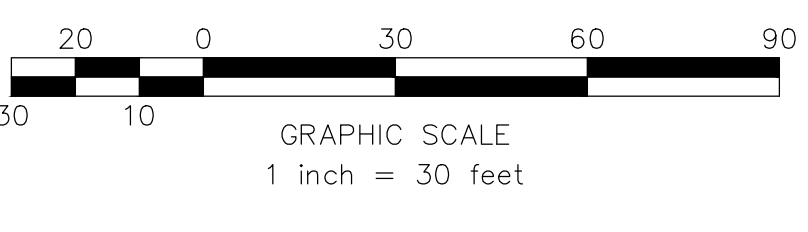
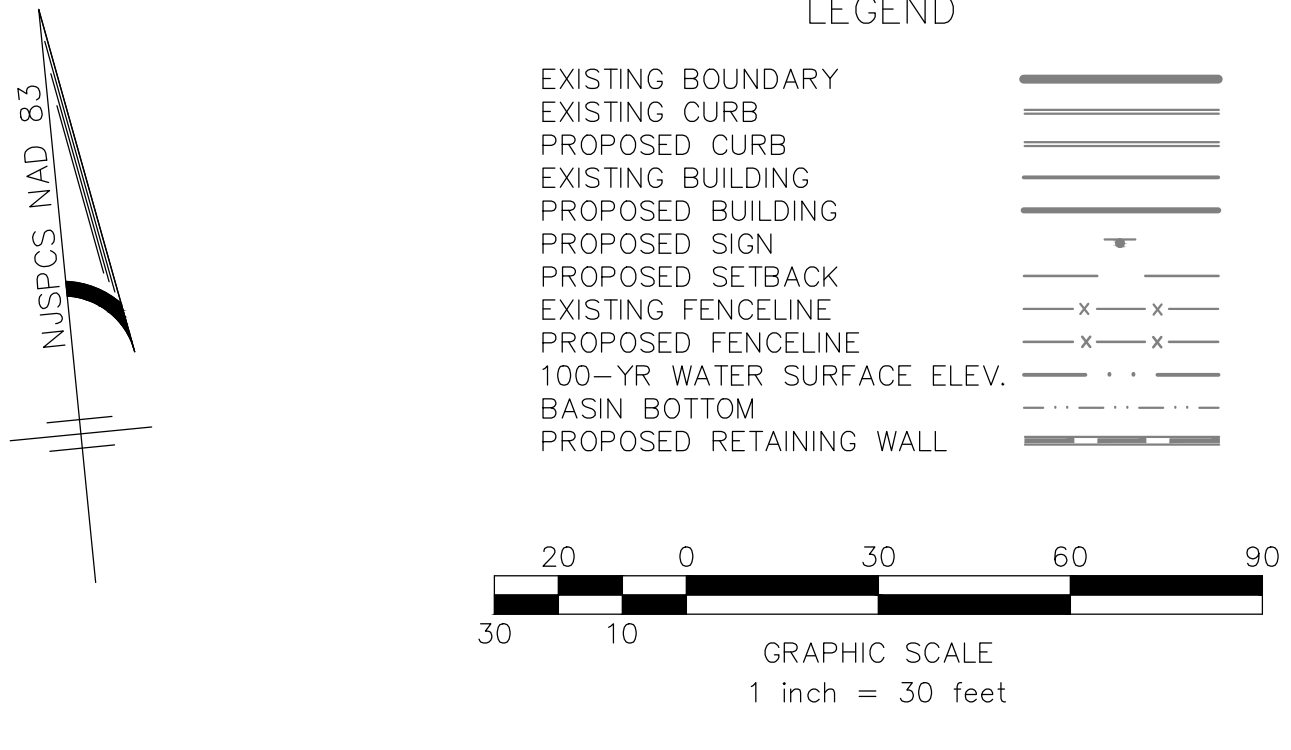
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| PROJECT NO.:  | MCP-131         | DATE:             | 01/22/18 | REVISIONS:      |       |
| DRAWING NAME: | 04A-Profils.dwg | DATE:             |          | REVISIONS:      |       |

Lotis J. Zuegner IV, P.E.  
PROFESSIONAL ENGINEER  
No. 121066640

PRELIMINARY/FINAL MAJOR SITE PLAN  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, & 7  
SITUATED IN  
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY







- Planting Notes**
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by owner's representative prior to installation.
  - Plants shall be typical of their species and variety; have normal growth habits; well-developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
  - All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least two years from the date of final approval by the township. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guaranteed equal to that stated above.
  - Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery.
  - Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI z60.1 (rev. 2001) "American Standard for Nursery Stock" as published by the American Nursery and Landscape Association.
  - All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
  - Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
  - Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with 'wilt-pruf' or equal as per manufacturer's instructions.
  - Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
  - All injured roots shall be pruned to make clean ends before planting utilizing clean, sharp tools. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
  - Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
  - All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
  - New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
  - Alternative forms of plantings or similar species may be substituted where availability is limited, with prior approval. Any plant substitutions must be reviewed and approved by the Borough Engineer.

| PLANT SCHEDULE                     |   |     |                             |                        |
|------------------------------------|---|-----|-----------------------------|------------------------|
| KEY                                | BOTANICAL NAME                                  | QTY | COMMON NAME                 | SIZE                   |
| <b>TREES</b>                       |   |     |                             |                        |
| QP                                 | <i>Quercus phellos</i>                          | 9   | Willow Oak                  | 2.5-3" Cal.            |
| ZS                                 | <i>Zelkova Serrata</i>                          | 12  | Japanese Zelkova            | 2.5-3" Cal.            |
| AC                                 | <i>Amelanchier canadensis</i>                   | 20  | Shadblow Serviceberry       | 1-1.5" Cal. multi-stem |
| LI                                 | <i>Lagerstroemia x. indica</i>                  | 14  | Crape Myrtle                | 1-1.5" Cal. multi-stem |
| JV                                 | <i>Juniperus virginiana</i>                     | 27  | Eastern Red Cedar           | 6-8'                   |
| CI                                 | <i>Cryptomeria japonica</i> 'Black Dragon'      | 2   | Black Dragon Japanese Cedar | 6-8'                   |
| VD                                 | <i>Viburnum dentatum</i>                        | 25  | Arrowwood Viburnum          | 18-24" HT              |
| PS                                 | <i>Pinus Strobus</i>                            | 10  | Northern White Pine         | 6-7' HT                |
| JS                                 | <i>Juniperus scopulorum</i> 'Blue Arrow'        | 4   | Blue Arrow Juniper          | 6-8'                   |
| <b>SHRUBS</b>                      |   |     |                             |                        |
| MP                                 | <i>Myrica pennsylvanica</i>                     | 62  | Bayberry                    | 24"-36"                |
| IG                                 | <i>Ilex glabra</i>                              | 80  | Inkberry Holly              | 24"-36"                |
| AG                                 | <i>Abelia x. grandiflora</i>                    | 72  | Glossy Abelia               | 24"-36"                |
| SV                                 | <i>Spirea x. vanhouttei</i>                     | 50  | Spirea                      | 18-24"                 |
| HM                                 | <i>Hydrangea macrophylla</i> 'Nikko Blue'       | 59  | Bigleaf Hydrangea           | 18-24"                 |
| <b>Perennials and Groundcovers</b> |   |     |                             |                        |
| JC                                 | <i>Juniperus conferta</i>                       | 89  | Shore juniper               | 3 Gal.                 |
| CL                                 | <i>Chasmanthium latifolium</i>                  | 50  | Northern Sea Oats           | 3 Gal.                 |
| CAL                                | <i>Calamagrostis acutiflora</i> 'Karl Foerster' | 45  | Feathered Reed Grass        | 3 Gal.                 |
| PER                                | <i>Perovskia atriplicifolia</i>                 | 37  | Russian Sage                | 1 Gal.                 |
| HX                                 | <i>Hosta x. 'Enterprise'</i>                    | 13  | Hosta (mixed)               | 1 Gal.                 |
| NN                                 | <i>Nipponanthemum nipponicum</i>                | 64  | Montauk Daisy               | 1 Gal.                 |
| HO                                 | <i>Hemocalis 'Stella d'Oro'</i>                 | 68  | Daylily                     | 1 Gal.                 |
| DH                                 | <i>Opuntia humifusa</i>                         | 36  | Eastern Prickly Pear        | 18-24"                 |

| ACO PLANTING SCHEDULE   |                              |     |                   |              |                                   |
|-------------------------|------------------------------|-----|-------------------|--------------|-----------------------------------|
| KEY                     | BOTANICAL NAME               | QTY | COMMON NAME       | SIZE         | NOTES                             |
| <b>SHRUBS</b>           |                              |     |                   |              |                                   |
| S                       | <i>Baccharis halimifolia</i> | 45  | Groundsel Bush    | 1 Gal. Cont. | 8'-0" on center throughout        |
| S                       | <i>Morella pennsylvanica</i> | 45  | Bayberry          | 1 Gal. Cont. | 8'-0" on center throughout        |
| S                       | <i>Rhus copallinum</i>       | 45  | Winged Sumac      | 1 Gal. Cont. | 8'-0" on center throughout        |
| <b>SHRUBS AND TREES</b> |                              |     |                   |              |                                   |
| S                       | <i>Baccharis halimifolia</i> | 30  | Groundsel Bush    | 1 Gal. Cont. | 10'-0" on center off tree pattern |
| S                       | <i>Morella pennsylvanica</i> | 30  | Bayberry          | 1 Gal. Cont. | 10'-0" on center off tree pattern |
| S                       | <i>Rhus copallinum</i>       | 30  | Winged Sumac      | 1 Gal. Cont. | 10'-0" on center off tree pattern |
| S                       | <i>Rhus typhina</i>          | 5   | Staghorn Sumac    | 3'-4' B&B    | 20'-0" on center throughout       |
| T                       | <i>Acer rubrum</i>           | 4   | Red Maple         | 4'-5' B&B    | 20'-0" on center throughout       |
| T                       | <i>Juniperus virginiana</i>  | 5   | Eastern Red Cedar | 4'-5' B&B    | 20'-0" on center throughout       |
| T                       | <i>Quercus palustris</i>     | 7   | Pin Oak           | 4'-5' B&B    | 40'-0" on center throughout       |
| T                       | <i>Salix nigra</i>           | 4   | Black Willow      | 4'-5' B&B    | 20'-0" on center throughout       |
| <b>TREES AND SHRUBS</b> |                              |     |                   |              |                                   |
| T                       | <i>Acer rubrum</i>           | 3   | Red Maple         | 4'-5' B&B    | 20'-0" on center throughout       |
| T                       | <i>Juniperus virginiana</i>  | 3   | Eastern Red Cedar | 4'-5' B&B    | 20'-0" on center throughout       |
| T                       | <i>Quercus palustris</i>     | 2   | Pin Oak           | 4'-5' B&B    | 40'-0" on center throughout       |
| T                       | <i>Platanus occidentalis</i> | 2   | Sycamore          | 5'-6' B&B    | 40'-0" on center throughout       |
| S                       | <i>Rhus typhina</i>          | 3   | Staghorn Sumac    | 3'-4' B&B    | 20'-0" on center throughout       |

| ACO PLANTING SCHEDULE        |                              |       |                      |              |                                   |
|------------------------------|------------------------------|-------|----------------------|--------------|-----------------------------------|
| KEY                          | BOTANICAL NAME               | QTY   | COMMON NAME          | SIZE         | PLANTING / SPACING NOTES          |
| <b>EMERGENT WETLAND</b>      |                              |       |                      |              |                                   |
| H                            | <i>Distichlis spicata</i>    | 1,380 | Saltgrass            | 2" Plug      | 2'-0" on center throughout        |
| H                            | <i>Spartina patens</i>       | 1,380 | Saltmeadow Cordgrass | 2" Plug      | 2'-0" on center throughout        |
| H                            | <i>Solidago sempervirens</i> | 1,380 | Seaside Goldenrod    | 2" Plug      | 2'-0" on center throughout        |
| <b>SCRUB - SHRUB WETLAND</b> |                              |       |                      |              |                                   |
| S                            | <i>Baccharis halimifolia</i> | 83    | Groundsel Bush       | 1 Gal. Cont. | 8'-0" on center throughout        |
| S                            | <i>Iva frutescens</i>        | 83    | Marsh Elder          | 1 Gal. Cont. | 8'-0" on center throughout        |
| H                            | <i>Distichlis spicata</i>    | 830   | Saltgrass            | 2" Plug      | 2'-0" on center off shrub pattern |
| H                            | <i>Panicum virgatum</i>      | 830   | Switchgrass          | 2" Plug      | 2'-0" on center off shrub pattern |
| H                            | <i>Euthamia graminifolia</i> | 830   | Flat-Top Goldenrod   | 2" Plug      | 2'-0" on center off shrub pattern |

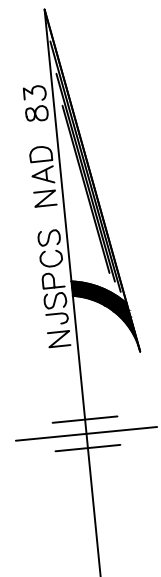
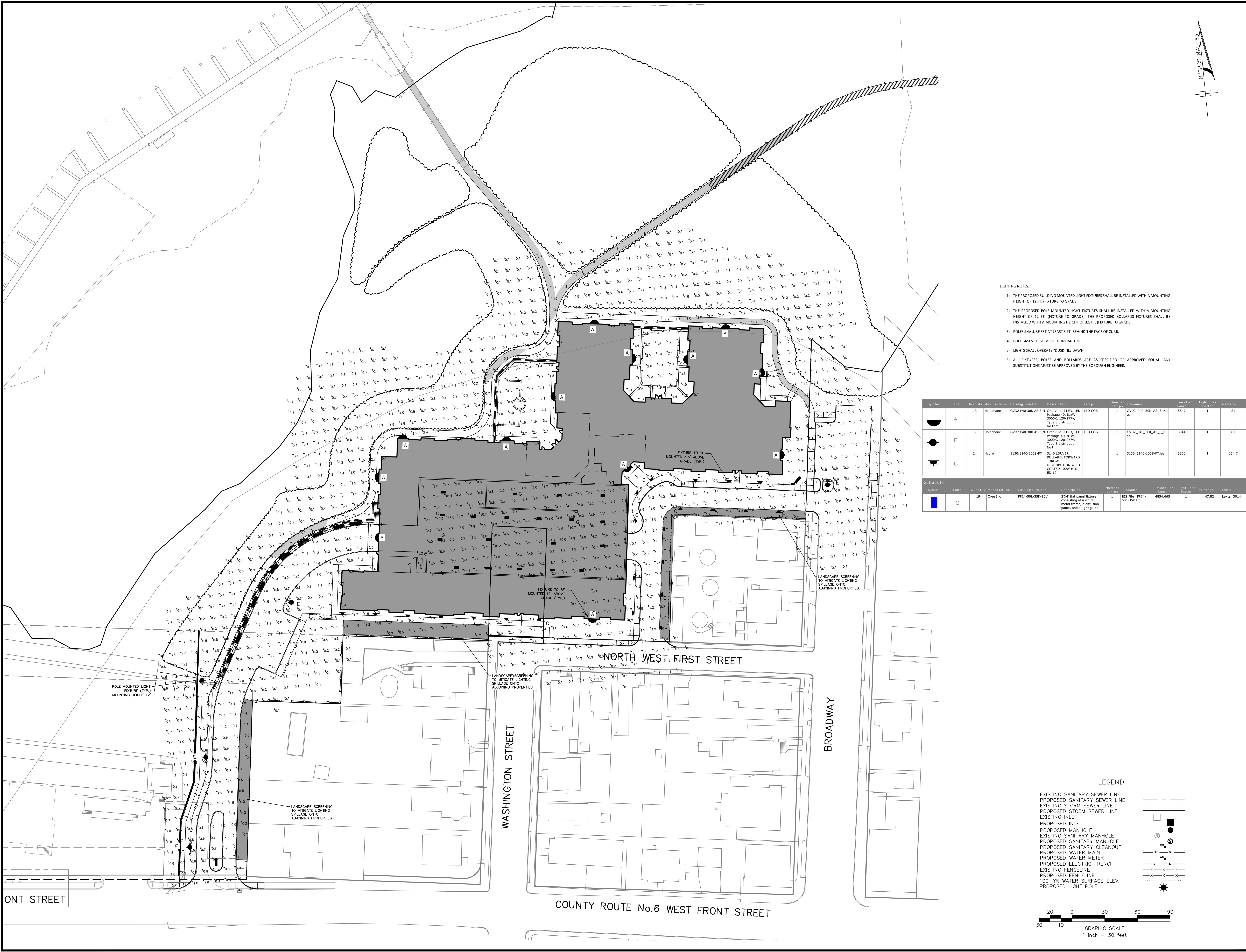
PRELIMINARY/FINAL MAJOR SITE PLAN  
 MARINER'S VILLAGE AT KEYPORT  
 BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
 LANDSCAPE PLAN  
 SITUATED IN  
 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

CHECKED BY: MWV  
 HORIZONTAL SCALE: 1"=30'  
 VERTICAL SCALE: N/A  
 DATE: 07/23/17  
 PROJECT No.: MGP-131  
 DRAWING NAME: GS-Landscape and Lighting Plan.dwg  
 DRAWN BY: CFU  
 RELEASED BY: MWV  
 DATE: 07/23/17  
 PROJECT No.: MGP-131  
 DRAWING NAME: GS-Landscape and Lighting Plan.dwg  
 CHECKED BY: MWV  
 HORIZONTAL SCALE: 1"=30'  
 VERTICAL SCALE: N/A  
 DATE: 07/23/17  
 PROJECT No.: MGP-131  
 DRAWING NAME: GS-Landscape and Lighting Plan.dwg

L. Zuegner IV, P.E.  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 12-18

Certificate of Authorization No. 34008818000  
 PE No. 06A020500  
 Matthew J. Riviere P.E. PE No. 06A046000  
 William J. Fennell P.E. PE No. 06A010000

Sheet Number  
 9 OF 16

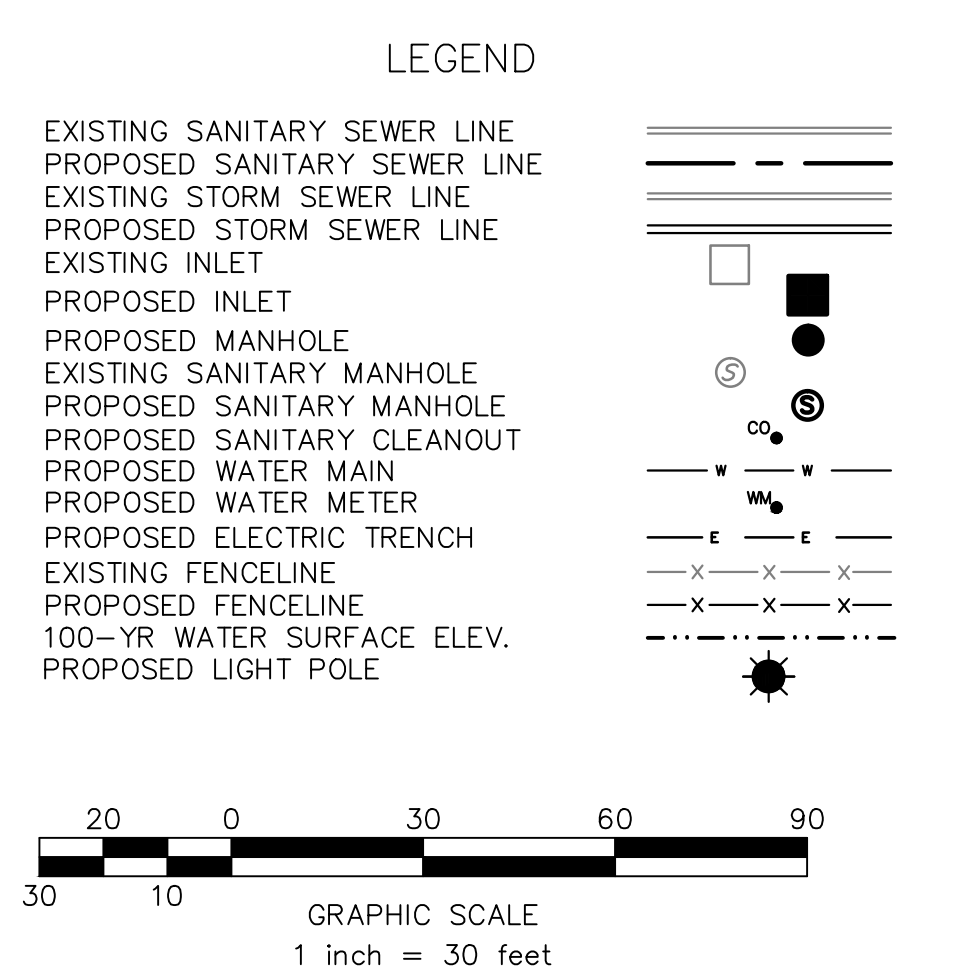


- LIGHTING NOTES:**
- 1) THE PROPOSED BUILDING MOUNTED LIGHT FIXTURES SHALL BE INSTALLED WITH A MOUNTING HEIGHT OF 12 FT. (FIXTURE TO GRADE).
  - 2) THE PROPOSED POLE MOUNTED LIGHT FIXTURES SHALL BE INSTALLED WITH A MOUNTING HEIGHT OF 12 FT. (FIXTURE TO GRADE). THE PROPOSED BOLLARDS FIXTURES SHALL BE INSTALLED WITH A MOUNTING HEIGHT OF 3.5 FT. (FIXTURE TO GRADE).
  - 3) POLES SHALL BE SET AT LEAST 3 FT. BEHIND THE FACE OF CURB.
  - 4) POLE BASES TO BE BY THE CONTRACTOR.
  - 5) LIGHTS SHALL OPERATE "DUSK TILL DAWN."
  - 6) ALL FIXTURES, POLES AND BOLLARDS ARE AS SPECIFIED OR APPROVED EQUAL ANY SUBSTITUTIONS MUST BE APPROVED BY THE BOROUGH ENGINEER.

| Symbol | Label | Quantity | Manufacturer | Catalog Number      | Description   | Lamp    | Number Lamps | Filename                | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|--------------|---------------------|---|---------|--------------|-------------------------|-----------------|-------------------|---------|
|        | A     | 13       | Holophane    | GVD2 P40 30K AS 3 N | Granite II LED, LED Package 40, 81W, 3000K, 132-27V, Type 3 distribution, No trim | LED COB | 1            | GVD2_P40_30K_AS_3_N.rvt | 8847            | 1                 | 81      |
|        | E     | 5        | Holophane    | GVD2 P40 30K AS 5 N | Granite II LED, LED Package 40, 81W, 3000K, 132-27V, Type 5 distribution, No trim | LED COB | 1            | GVD2_P40_30K_AS_5_N.rvt | 8844            | 1                 | 81      |
|        | C     | 24       | Hydrel       | 3130/3140-1005-FT   | 3140 LOWER BOLLARD, FORWARD THROW DISTRIBUTION WITH COATED 100W HPS ED-17         |         | 1            | 3130_3140-1005-FT.rvt   | 8800            | 1                 | 134.7   |

| Symbol | Label | Quantity | Manufacturer | Catalog Number   | Description   | Number Lamps | Filename                  | Lumens Per Lamp | Light Loss Factor | Wattage | Lamp        |
|--------|-------|----------|--------------|------------------|---|--------------|---------------------------|-----------------|-------------------|---------|-------------|
|        | G     | 19       | Cree Inc     | FP24-SOL-35K-10V | 2'x4' flat panel fixture consisting of a white metal frame, a diffusion panel, and a light guide. | 1            | IES File_FP24-SOL-35K-IES | 4854.665        | 1                 | 47.82   | Luxtar 3014 |



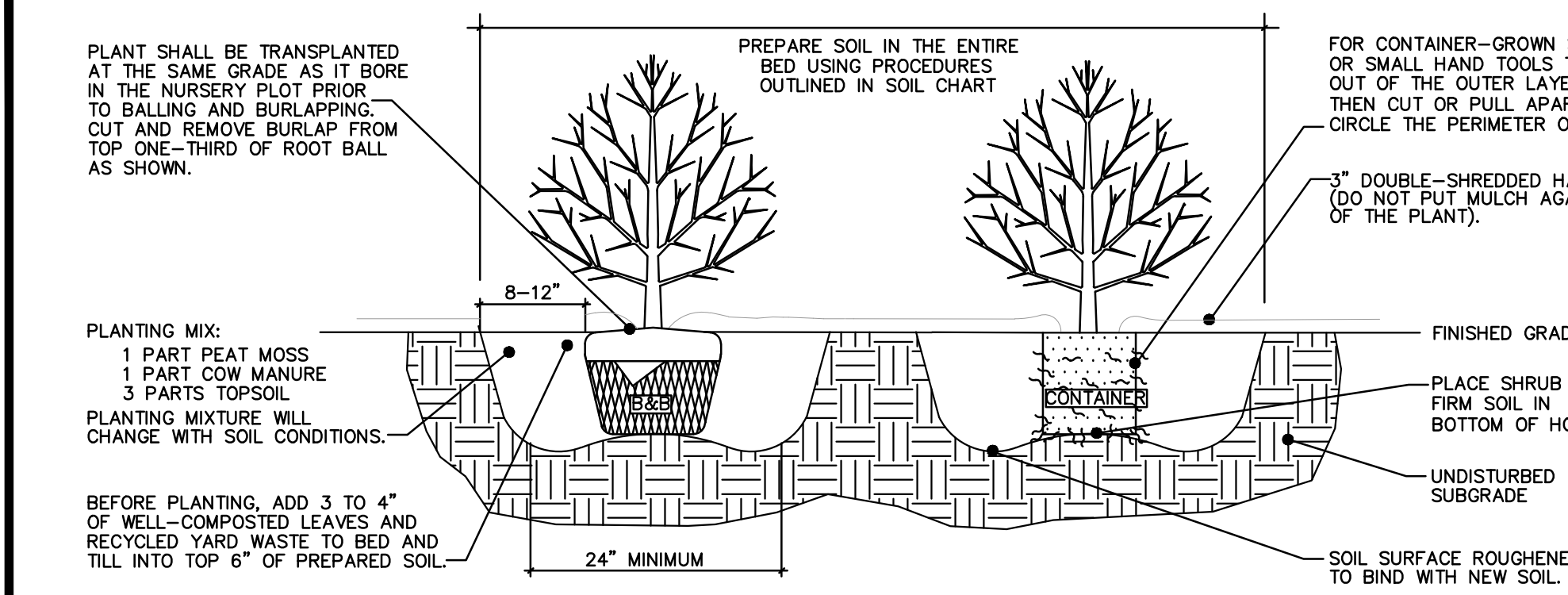
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|--|-----------------|----------------------------|---------------------|
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| PROJECT No.: MCP-131                             | DATE: 07/23/17  | HORIZONTAL SCALE: 1" = 30' | VERTICAL SCALE: N/A |
| DRAWING NAME: GC-Landscape and Lighting Plan.dwg | DATE: 07/23/17  | PROJECT No.: MCP-131       | DATE: 07/23/17      |
| DRAWN BY: MWV                                    | CHECKED BY: LLZ | RELEASED BY: LLZ           | DATE: 07/23/17      |
| PROJECT No.: MCP-131                             | DATE: 07/23/17  | HORIZONTAL SCALE: 1" = 30' | VERTICAL SCALE: N/A |
| DRAWING NAME: GC-Landscape and Lighting Plan.dwg | DATE: 07/23/17  | PROJECT No.: MCP-131       | DATE: 07/23/17      |

**Louis L. Zuegner IV, P.E.**  
 PROFESSIONAL ENGINEER  
 License No. 120800000

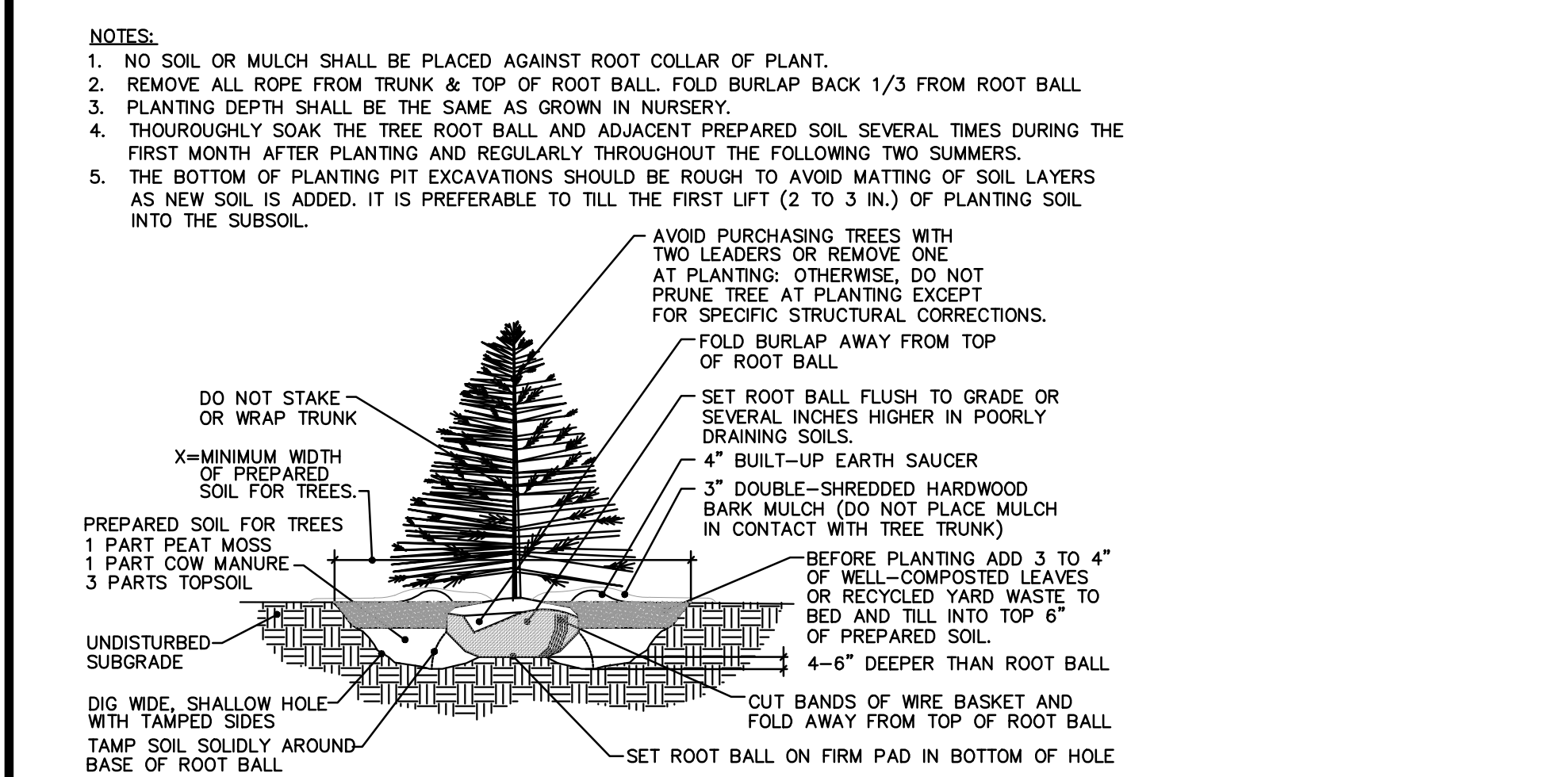
**PRELIMINARY/FINAL MAJOR SITE PLAN  
 MARINER'S VILLAGE AT KEYPORT  
 BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 & 14.01  
 LIGHTING PLAN**

SITUATED IN  
 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

Sheet Number  
**10 of 16**



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

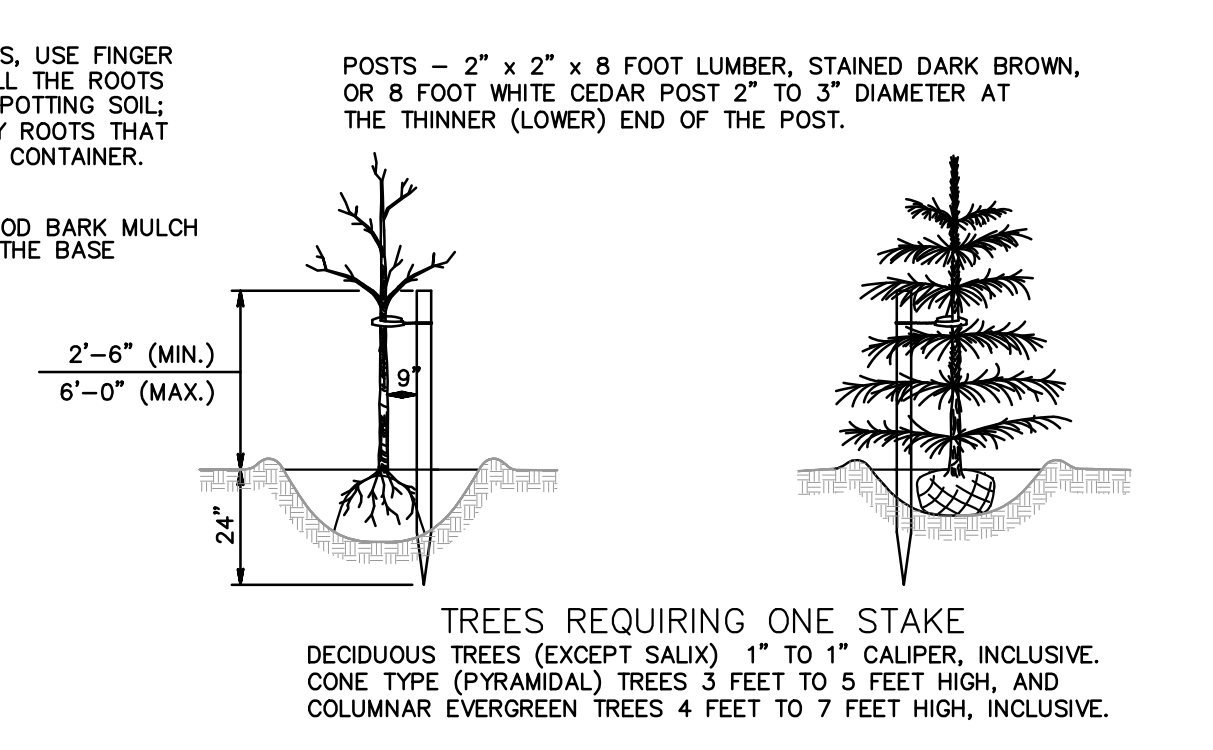
PLANT SCHEDULE table listing botanical names, quantities, common names, and sizes for various trees and shrubs.

ACO PLANTING SCHEDULE

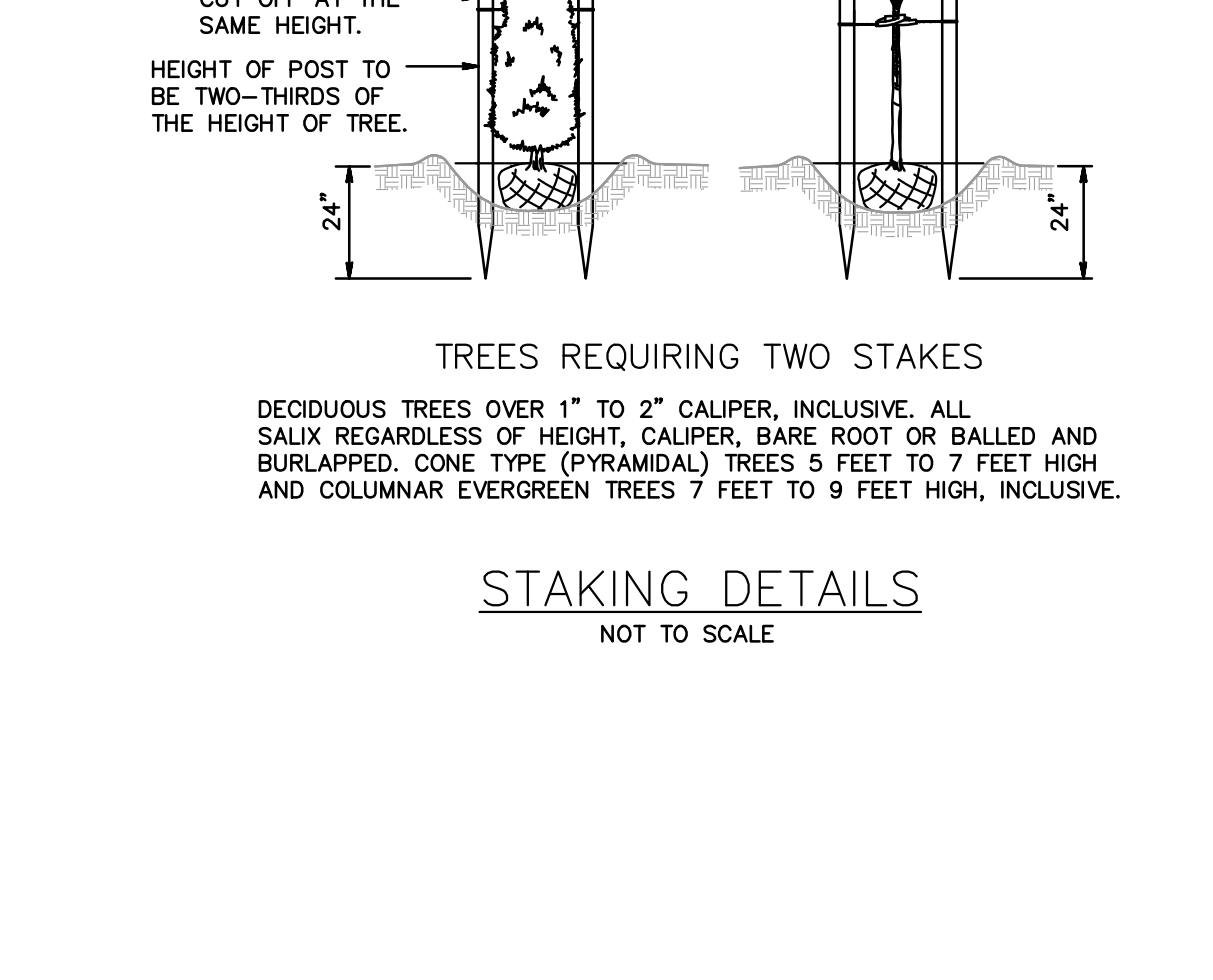
PLANT SCHEDULE - UPLAND ENHANCEMENT AREA table listing botanical names, quantities, common names, and sizes for upland plants.

ACO PLANTING SCHEDULE

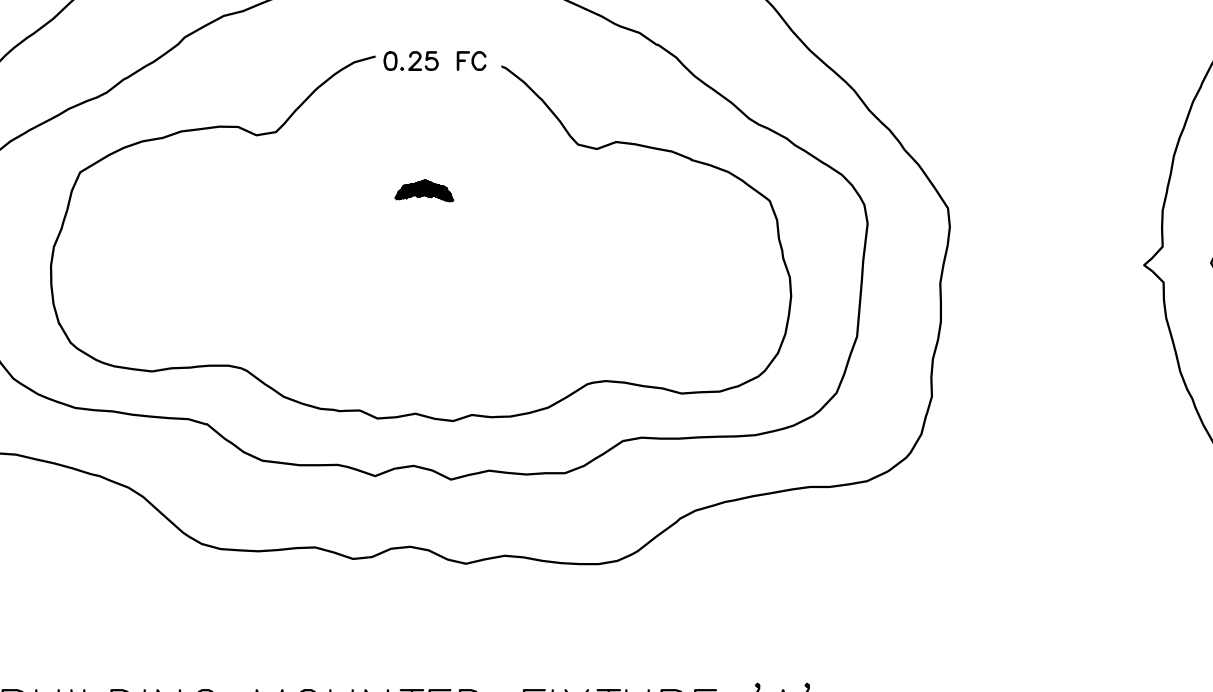
PLANT SCHEDULE - WETLAND MITIGATION AREA table listing botanical names, quantities, common names, and sizes for wetland plants.



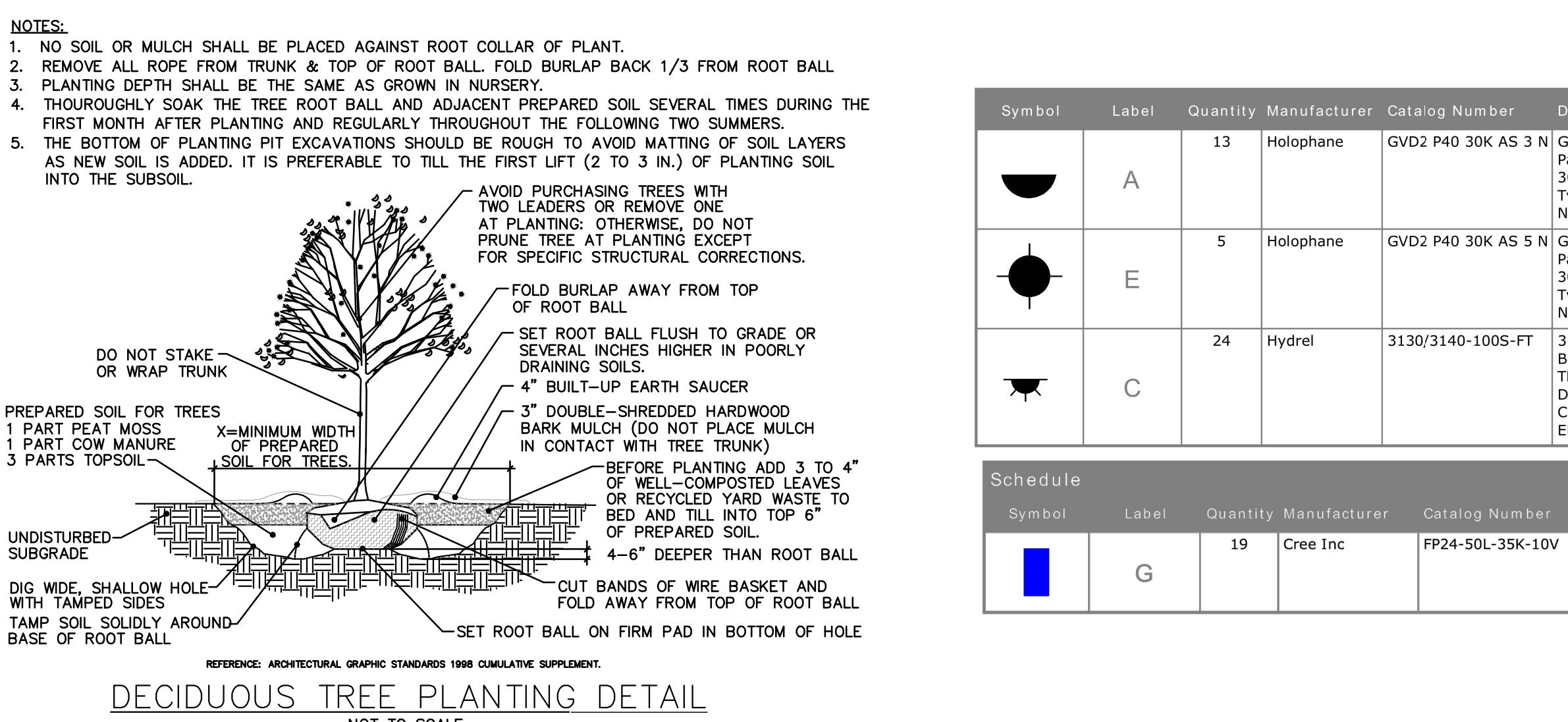
TREES REQUIRING ONE STAKE



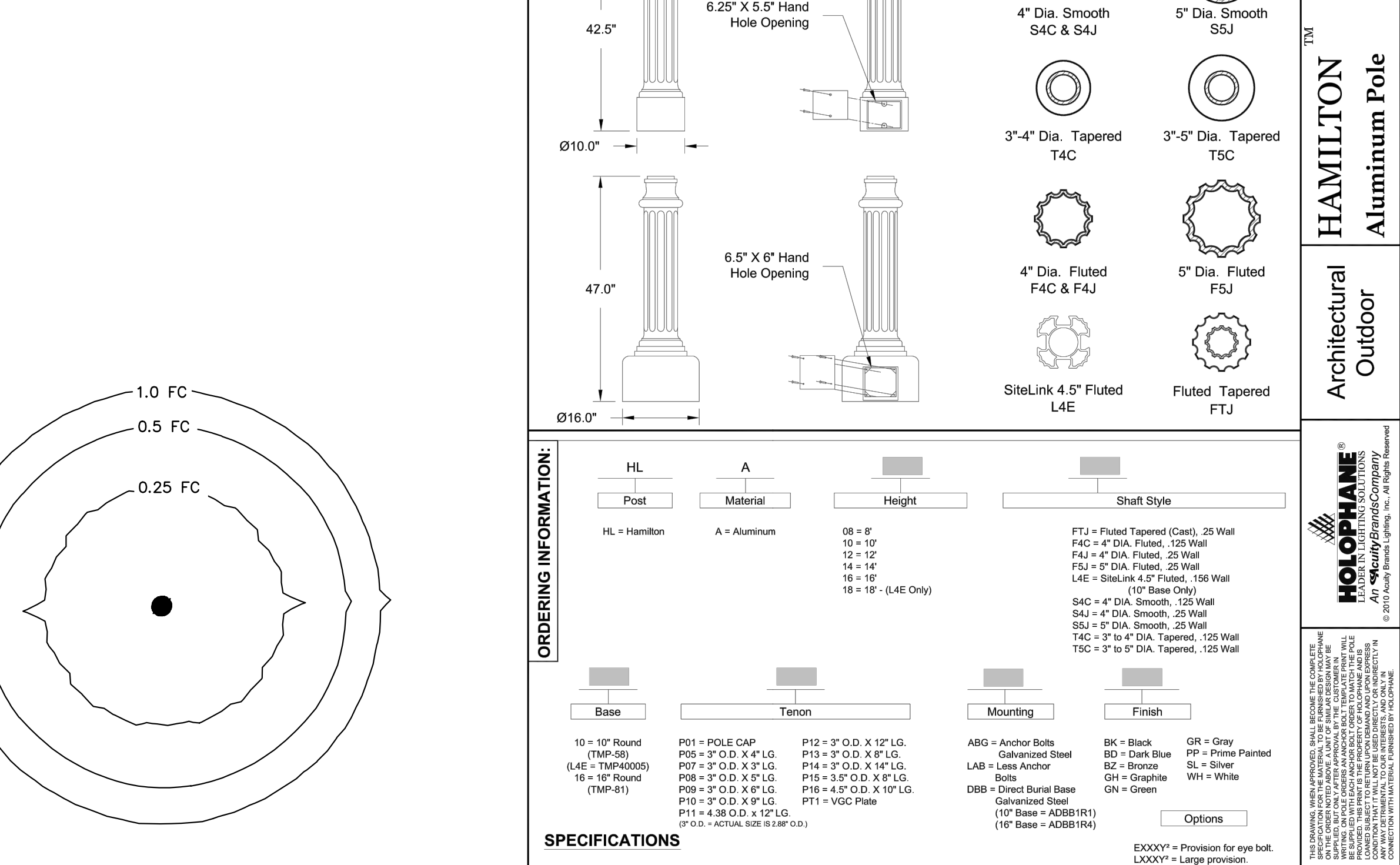
TREES REQUIRING TWO STAKES



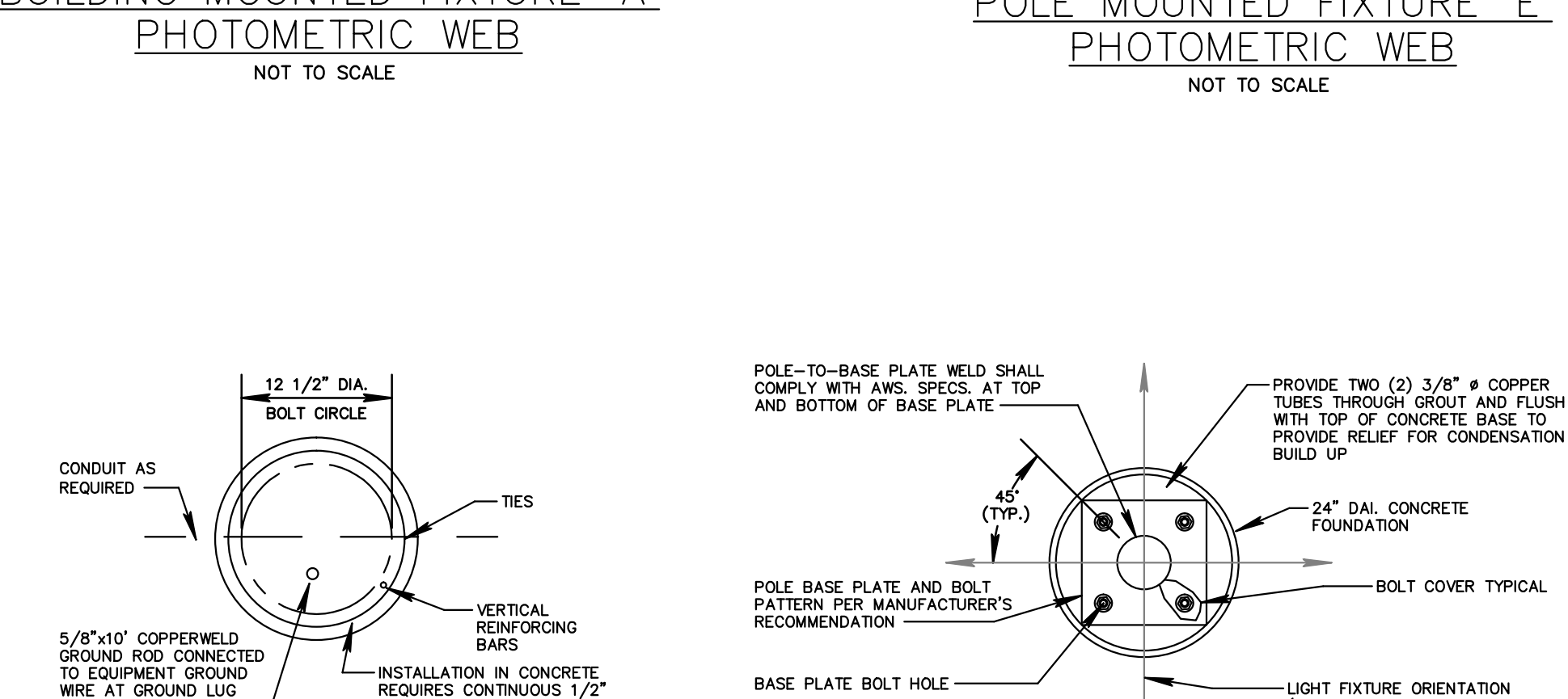
STAKING DETAILS NOT TO SCALE



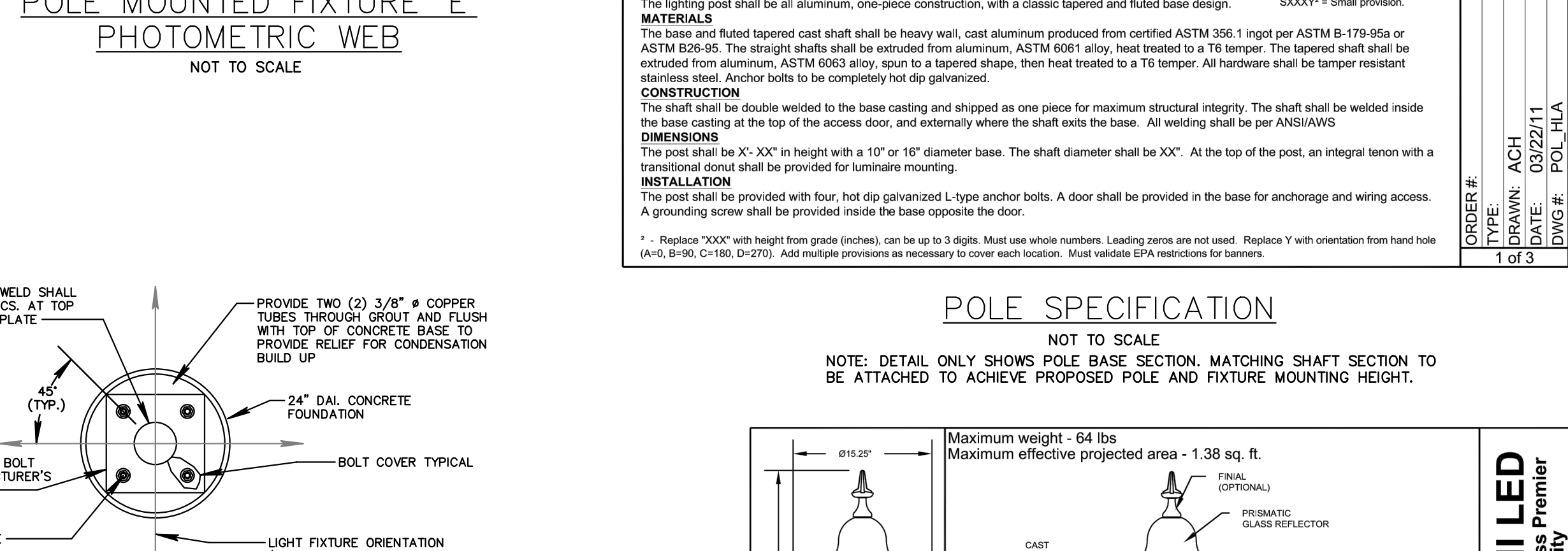
DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



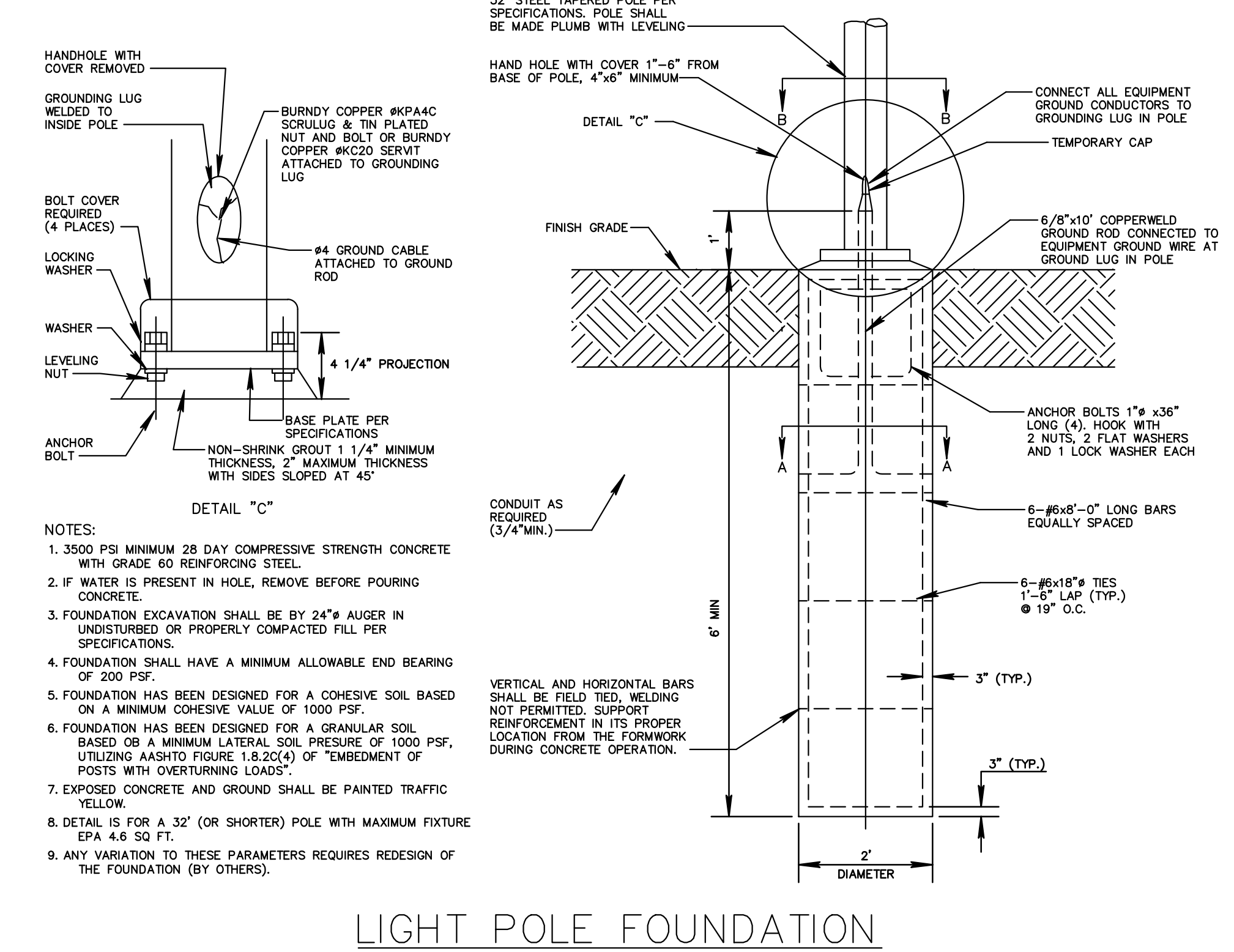
HAMILTON Pole Aluminum Pole



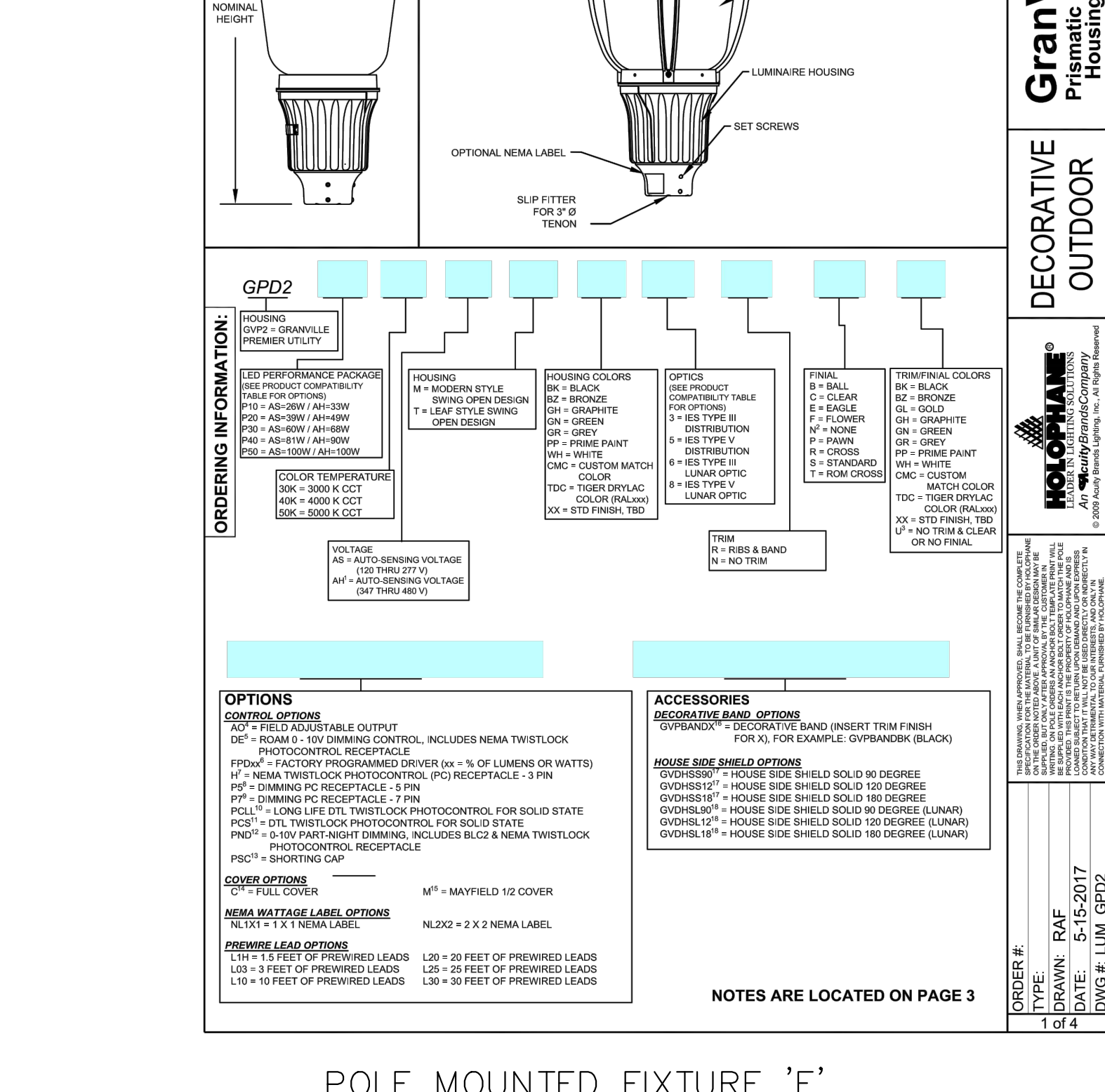
BUILDING MOUNTED FIXTURE 'A' PHOTOMETRIC WEB NOT TO SCALE



POLE MOUNTED FIXTURE 'E' PHOTOMETRIC WEB NOT TO SCALE



LIGHT POLE FOUNDATION NOT TO SCALE



POLE MOUNTED FIXTURE 'E' SPECIFICATIONS NOT TO SCALE

Luminaire Schedule table listing luminaire models, quantities, manufacturers, and specifications.

Schedule

3140C LED Impact Resistant Square Bollard Flat Top product page including specifications, description, and ordering information.

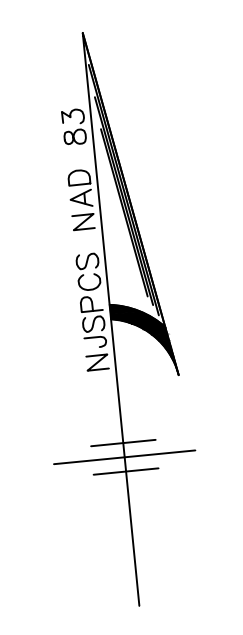
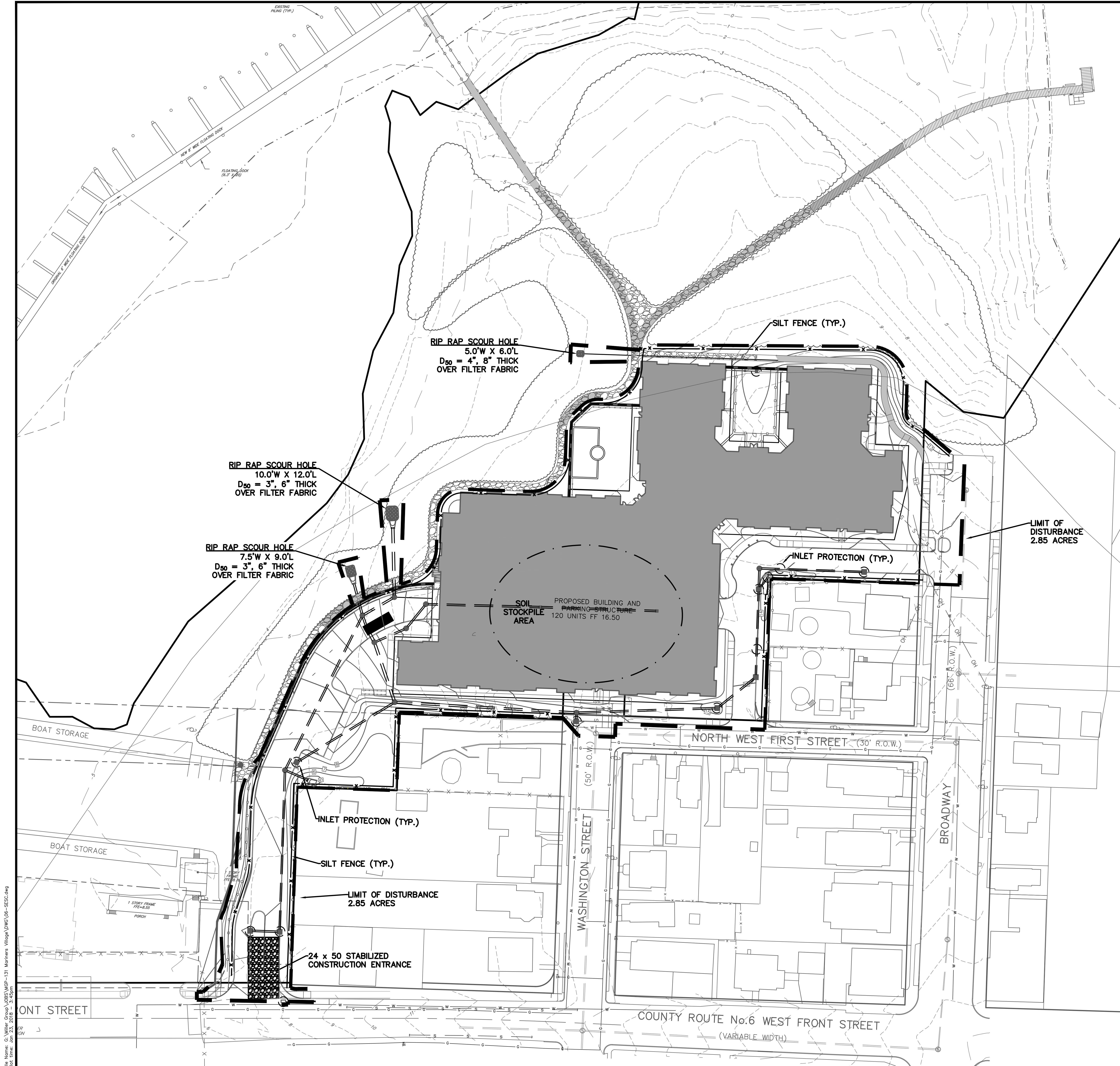
BOLLARD FIXTURE 'C' SPECIFICATIONS NOT TO SCALE

Lowell LED Winscape product page including specifications, description, and ordering information.

GranVile II LED Prismatic Style Glass Premier Housing Size Utility product page including specifications and ordering information.

WALL MOUNTED FIXTURE 'A' SPECIFICATIONS NOT TO SCALE

Vertical text on the right margin containing project information, drawing details, and revision notes.

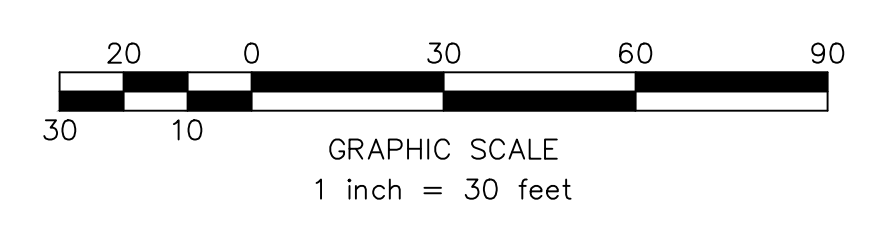


THIS PLAN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJG0088323 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.

**CONSTRUCTION NOTE**  
THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. THIS PLAN IS NOT TO BE USED FOR SITE

**NOTICE TO CONTRACTOR**  
ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK AREA ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER AND THE CONTRACTOR IS ADVISED TO VERIFY, IN THE FIELD, ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES AND OTHER CONSTRUCTION OBSTACLES PRIOR TO THE START OF CONSTRUCTION. FURTHER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY EFFECT THE PROJECT DESIGN.

THE CONTRACTOR SHALL CONTRACT NEW JERSEY ONE CALL (1-800-272-1000 OR LATEST NUMBER) FOR UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION.

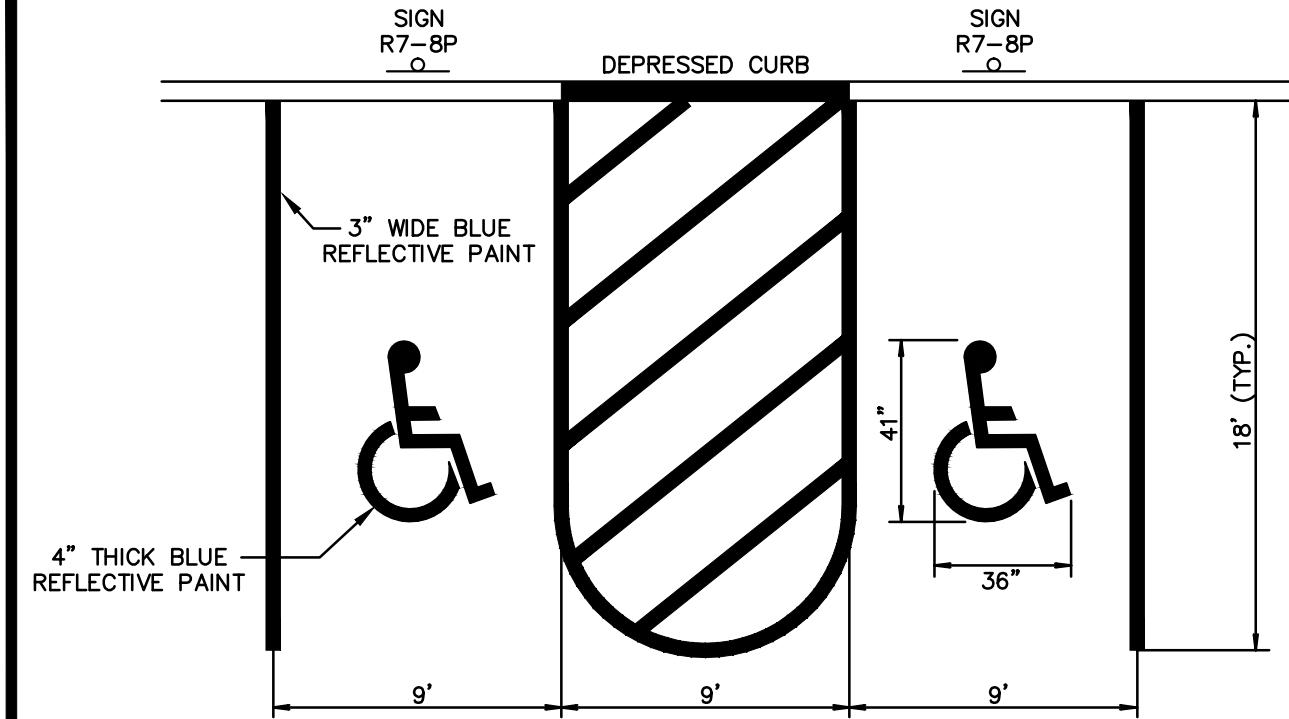


**LEGEND**

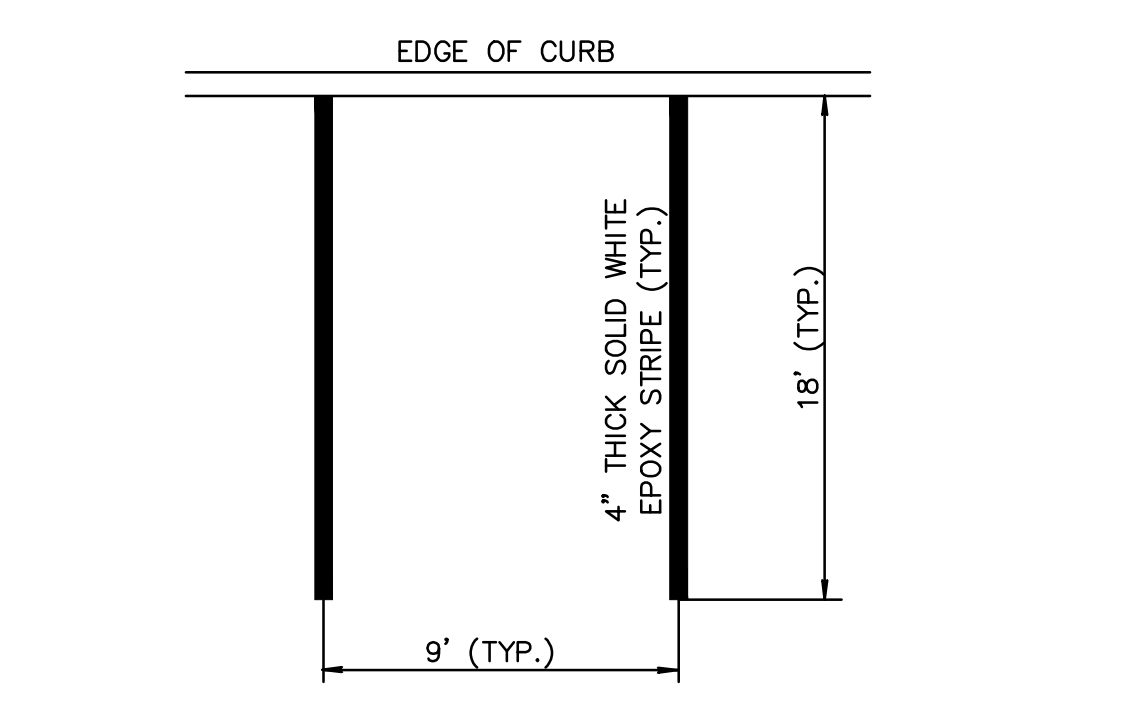
|                               |           |
|-------------------------------|-----------|
| EXISTING CONTOUR              | - - - - - |
| PROPOSED CONTOUR              | — — — — — |
| EXISTING SPOT ELEVATION       | 57.6      |
| PROPOSED SPOT ELEVATION       | x 57.6    |
| EXISTING SANITARY SEWER LINE  | — — — — — |
| PROPOSED SANITARY SEWER LINE  | — — — — — |
| EXISTING STORM SEWER LINE     | — — — — — |
| PROPOSED STORM SEWER LINE     | — — — — — |
| EXISTING INLET                | □         |
| PROPOSED INLET                | □         |
| EXISTING MANHOLE              | ⊙         |
| PROPOSED MANHOLE              | ⊙         |
| EXISTING WATER LINE           | — — — — — |
| PROPOSED WATER LINE           | — — — — — |
| EXISTING WATER VALVE          | ⊕         |
| PROPOSED WATER VALVE          | ⊕         |
| EXISTING GAS LINE             | — — — — — |
| PROPOSED GAS LINE             | — — — — — |
| EXISTING SAN CLEAN OUT        | — — — — — |
| PROPOSED SAN CLEAN OUT        | — — — — — |
| EXISTING SIGN                 | ⊕         |
| PROPOSED SIGN                 | ⊕         |
| EXISTING LIGHT                | ⊕         |
| PROPOSED LIGHT                | ⊕         |
| EXISTING FENCELINE            | — — — — — |
| PROPOSED FENCELINE            | — — — — — |
| PROPOSED LIMIT OF DISTURBANCE | — — — — — |
| PROPOSED SILT FENCE           | — — — — — |
| PROPOSED INLET PROTECTION     | — — — — — |
| PROPOSED SOIL STOCKPILE AREA  | — — — — — |
| PROPOSED TRACKING PAD         | — — — — — |

|  |                        |                               |                   |                   |                   |   |                   |                          |
|--|------------------------|-------------------------------|-------------------|-------------------|-------------------|---|-------------------|--------------------------|
| FILE NAME: C:\Miller Group\0885\MGP-131 Mariner's Village\DWG\08-SESS.dwg<br>PLOT TIME: Jan 23, 2018 - 3:56pm  | RELEASED BY:<br>MWW    | CHECKED BY:<br>CFJU           | DATE:<br>07/31/17 | DRAWN BY:<br>CFJU | DATE:<br>07/31/17 | PROJECT No.:<br>MGP-131                       | DATE:<br>12/27/17 | REVISIONS:<br>DATE<br>BY |
|  | VERTICAL SCALE:<br>N/A | HORIZONTAL SCALE:<br>1" = 30' |                   |                   |                   | TOWN REVIEW<br>ZUC                            | DATE:<br>12/27/17 | REVISIONS:<br>DATE<br>BY |
|  |                        |                               |                   |                   |                   | NJREP SUBMISSION, ESCO & COUNTY REVIEW<br>ZUC | DATE:<br>12/27/17 | REVISIONS:<br>DATE<br>BY |
|  |                        |                               |                   |                   |                   | DATE:<br>06-SESS.dwg                          |                   |                          |
|  |                        |                               |                   |                   |                   |   |                   |                          |
| <p>PRELIMINARY/FINAL MAJOR SITE PLAN &amp; SUBDIVISION<br/>MARINER'S VILLAGE AT KEYPORT<br/>BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14 &amp; 14.01<br/>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</p> <p style="text-align: right;">SITUATED IN<br/>BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY</p> |                        |                               |                   |                   |                   |   |                   |                          |
| <p>Sheet Number<br/>12 OF 16</p>   |                        |                               |                   |                   |                   |   |                   |                          |

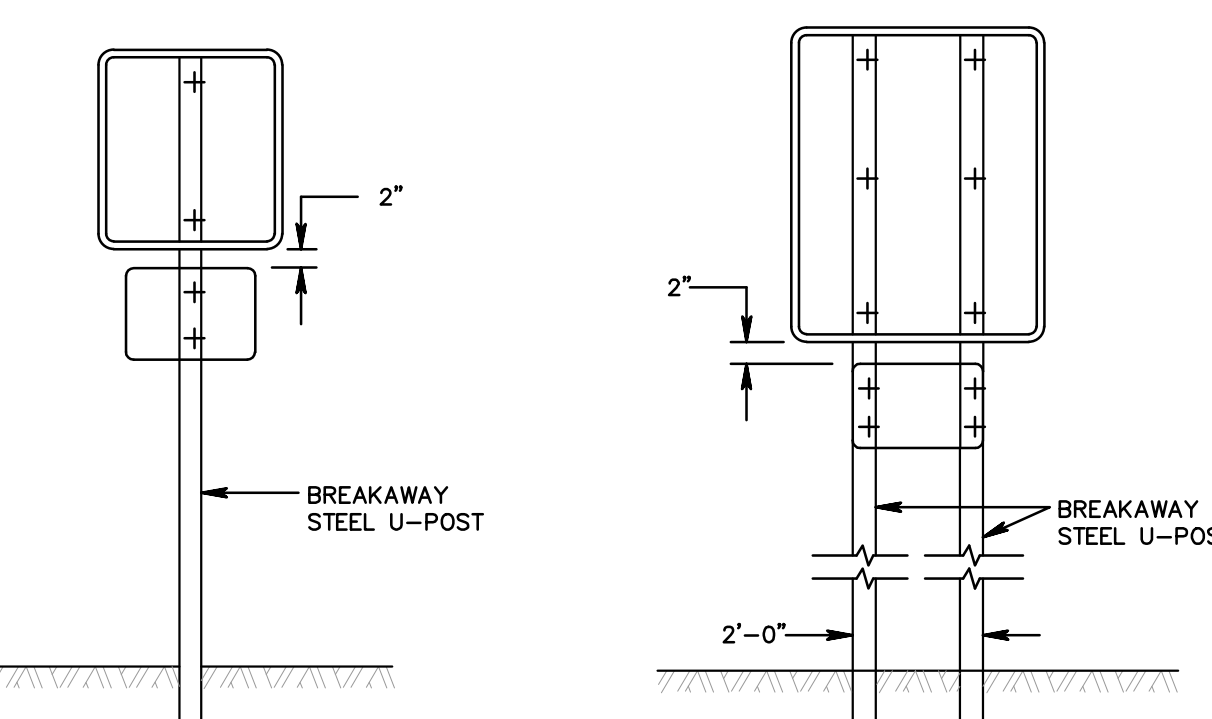




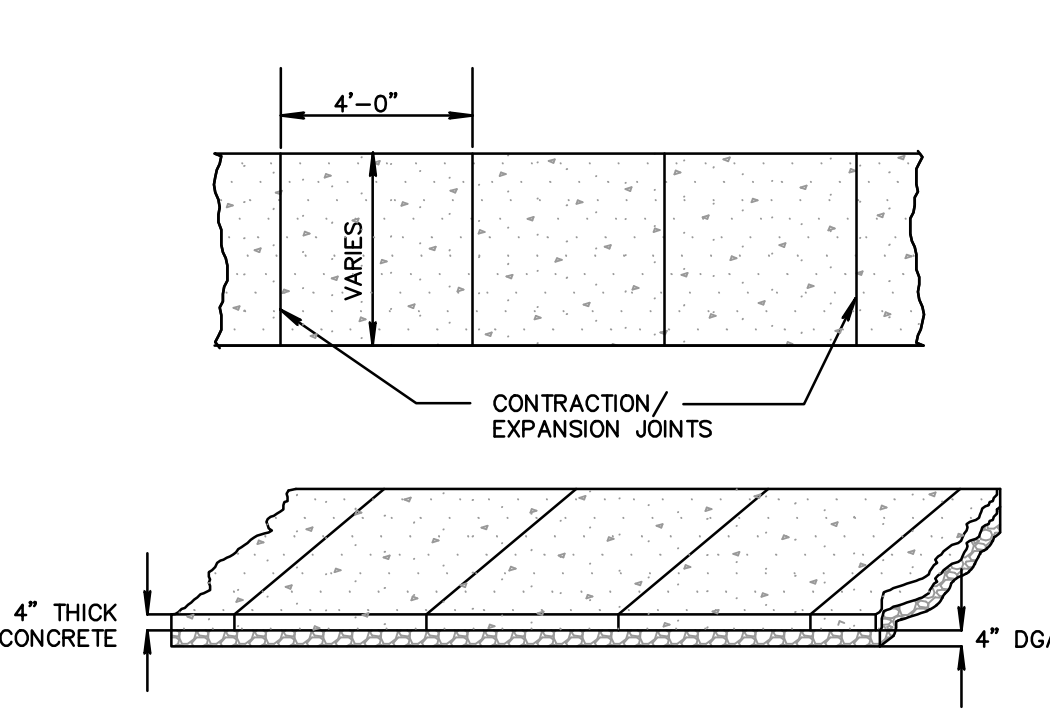
HANDICAP PARKING STALL STRIPING  
NOT TO SCALE



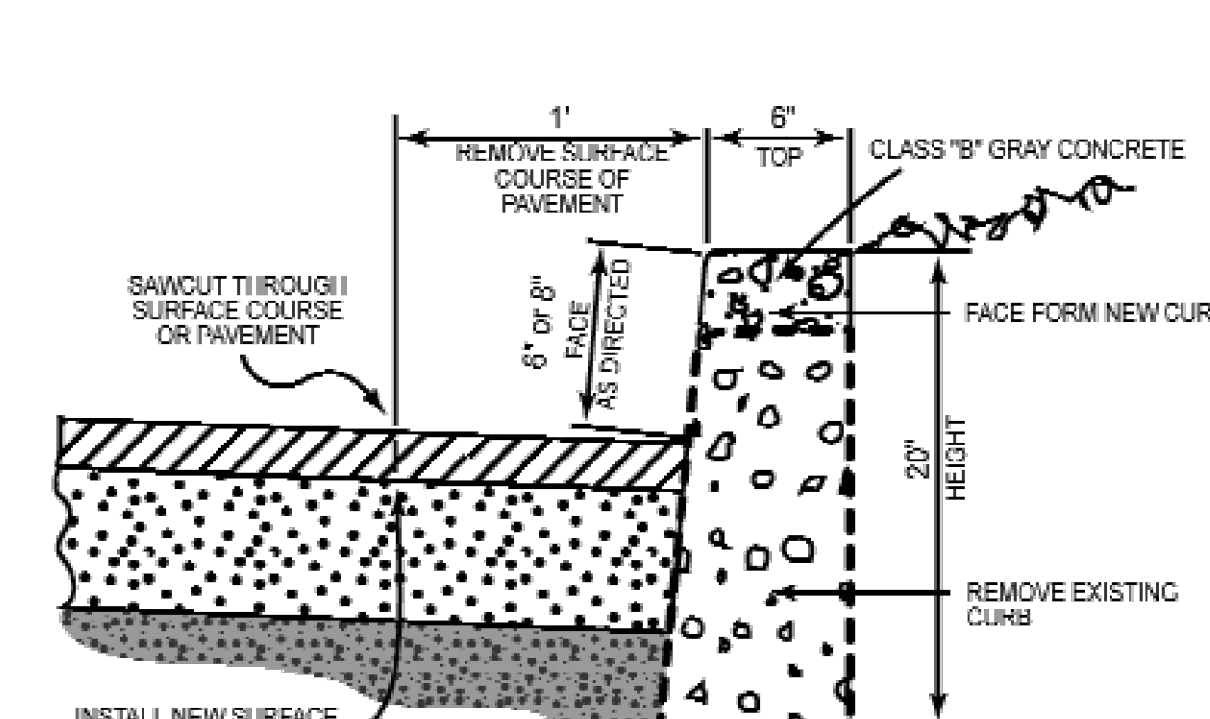
TYPICAL PARKING STALL STRIPING  
NOT TO SCALE



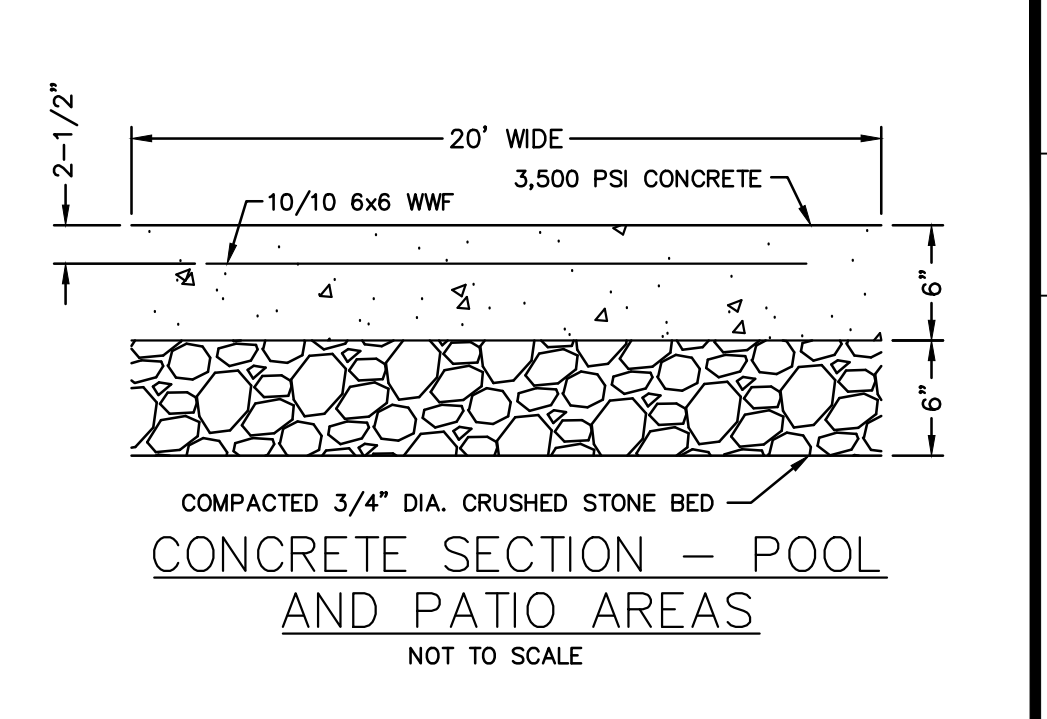
BREAKAWAY SIGN POST  
NOT TO SCALE



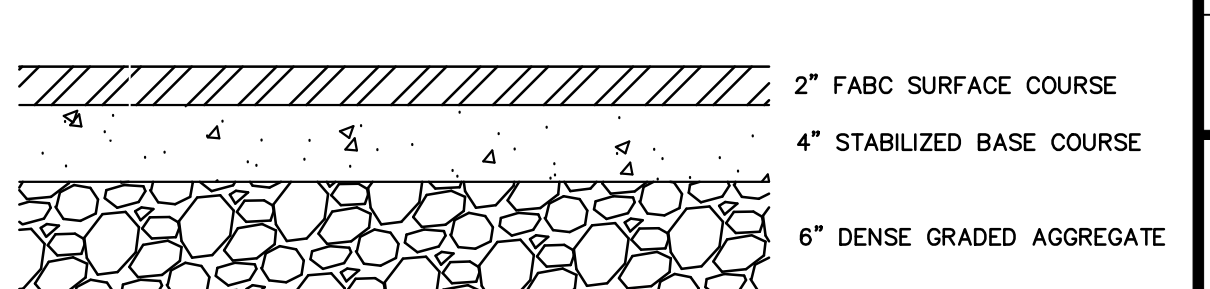
CONCRETE SIDEWALK  
NOT TO SCALE



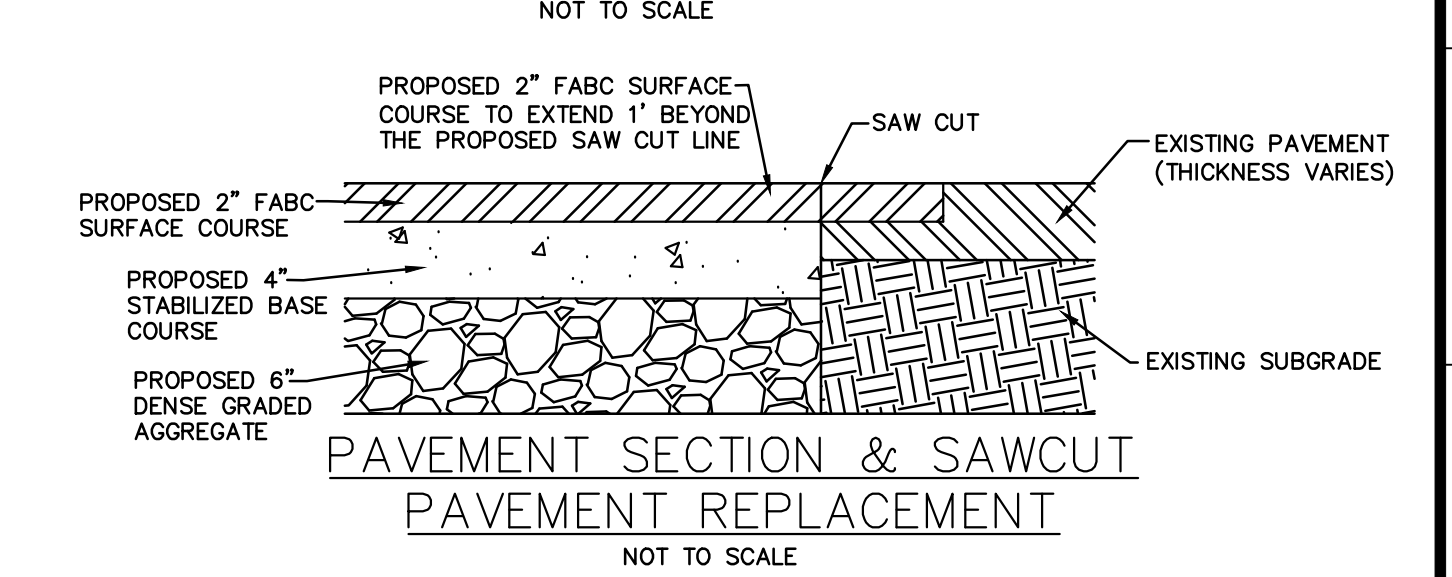
MONMOUTH COUNTY CURB AND PAVEMENT SECTION  
NOT TO SCALE



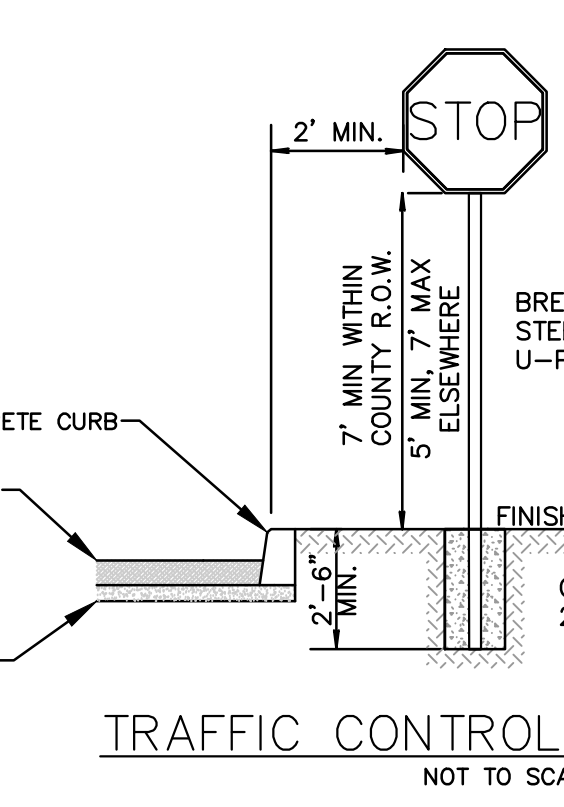
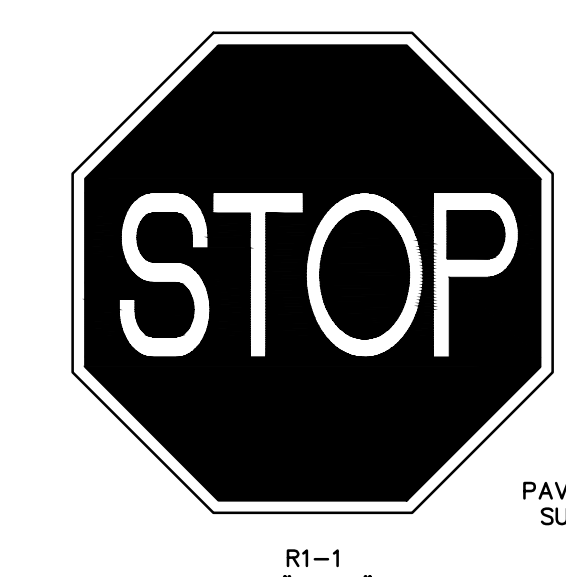
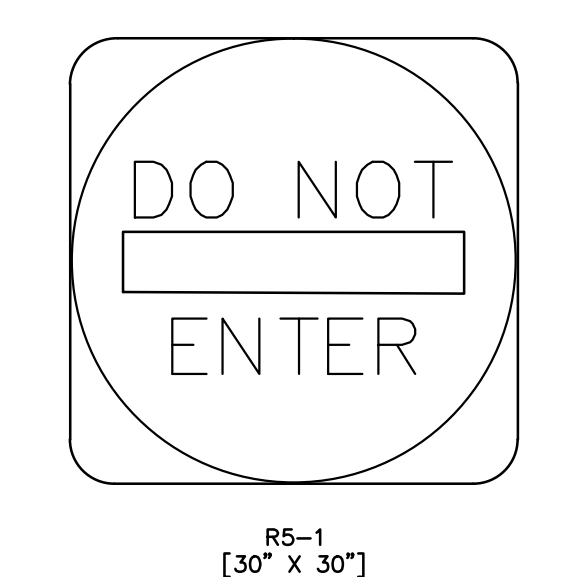
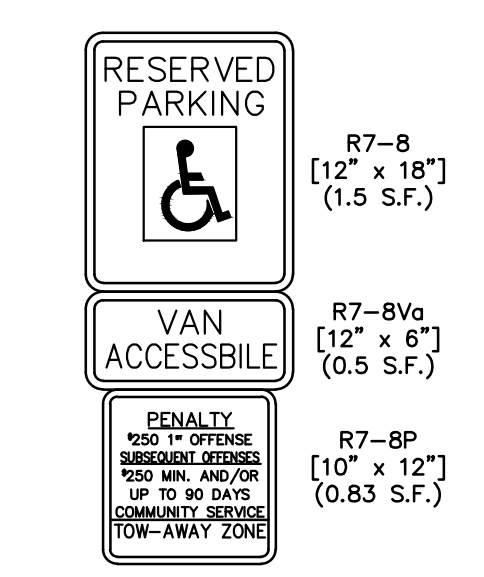
CONCRETE SECTION - POOL AND PATIO AREAS  
NOT TO SCALE



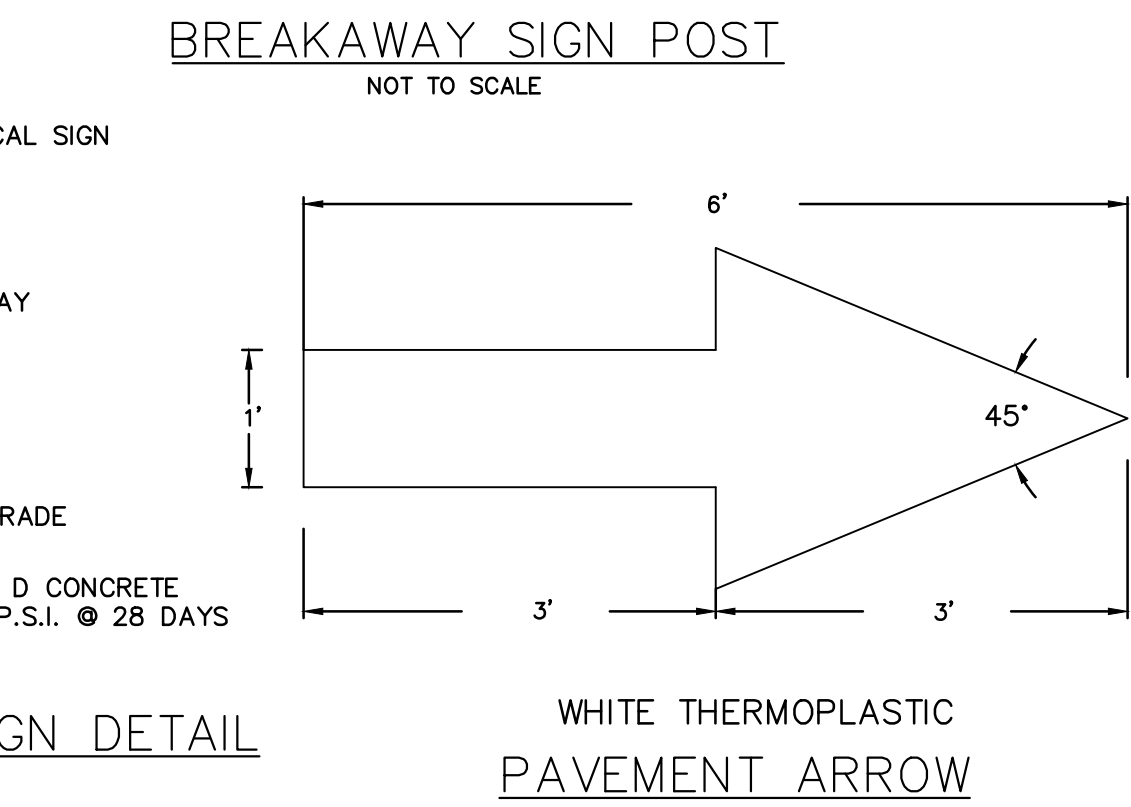
PAVEMENT SECTION  
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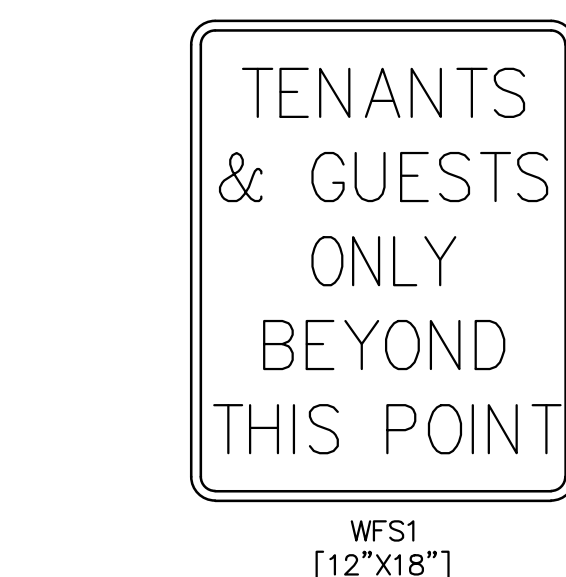
PAVEMENT SECTION & SAWCUT  
NOT TO SCALE



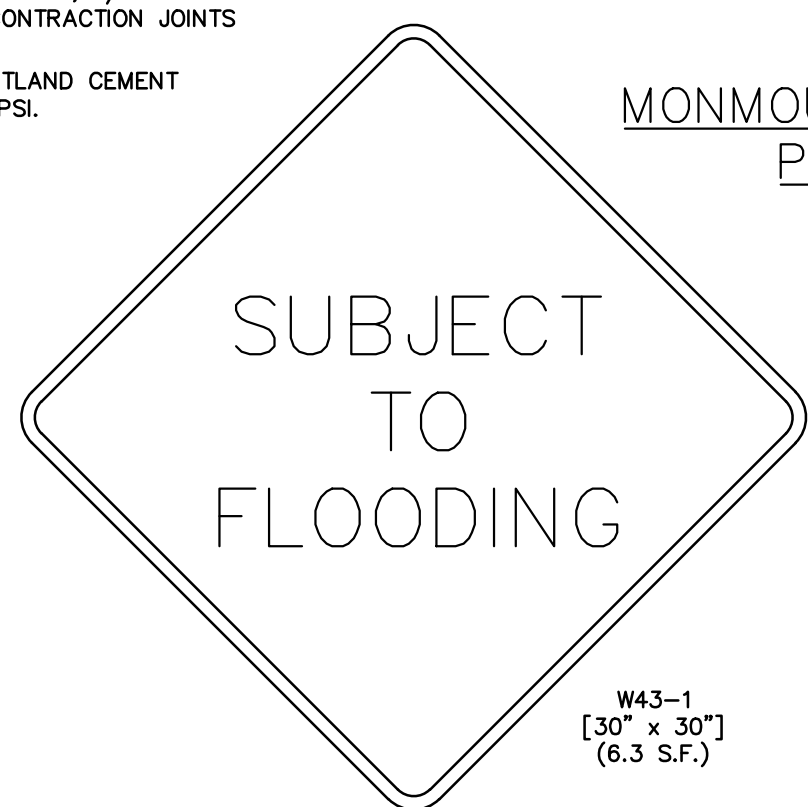
TRAFFIC CONTROL SIGN DETAIL  
NOT TO SCALE



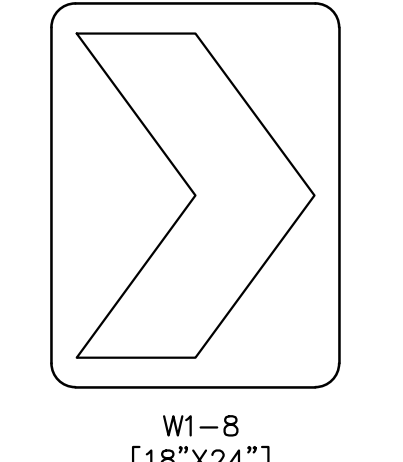
WHITE THERMOPLASTIC PAVEMENT ARROW  
NOT TO SCALE



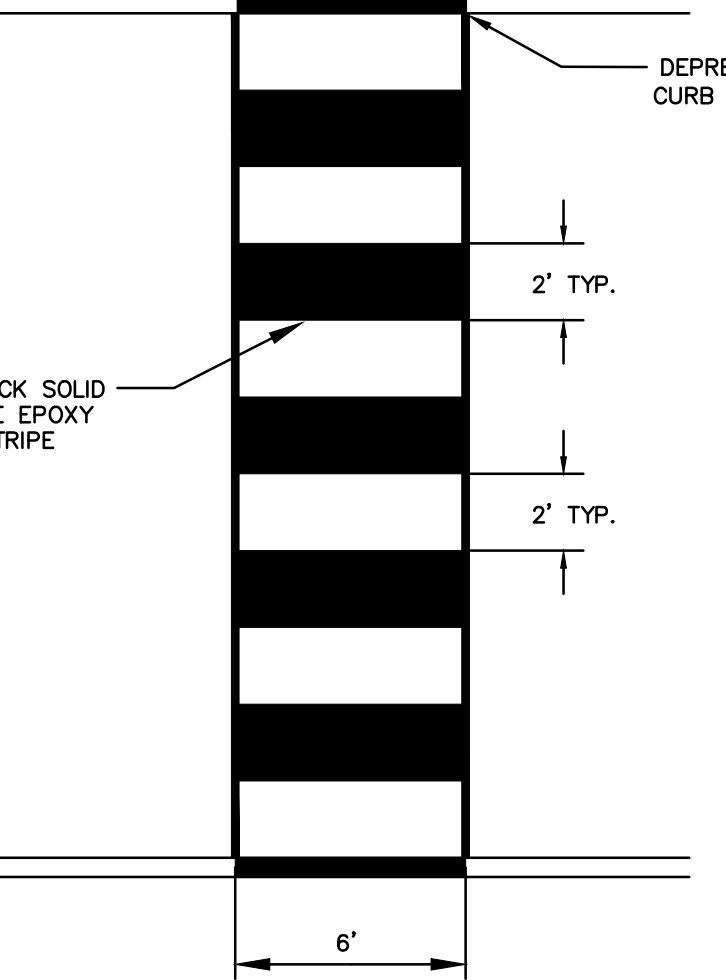
WFS1 [12\"/>



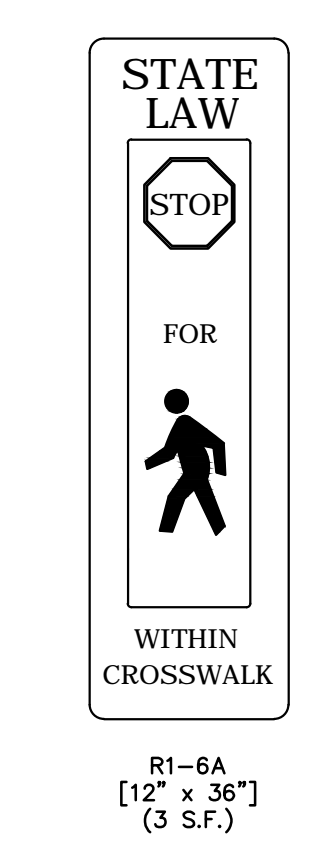
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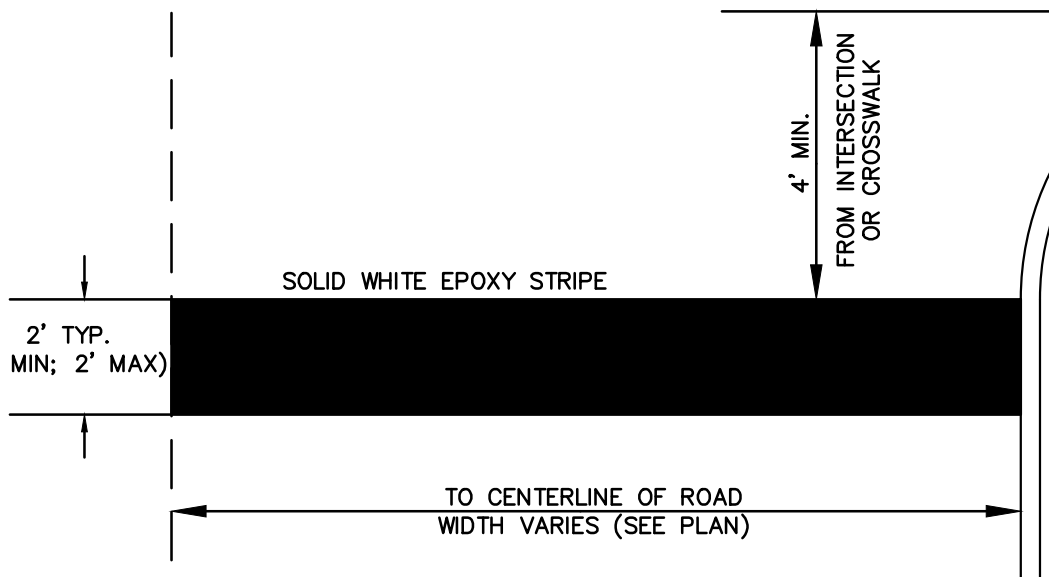
W1-8 [18\"/>



CROSSWALK DETAIL  
NOT TO SCALE

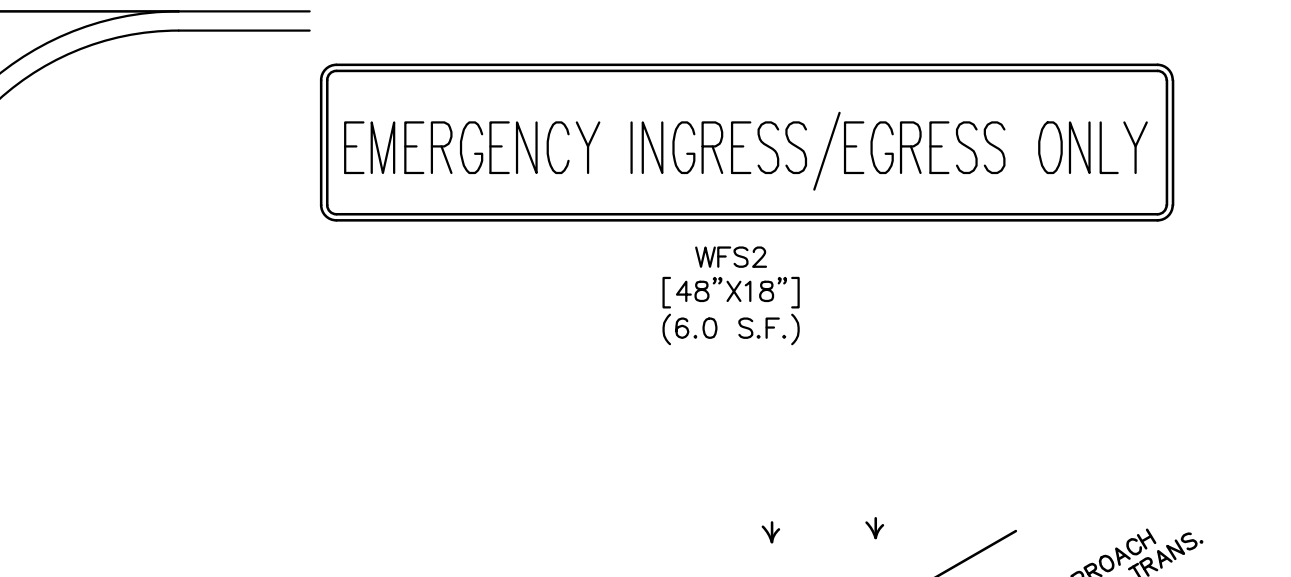


R1-6A [12\"/>



STOP BAR DETAIL  
NOT TO SCALE

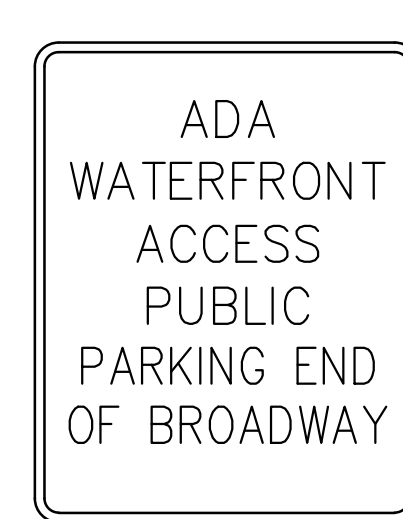
NOTE: IF A CROSSWALK EXISTS AT THE INTERSECTION, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE CROSSWALK. IF NO CROSSWALK EXISTS, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE INTERSECTION.



WFS2 [48\"/>



WFS3 [12\"/>



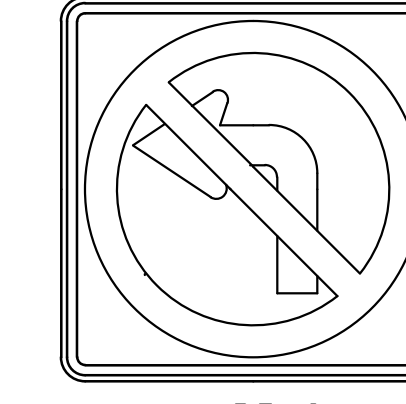
PP-2 [12\"/>



PP-1 [12\"/>



R6-1R [12\"/>

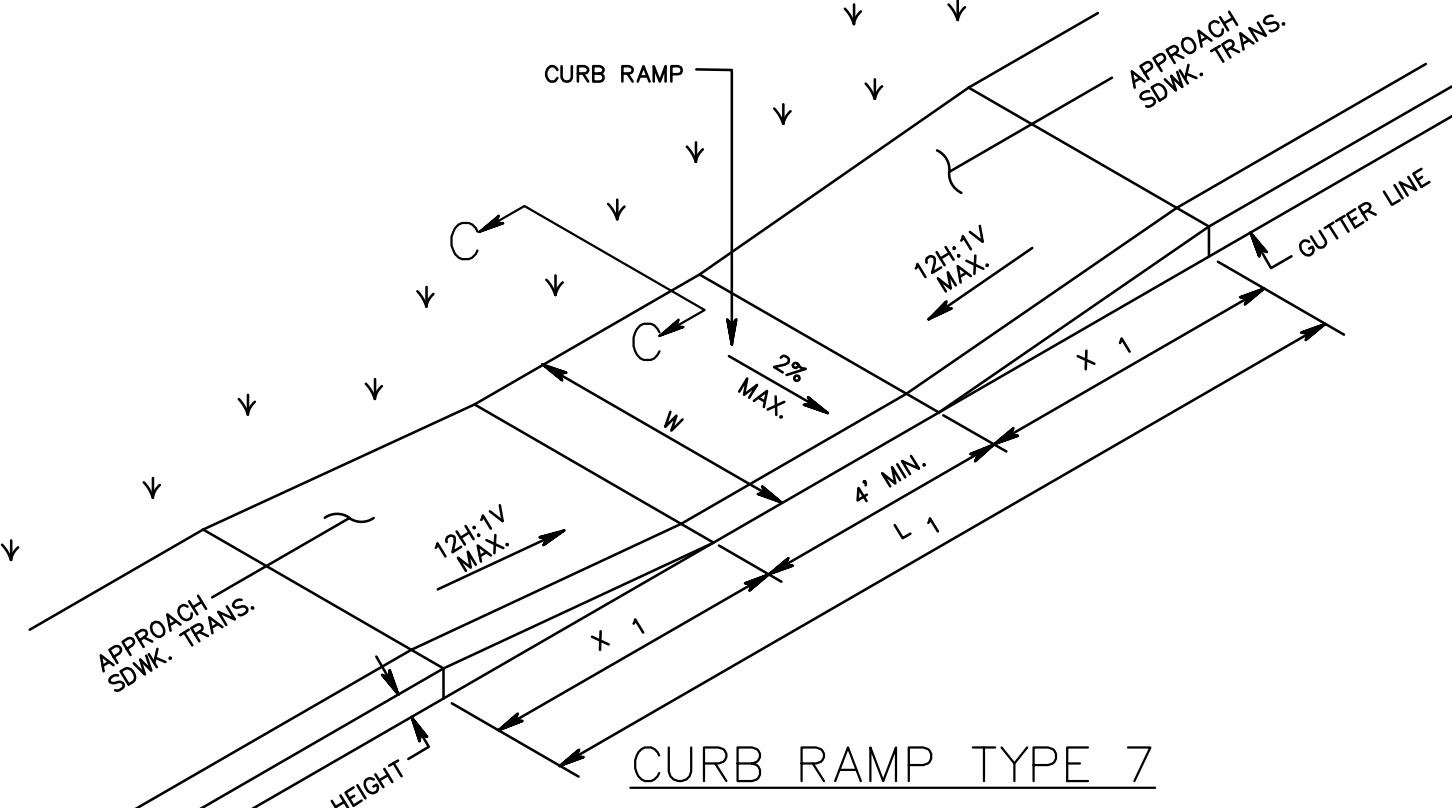


R3-2 [12\"/>



CS-1 [12\"/>

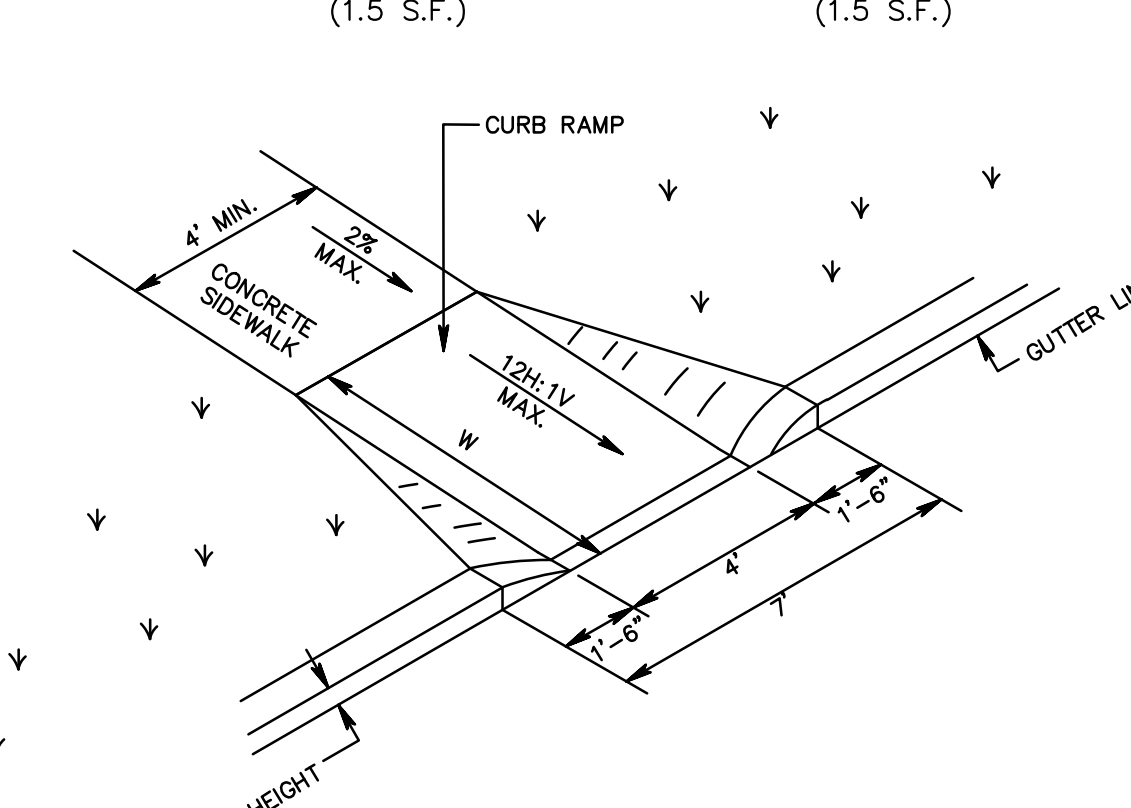
NOTE: EXACT LANGUAGE SUBJECT TO CHANGE BASED ON FINAL OWNER/APPLICANT PREFERENCE.



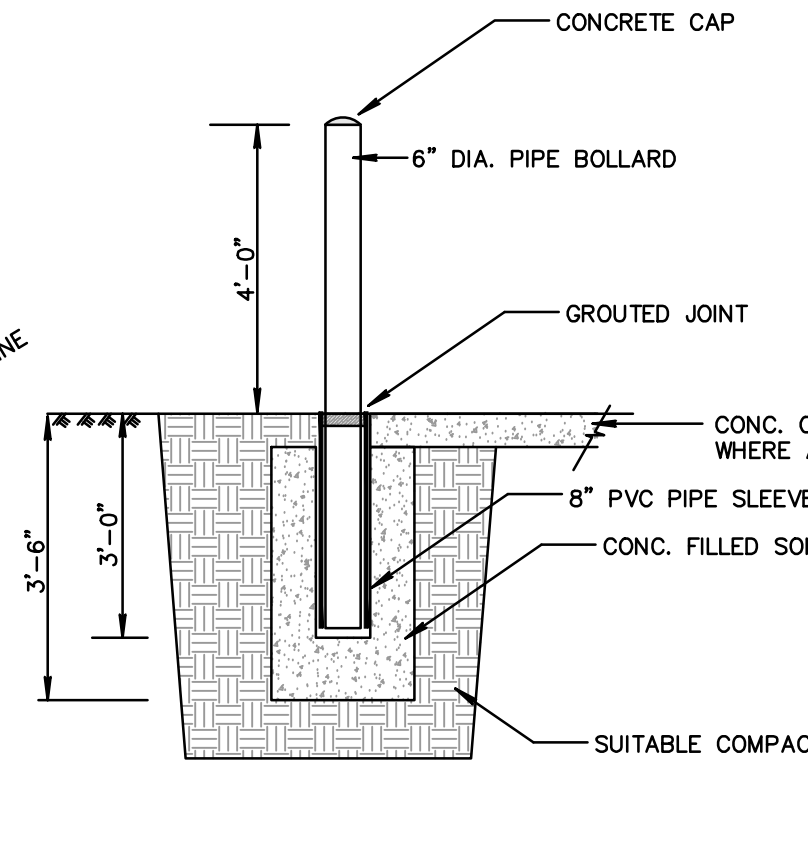
CURB RAMP TYPE 7  
(SEE NOTE 7)

| W FEET        | H INCHES | X 1 FEET | L 1 FEET |
|---------------|----------|----------|----------|
| 4 MIN. 6 MAX. | 3        | 3        | 11       |
|               | 4        | 4        | 13       |
|               | 5        | 5        | 15       |
|               | 6        | 6        | 17       |
|               | 7        | 7        | 19       |
|               | 8        | 8        | 21       |
|               | 9        | 9        | 23       |

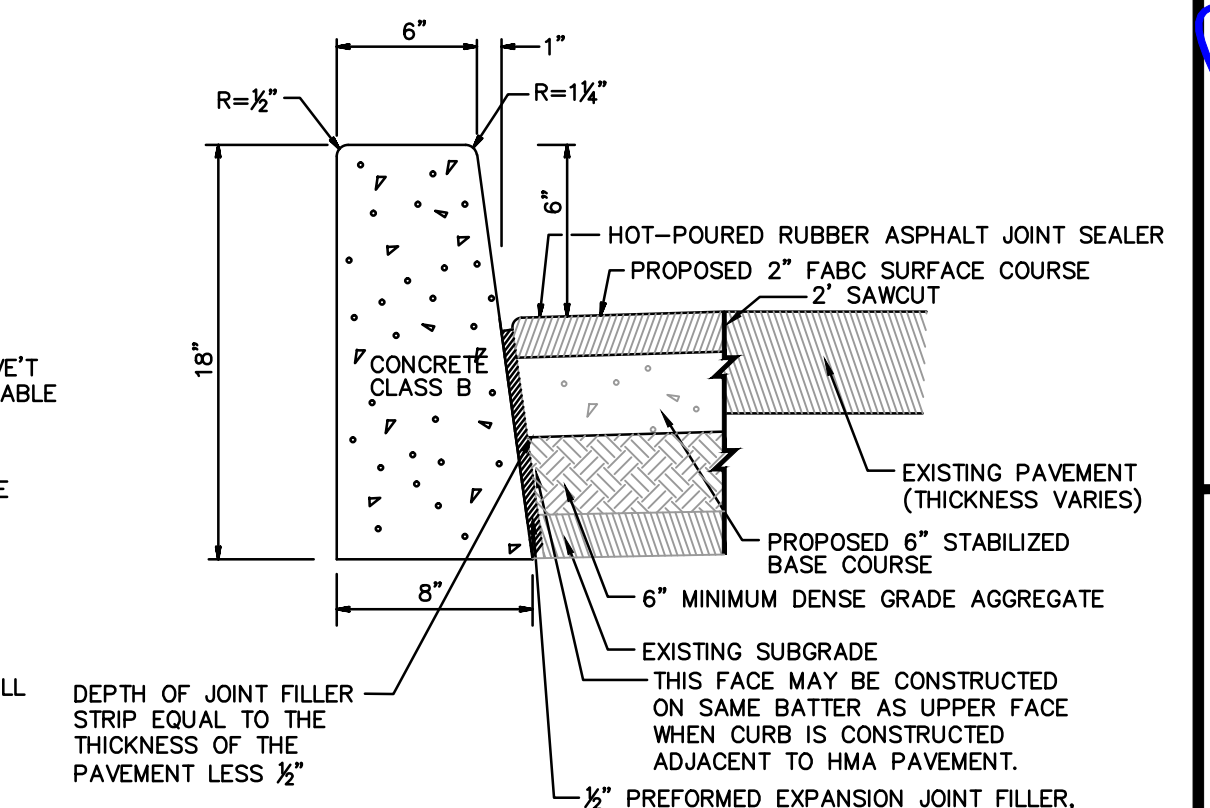
| H INCHES | W FEET |
|----------|--------|
| 3        | 3      |
| 4        | 4      |
| 5        | 5      |
| 6        | 6      |
| 7        | 7      |
| 8        | 8      |
| 9        | 9      |



CURB RAMP TYPE 2  
(GRASS BUFFER STRIP)

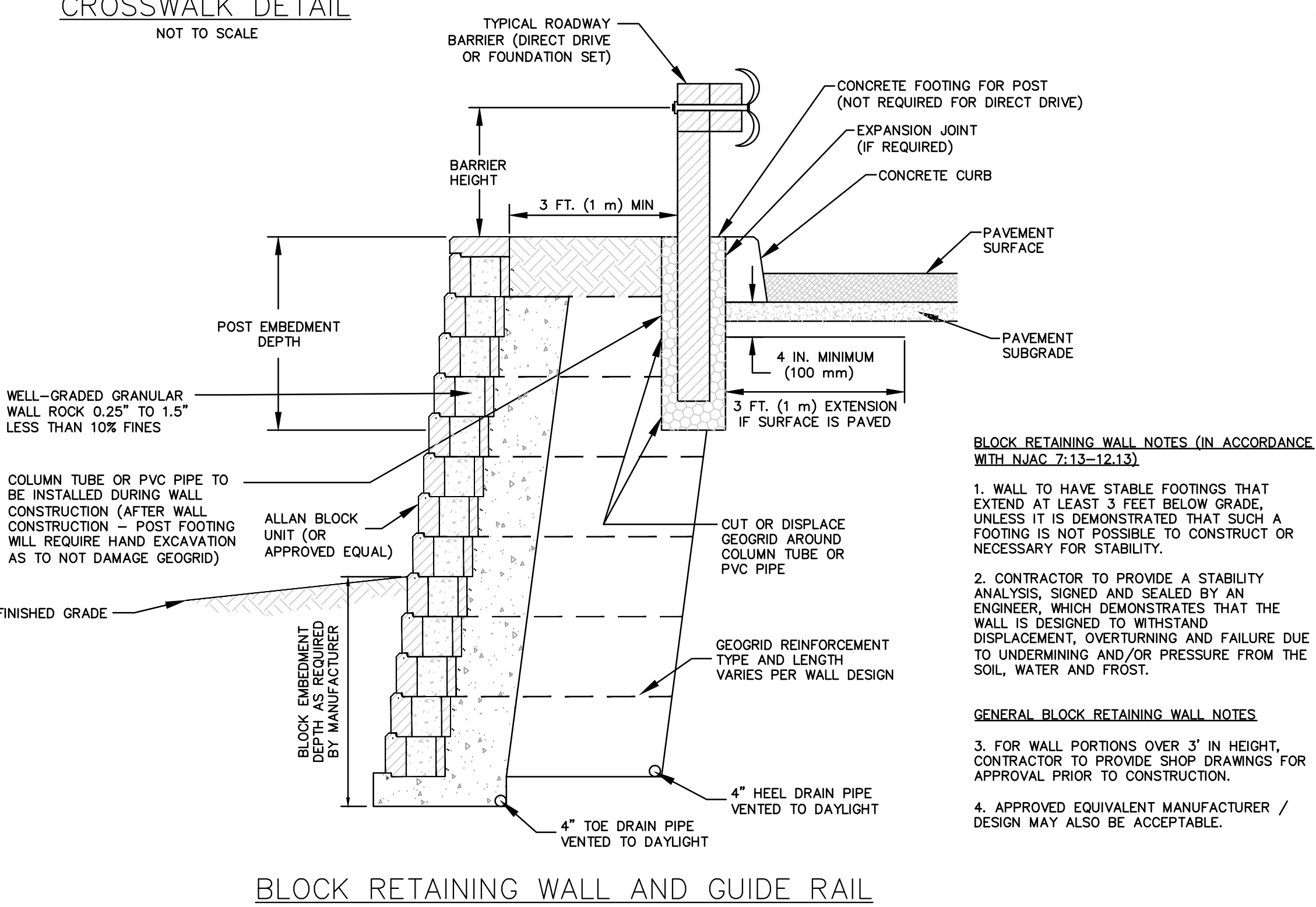


PIPE BOLLARD DETAIL  
NOT TO SCALE



CONCRETE VERTICAL CURB & SAWCUT PAVEMENT REPLACEMENT  
NOT TO SCALE

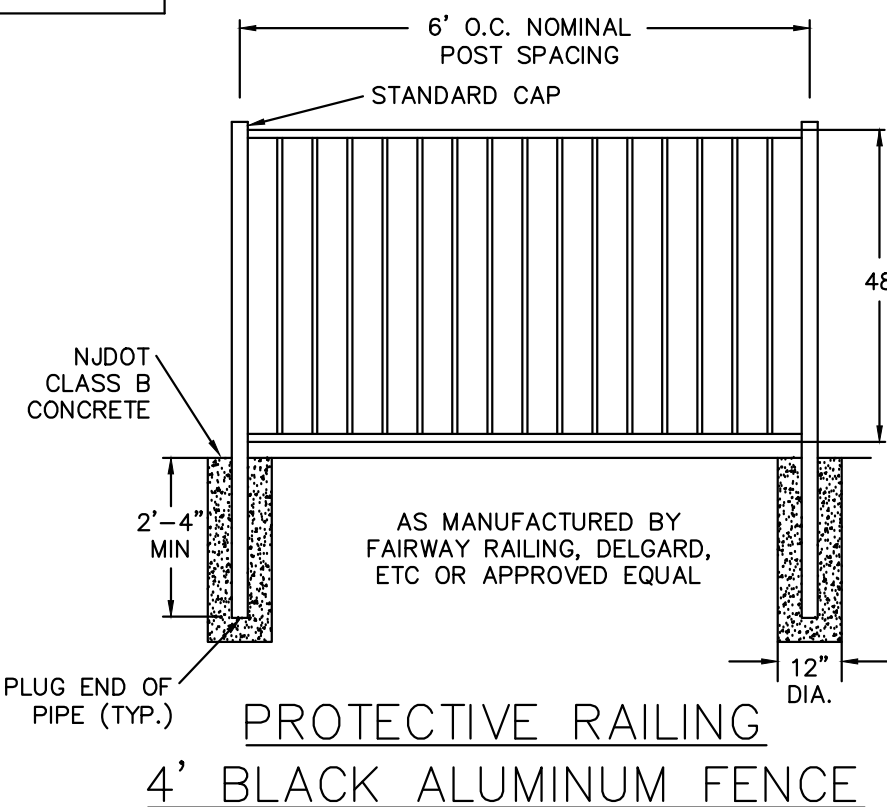
NOTES: TRANSVERSE JOINTS 1/2\"/>



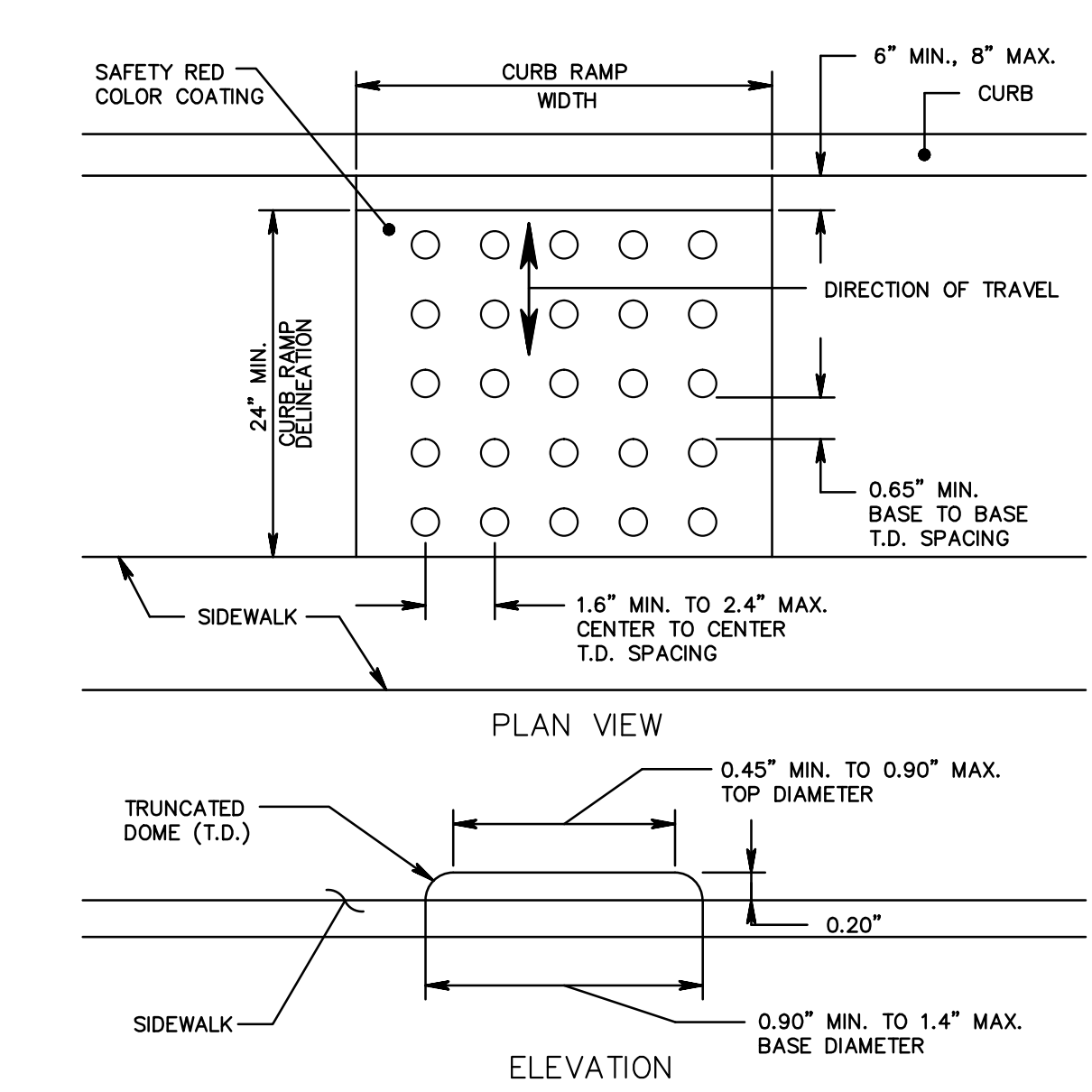
BLOCK RETAINING WALL AND GUIDE RAIL  
NOT TO SCALE

- GENERAL BLOCK RETAINING WALL NOTES (IN ACCORDANCE WITH NAC 7.13-12.13):
1. WALL TO HAVE STABLE FOOTINGS THAT EXTEND AT LEAST 3 FEET BELOW GRADE, UNLESS IT IS DEMONSTRATED THAT SUCH A FOOTING IS NOT POSSIBLE TO CONSTRUCT OR NECESSARY FOR STABILITY.
  2. CONTRACTOR TO PROVIDE A STABILITY ANALYSIS, SIGNED AND SEALED BY AN ENGINEER, WHICH DEMONSTRATES THAT THE WALL IS DESIGNED TO WITHSTAND DISPLACEMENT, OVERTURNING AND FAILURE DUE TO UNDERMINING AND/OR PRESSURE FROM THE SOIL, WATER AND FROST.
  3. FOR WALL PORTIONS OVER 3' IN HEIGHT, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.
  4. APPROVED EQUIVALENT MANUFACTURER / DESIGN MAY ALSO BE ACCEPTABLE.

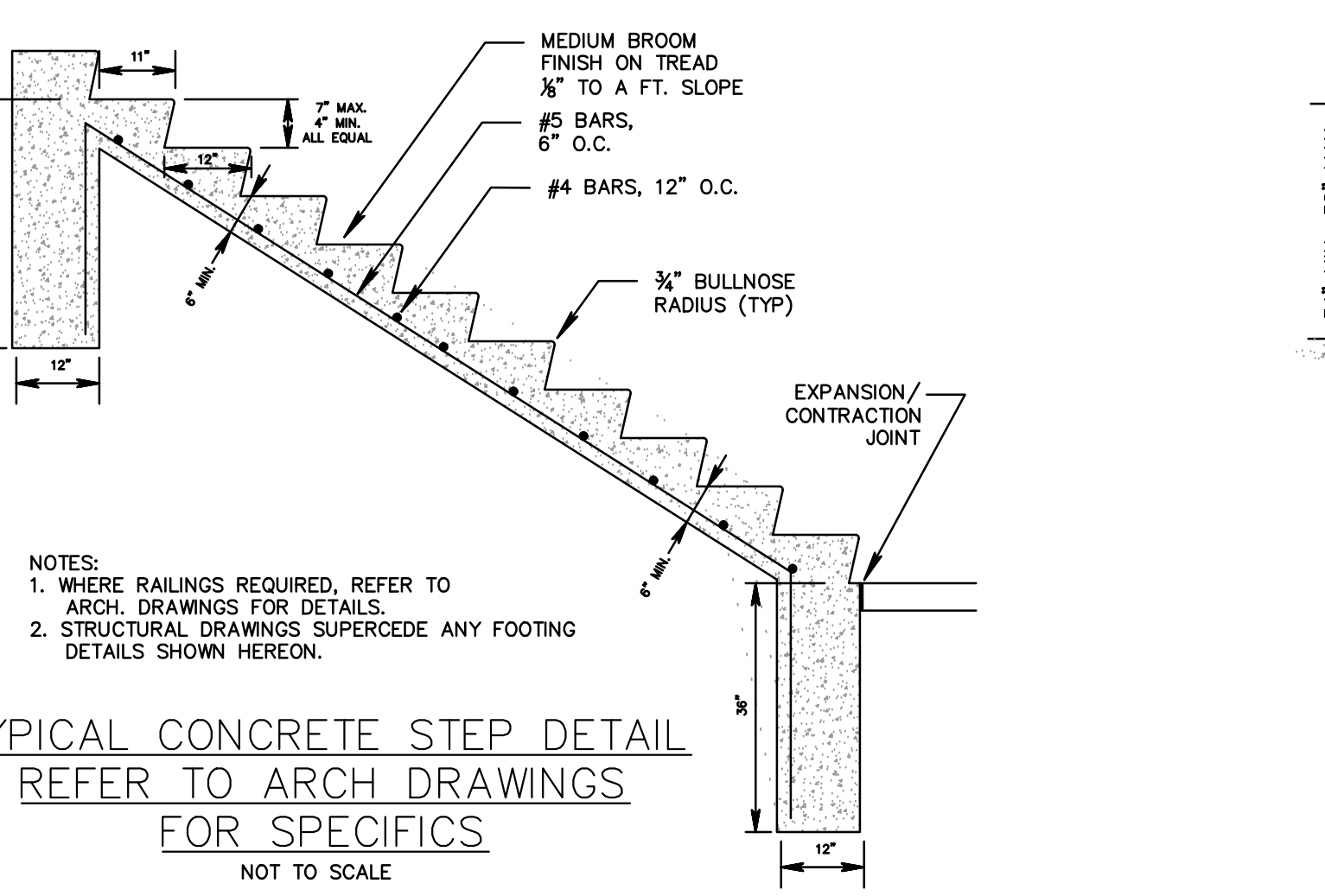
- GENERAL NOTES:
1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  2. DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
  3. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
  4. FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
  5. SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
  6. CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
  7. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
  8. THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.
  9. CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
  10. PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
  11. DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.



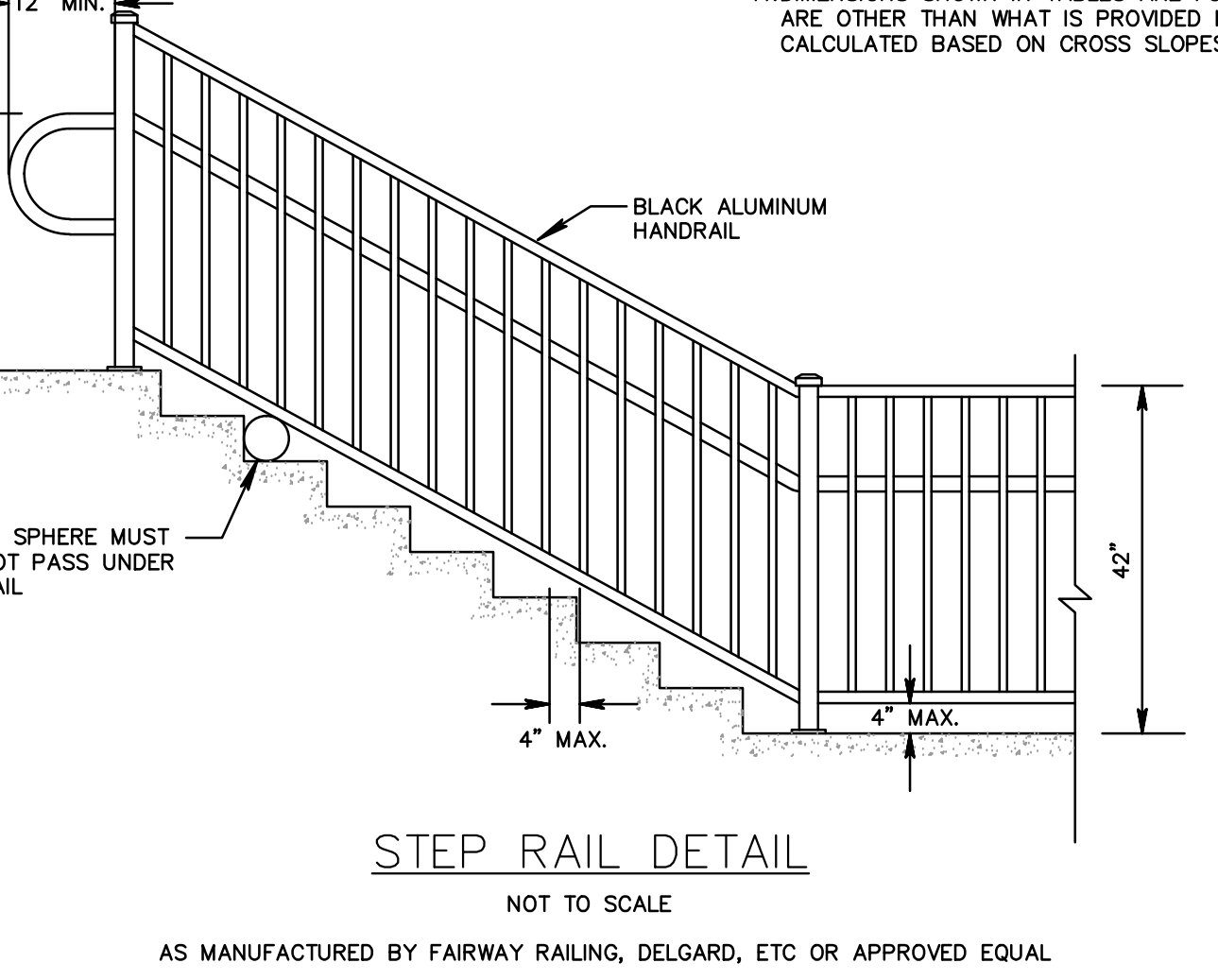
PROTECTIVE RAILING  
4\"/>



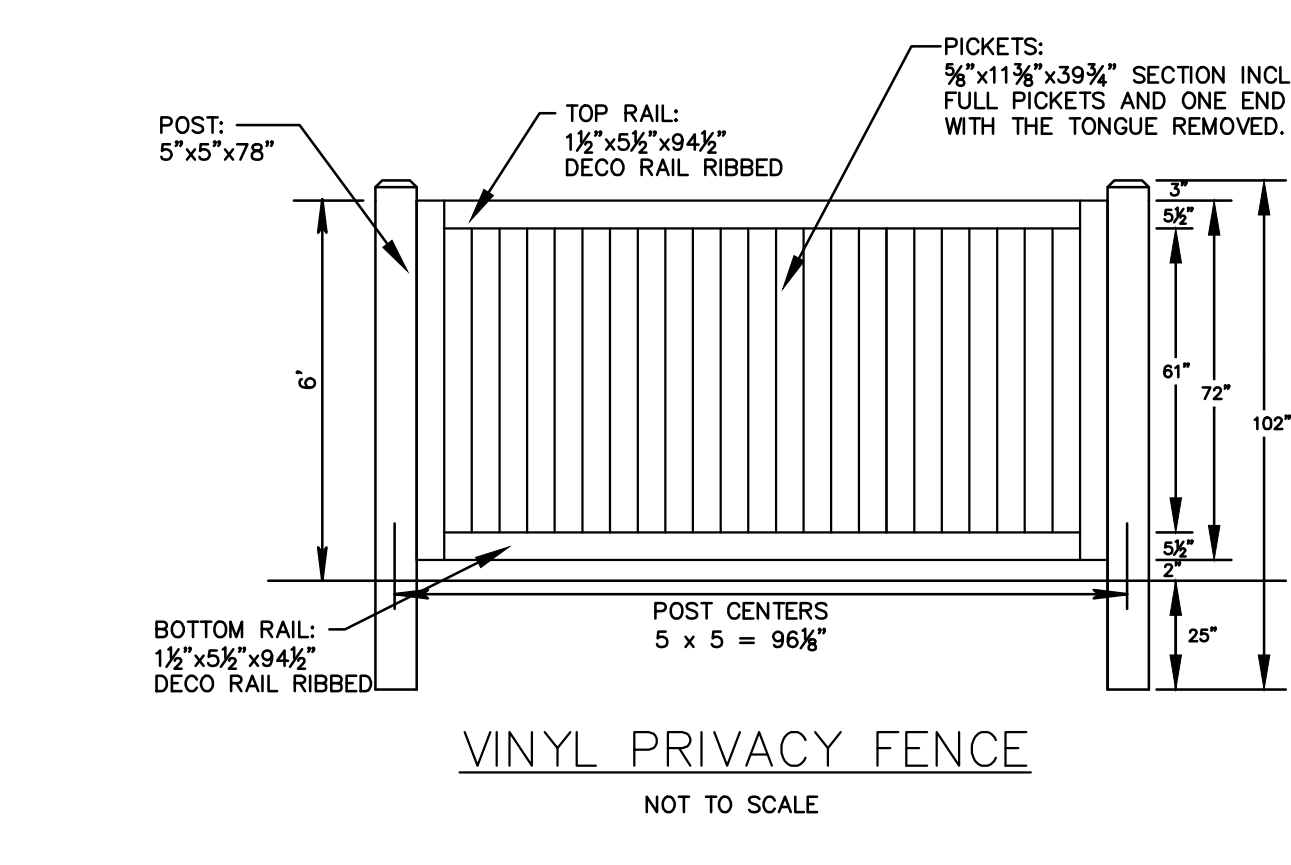
DETECTABLE WARNING SURFACE  
NOT TO SCALE



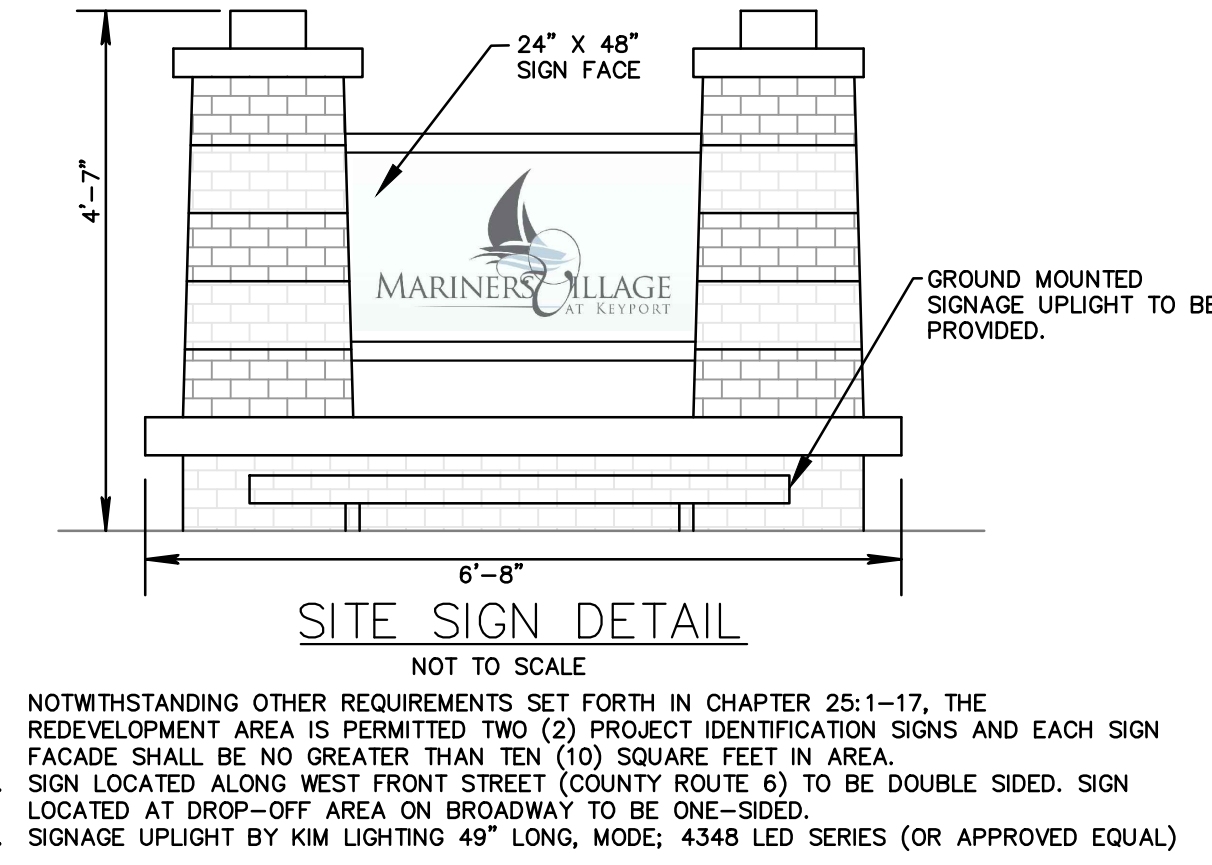
TYPICAL CONCRETE STEP DETAIL  
REFER TO ARCH DRAWINGS FOR SPECIFICS  
NOT TO SCALE



STEP RAIL DETAIL  
NOT TO SCALE

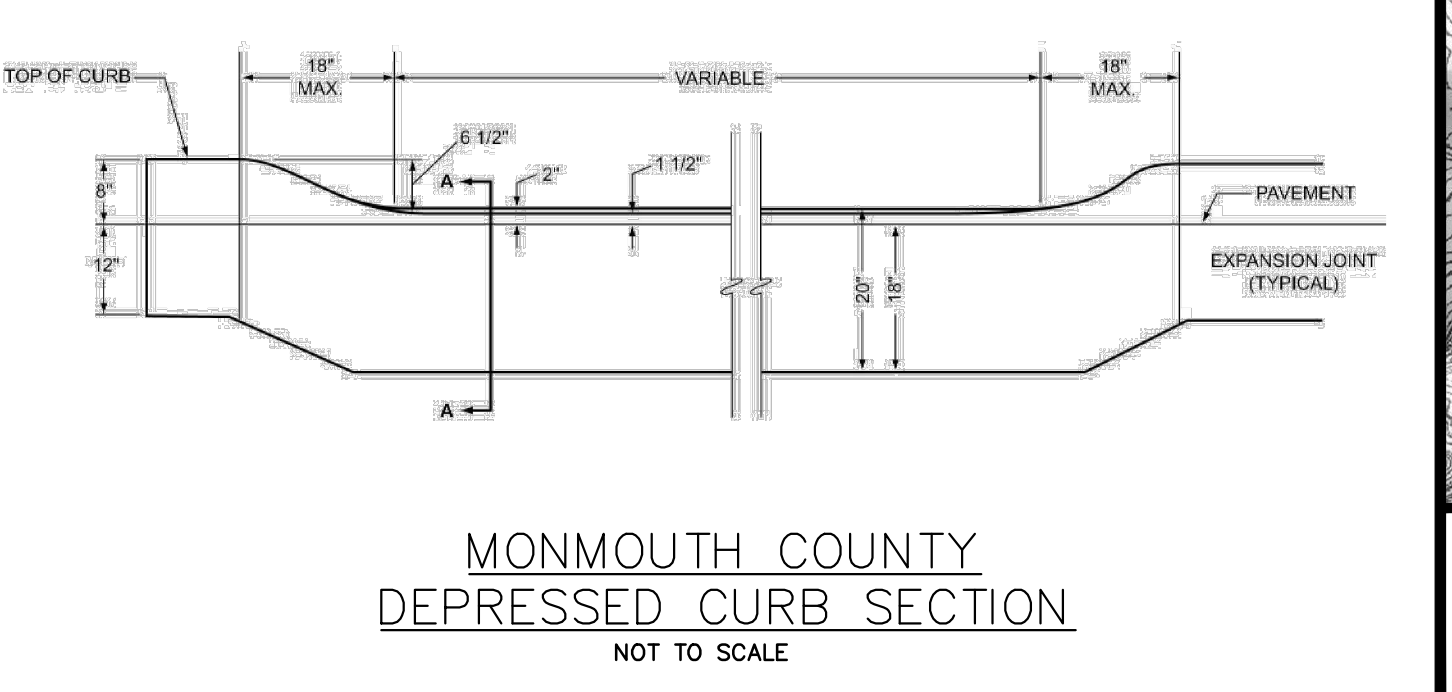


VINYL PRIVACY FENCE  
NOT TO SCALE



SITE SIGN DETAIL  
NOT TO SCALE

1. NOTWITHSTANDING OTHER REQUIREMENTS SET FORTH IN CHAPTER 25:1-17, THE REDEVELOPMENT AREA IS PERMITTED TWO (2) PROJECT IDENTIFICATION SIGNS AND EACH SIGN FACADE SHALL BE NO GREATER THAN TEN (10) SQUARE FEET IN AREA.
2. SIGN LOCATED ALONG WEST FRONT STREET (COUNTY ROUTE 6) TO BE DOUBLE SIDED. SIGN LOCATED AT DROP-OFF AREA ON BROADWAY TO BE ONE-SIDED.
3. SIGNAGE UPLIGHT BY RM LIGHTING 48\"/>



MONMOUTH COUNTY DEPRESSED CURB SECTION  
NOT TO SCALE

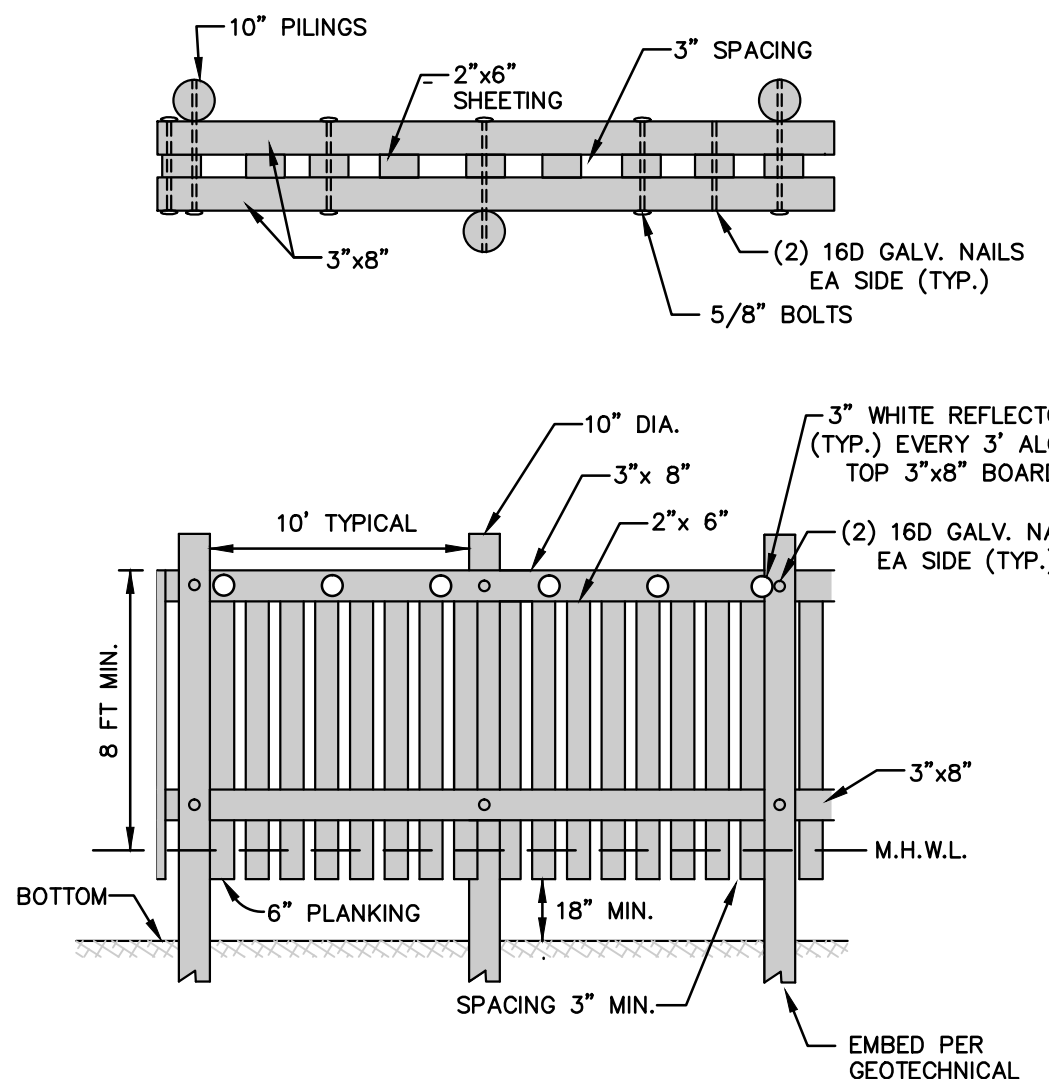
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 CHECKED BY: MWV  
 DRAWN BY: REC  
 DATE: 07/31/17  
 PROJECT NO.: MCP-131  
 DRAWING NAME: 07- Details.dwg  
 HORIZONTAL SCALE: AS SHOWN  
 VERTICAL SCALE: N/A  
 DATE: 07/22/17  
 PROJECT NO.: MCP-131  
 DRAWING NAME: 07- Details.dwg  
 DRAWN BY: MWV  
 CHECKED BY: LLZ  
 DATE: 07/22/17  
 PROJECT NO.: MCP-131  
 DRAWING NAME: 07- Details.dwg

PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
 MARINER'S VILLAGE AT KEYPORT  
 BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14, 14.01  
 CONSTRUCTION DETAILS  
 SITUATED IN  
 BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

L. Ziegler IV, P.E.  
 PROFESSIONAL ENGINEER  
 No. 16, 066, 066, 066

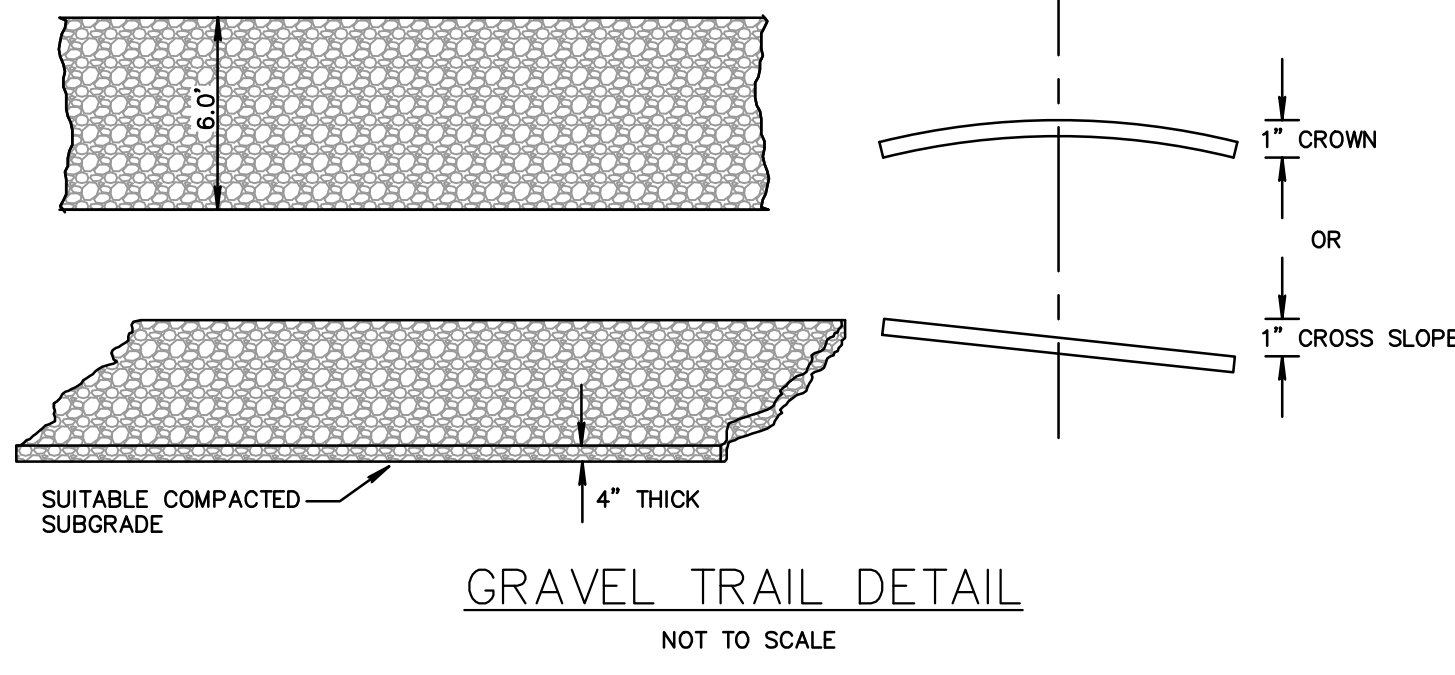
Certificate of Authorization No. 240208180000  
 L. Ziegler IV, P.E.  
 PE No. 06A020500  
 Matthew J. Brennan P.E.  
 PE No. 06A0460000  
 Matthew J. Brennan P.E.  
 PE No. 06A0460000

Sheet Number  
 14 OF 16



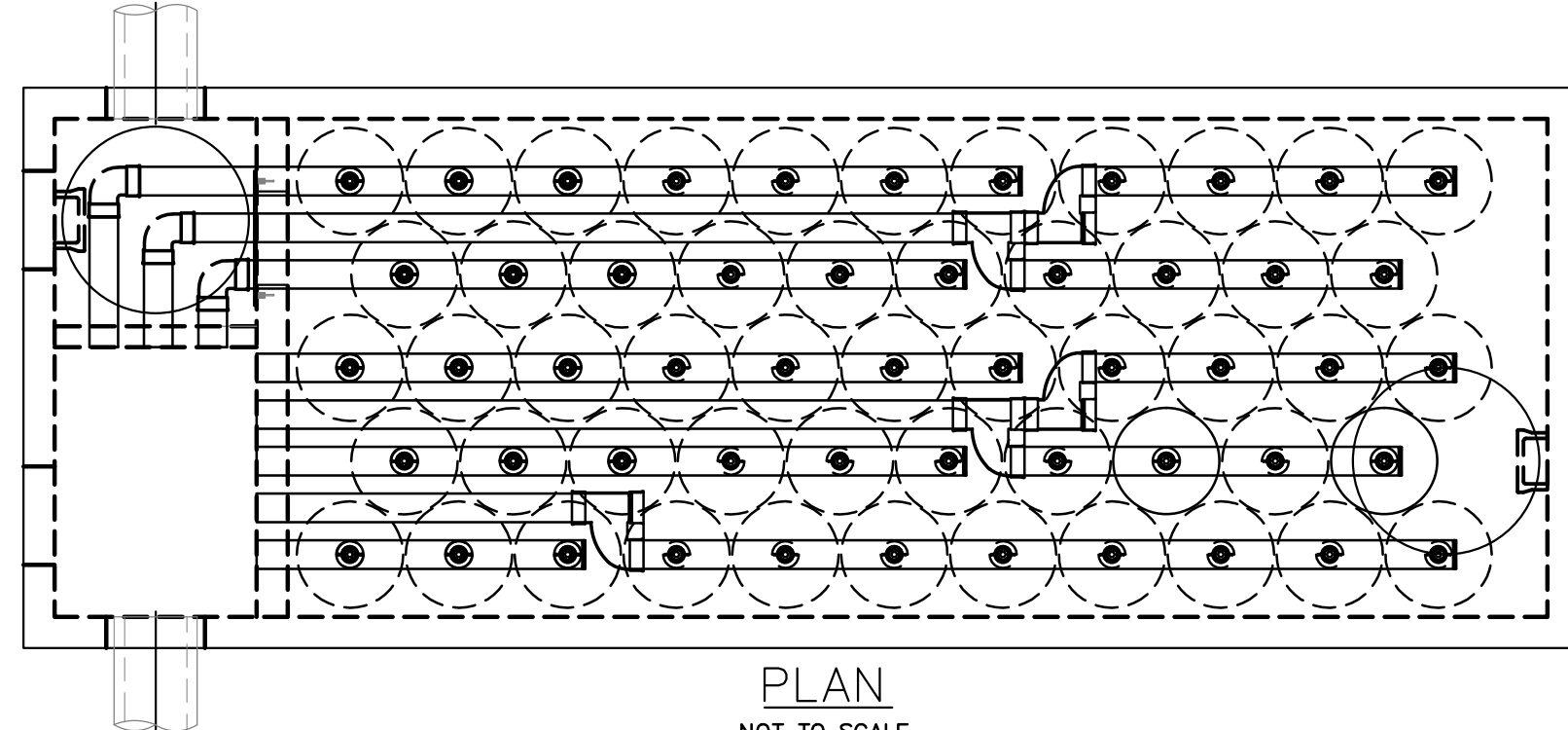
**TIMBER BREAKWATER DETAIL**  
NOT TO SCALE

NOTE: ATTACH "NO WAKE SIGN" TO FRONT OF BREAKWATER

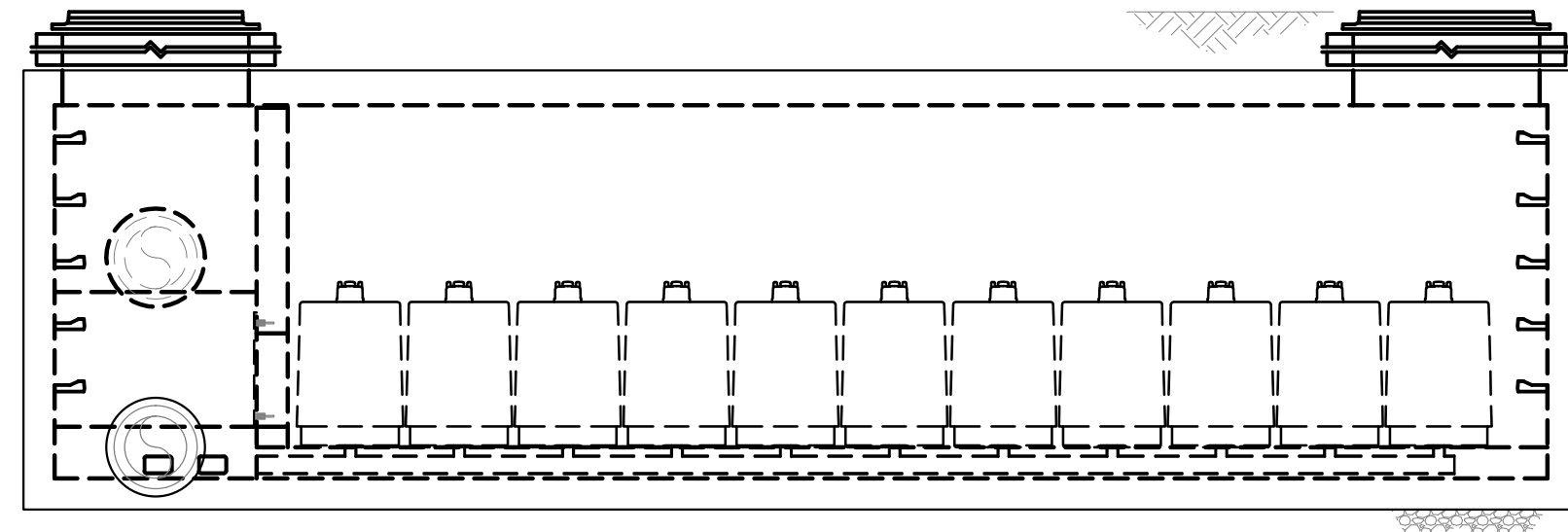


**GRAVEL TRAIL DETAIL**  
NOT TO SCALE

- NOTES:
1. TRAIL BED TO BE SANDS, STONE, OR MULCH.
  2. TRAIL TO BE NO WIDER THAN 8 FEET.
  3. ALL EFFORT SHALL BE MADE DURING CONSTRUCTION TO LIMIT SOIL AND VEGETATION DISTURBANCE.

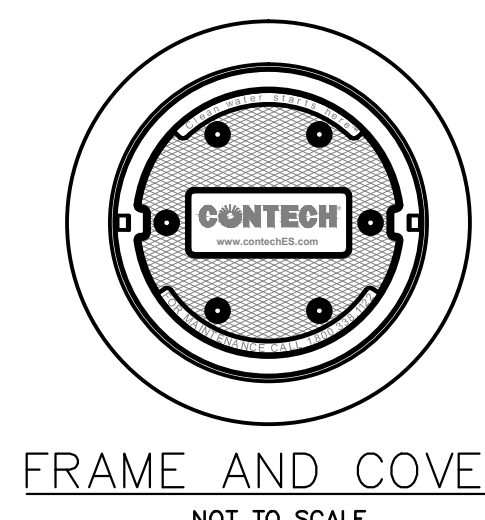


**PLAN**  
NOT TO SCALE



**ELEVATION**  
NOT TO SCALE

| STORMFILTER DESIGN TABLE  |                       |                       |                       |                       |
|---|-----------------------|-----------------------|-----------------------|-----------------------|
| * THE 4' x 24' PEAK DIVERSION STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD. |                       |                       |                       |                       |
| * THE PEAK DIVERSION STORMFILTER SHALL BE ASSEMBLED AS A LEFT INLET (AS SHOWN) OR RIGHT INLET CONFIGURATION.  |                       |                       |                       |                       |
| * ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.   |                       |                       |                       |                       |
| CARTRIDGE HEIGHT  | 27"                   | 18"                   | LOW DROP              |                       |
| SYSTEM HYDRAULIC DROP (H-REGD. MIN.)  | 3.05'                 | 2.3'                  | 1.8'                  |                       |
| HEIGHT OF WET WELLS   | 2.00'                 | 2.20'                 | 1.75'                 |                       |
| TREATMENT BY MEDIA SURFACE AREA   | 2 gpm/ft <sup>2</sup> | 1 gpm/ft <sup>2</sup> | 2 gpm/ft <sup>2</sup> | 1 gpm/ft <sup>2</sup> |
| CARTRIDGE FLOW RATE (gpm)   | 22.5                  | 11.25                 | 10                    | 7.5                   |



**FRAME AND COVER**  
NOT TO SCALE

**PERFORMANCE SPECIFICATION**  
FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 57 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/FT<sup>2</sup> (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF OF MEDIA (MAXIMUM).

- GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
  4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  5. STRUCTURE SHALL MEET AASHTO LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

- INSTALLATION NOTES**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLY STRUCTURE.
  - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUP PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
  - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION RELATED EROSION RUNOFF.
  - F. CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

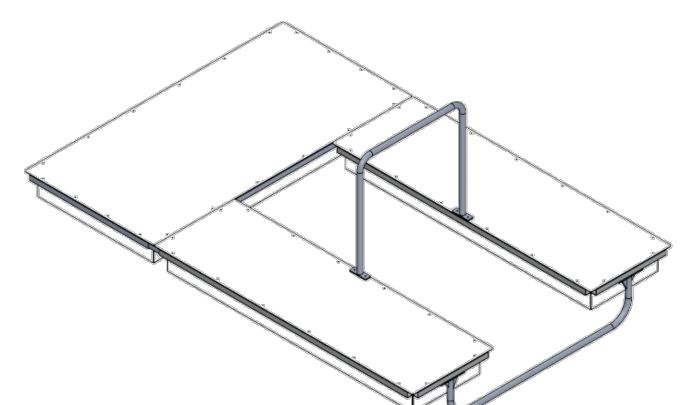
**CONTECH PEAK DIVERSION STORMFILTER**  
NOT TO SCALE



Providing plenty of surface space and stability, our 8'x12' Kayak Slip Dock is the most popular kayak dock setup. The continuous overhead assist bar further increases ease of use and makes launching and recovering a kayak easy for any level paddler. The Kayak Slip Dock can be upgraded further to include the Safe Launch accessory which provides additional comfort and stability by keeping the kayak in place during entry and exit.

**PACKAGE INCLUDES**

- 4' x 8' Framed Float (1)
- 30' x 8' Framed Floats (2)
- S-Style Connectors (2)
- TC-Style Connectors (2)
- Underwater Connector (1)
- Overhead Assist Bar (1)



**KAYAK SLIP DOCK PACKAGE**  
AS MANUFACTURED BY ACCUDOCK, KD-8X12, OR APPROVED EQUAL.

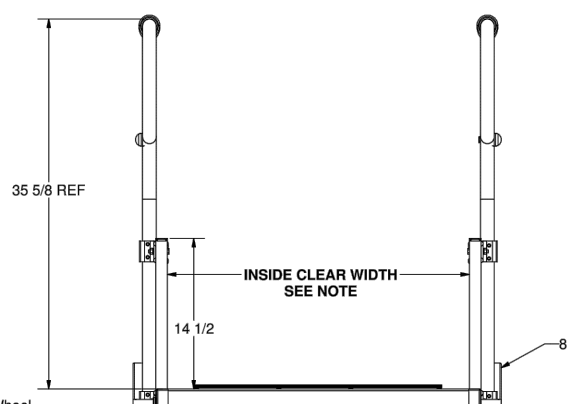
NOTE: COLOR TO BE APPROVED BY OWNER  
NOT TO SCALE

**FRAME WIDTH**

- 32" Wide OD = 31 1/4"
- 36" Wide OD = 36"
- 42" Wide OD = 42"
- 48" Wide OD = 48"

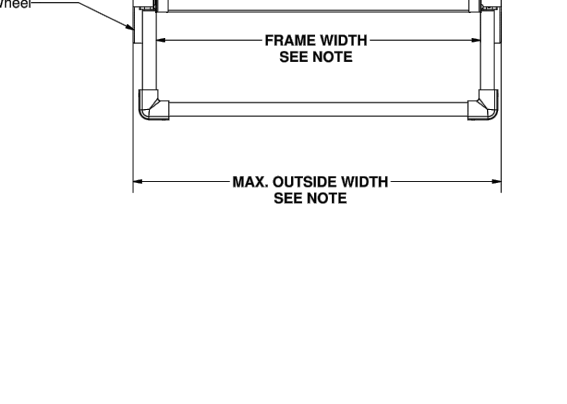
**INSIDE CLEAR WIDTH**

- 32" Wide ID = 29 1/8"
- 36" Wide ID = 33 5/8"
- 42" Wide ID = 39 5/8"
- 48" Wide ID = 45 5/8"



**MAX OUTSIDE WIDTH**

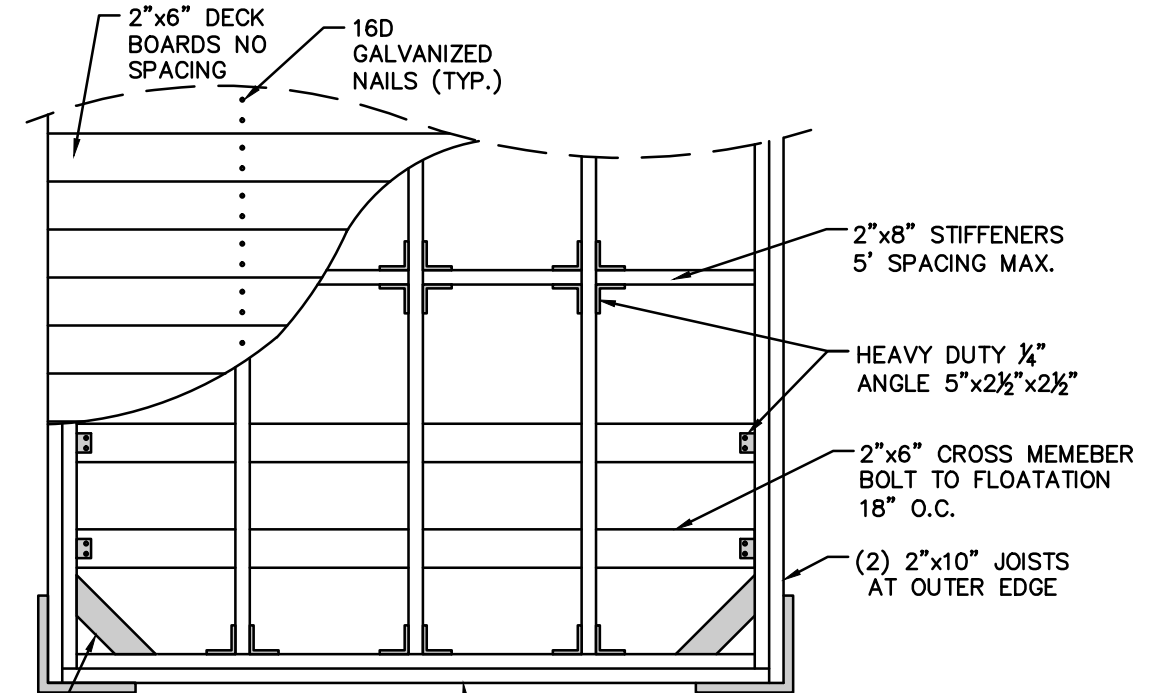
- 32" Wide OD = 35 1/4"
- 36" Wide OD = 40"
- 42" Wide OD = 46"
- 48" Wide OD = 52"



**GANGWAY DETAIL**  
NOT TO SCALE

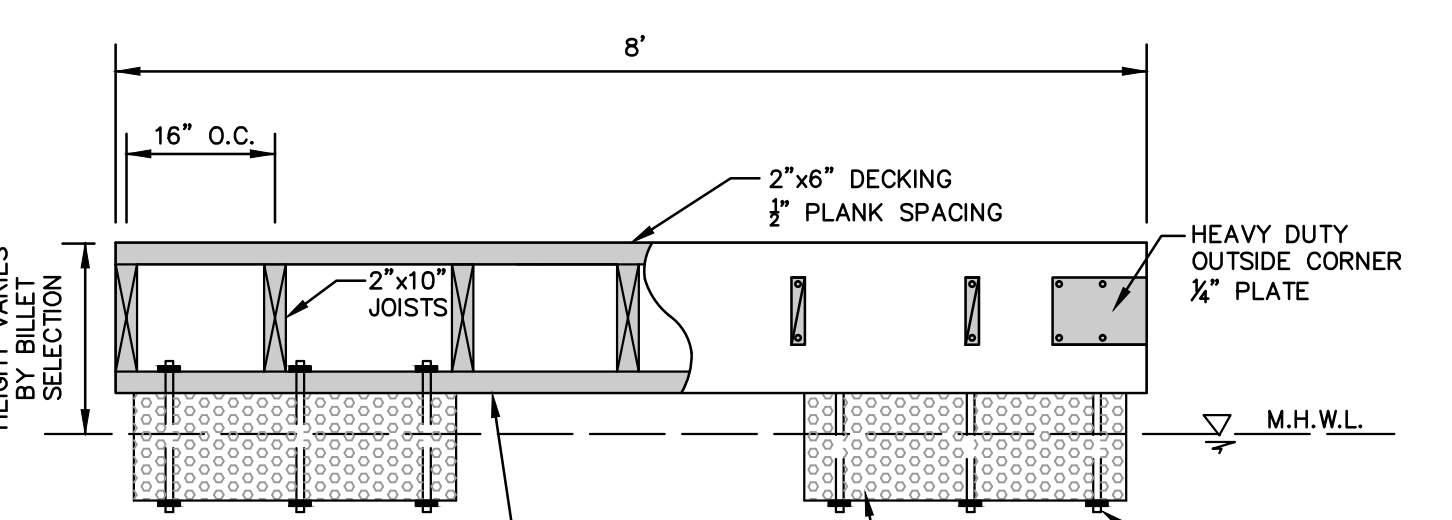
AS MANUFACTURED BY ALUMIDOCK, 800-532-3557, OR APPROVED EQUAL.

- NOTES:
1. GANGWAY TO BE REMOVED FROM FIXED PIER AND STORED IN A SAFE UPLAND LOCATION IN ADVANCE OF ANY SEVERE STORM EVENTS.
  2. GANGWAY TO BE 20' LONG (OR AS REQUIRED) TO SPAN GAP OVER WATER AND PROVIDE SUFFICIENT OVERLAP ONTO THE FLOATING DOCK.

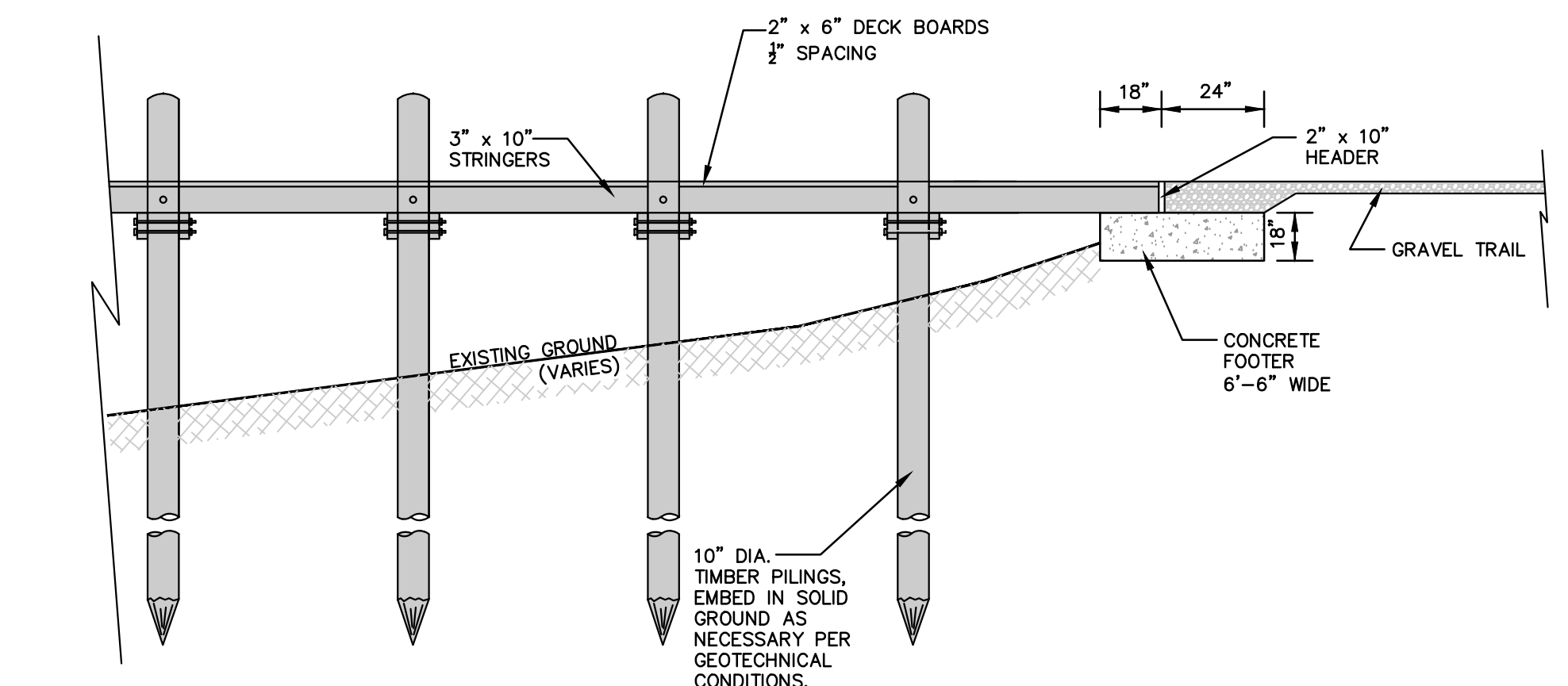


**TYPICAL FLOATING DOCK PLAN**  
NOT TO SCALE

- NOTES:
1. ALL HARDWARE TO USE 1/2" GALVANIZED CARRIAGE BOLT SETS.
  2. VARIOUS FLOTATION BILLET SETS CAN BE INCORPORATED DEPENDING UPON DESIRED FLOATING DOCK HEIGHT.
  3. END USER RESPONSIBLE FOR DETERMINING REQUIRED BUMPER/FENDER STYLES & LOCATIONS AS WELL AS CLEAT LOCATIONS.
  4. ALTERNATIVE FLOATING DOCK DESIGNS W/ SAME OR SIMILAR OVERALL DIMENSIONS ACCEPTABLE WITH APPROVAL OF OWNER.
  5. CONNECT FLOATING DOCKS TO FIXED PILINGS W/ ROLLERS, BAR, OR RING ASSEMBLIES WHICH ALLOW FOR TIDAL MOVEMENT.



**TYPICAL FLOATING DOCK SECTION**  
NOT TO SCALE



**PIER - TRAIL TRANSITION AREA**  
NOT TO SCALE



**KAYAK STORAGE RACK**  
AS MANUFACTURED BY SUSPENZ, #12-0203, OR APPROVED EQUAL.

NOT TO SCALE

**Black-crowned Night Heron**  
*Nycticorax nycticorax*

High-crowned Night Herons are small birds with long necks and long legs. They are found in wetlands and marshes. They are known for their ability to stand on one leg for long periods of time.

**Yellow-crowned Night Heron**  
*Nycticorax nycticorax*

Yellow-crowned Night Herons are small birds with long necks and long legs. They are found in wetlands and marshes. They are known for their ability to stand on one leg for long periods of time.

**Osprey**  
*Pandion haliaetus*

Osprey usually forage on the water, although some will hunt on land. They are known for their ability to catch fish. They are found in wetlands and marshes.

**Least Tern**  
*Sterna bergii*

Least Terns are small birds with long necks and long legs. They are found in wetlands and marshes. They are known for their ability to stand on one leg for long periods of time.

**Habitat Sign Detail**

NOTES:

1. SIGN TO BE MANUFACTURED BY ENVIROSIGN OR APPROVED EQUAL.
2. ALL SIGN MATERIALS TO BE WEATHER RESISTANT & WATERPROOF.
3. ALL STRUCTURAL MEMBERS TO BE TREATED TIMBER.
4. ALL FASTENERS & CONNECTORS TO BE HOT DIP GALVANIZED OR STAINLESS STEEL (NO DISSIMILAR METALS).

**Typical Piling Detail**

CONTRACTOR MAY JET OR VIBRATE PILING INTO THE RIVER FLOOR PROVIDED PILING IS HAMMER SET TO VERIFY LOAD CAPACITY.

PILE EMBEDMENT TO BE 25'-30' OR AS REQUIRED

MEAN LOW WATER

RIVER FLOOR

10" MIN.

8"

VARIES

SET TOP OF PILES ±12.5'-13' (NAVD88)

| Species       | Axial Comp. | Bending   | Shear (perp. to grain) | Comp. (par. to grain) | Modulus of Elasticity | Allowable Comp. (8" tip) |
|---------------|-------------|-----------|------------------------|-----------------------|-----------------------|--------------------------|
| Southern Pine | 1,250 psi   | 1,950 psi | 160 psi                | 440 psi               | 1,500,000 psi         | 63 kips                  |

Table 1: Southern Pine Timber Pile Specifications

- \* PILING INSTALLATION NOTES:**
1. CONTRACTOR TO PROVIDE CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
  2. ALL PILES TO BE SET AN ACCEPTANCE LOAD OF 20 TONS.
  3. TONNAGE TO BE VERIFIED USING GATES FORMULA (PUBLICATION NO. FHWA HI 97-014, REVISED NOVEMBER 1988).
  4. CONTRACTOR TO PROVIDE TEST PILING TO DETERMINE PILE LENGTH FOR REPRODUCTION PILES REQUIRED TO ACHIEVE MINIMUM LOAD CAPACITY.
  5. UTILIZE SOUTHERN PINE 2.5 CCA, 8" TIP, 45' LONG PILES.
  6. PILE RECORDS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO OWNER UPON COMPLETION OF PROJECT.

|              |          |                   |          |
|--------------|----------|-------------------|----------|
| RELEASED BY: | MMW      | VERTICAL SCALE:   | N/A      |
| CHECKED BY:  | RECC     | HORIZONTAL SCALE: | AS SHOWN |
| DRAWN BY:    | RECC     | PROJECT NO.:      | MGP-131  |
| DATE:        | 07/23/17 | DATE:             | 10/19/17 |
| DATE:        | 07/23/17 | DATE:             | 10/19/17 |

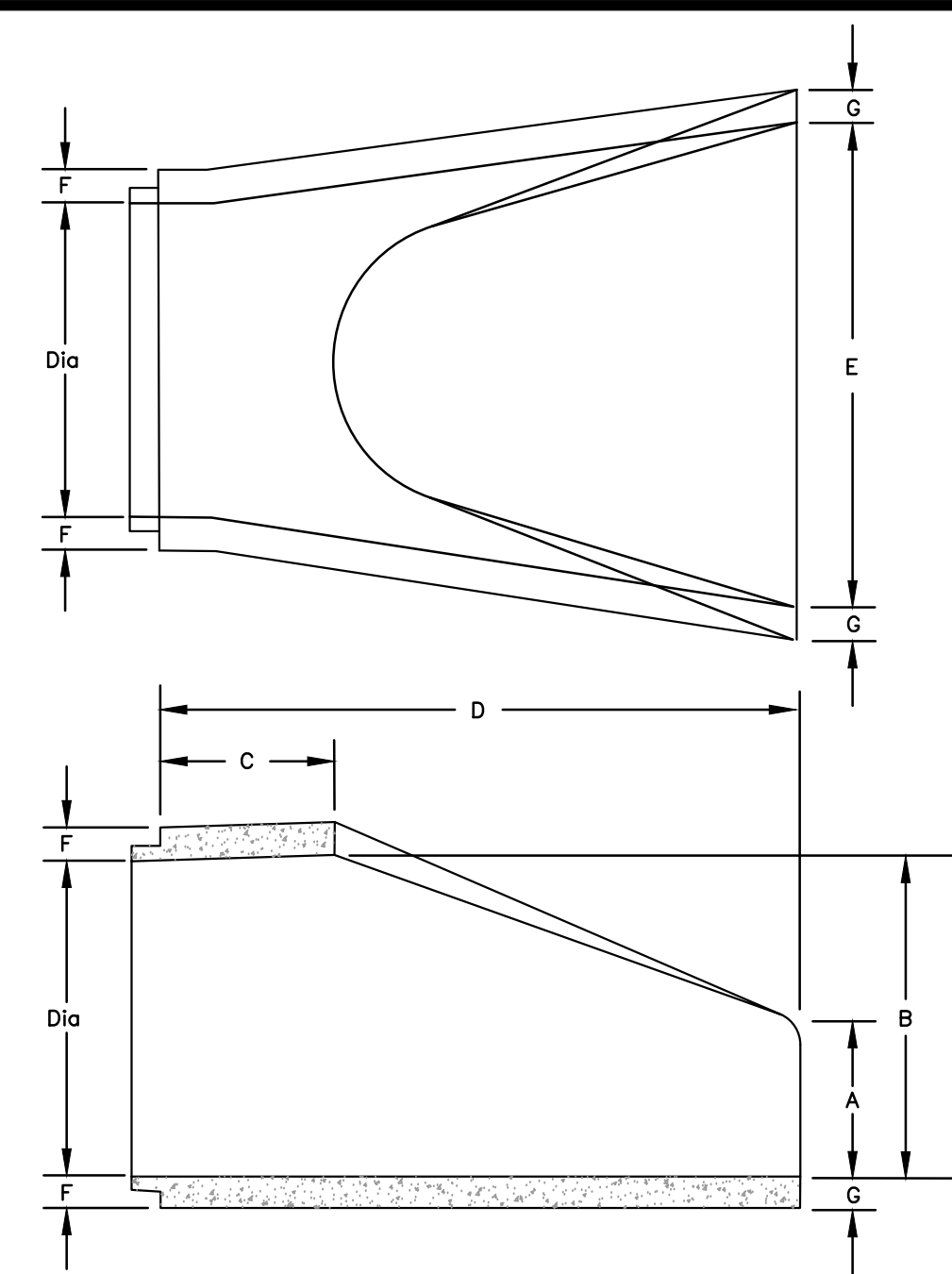
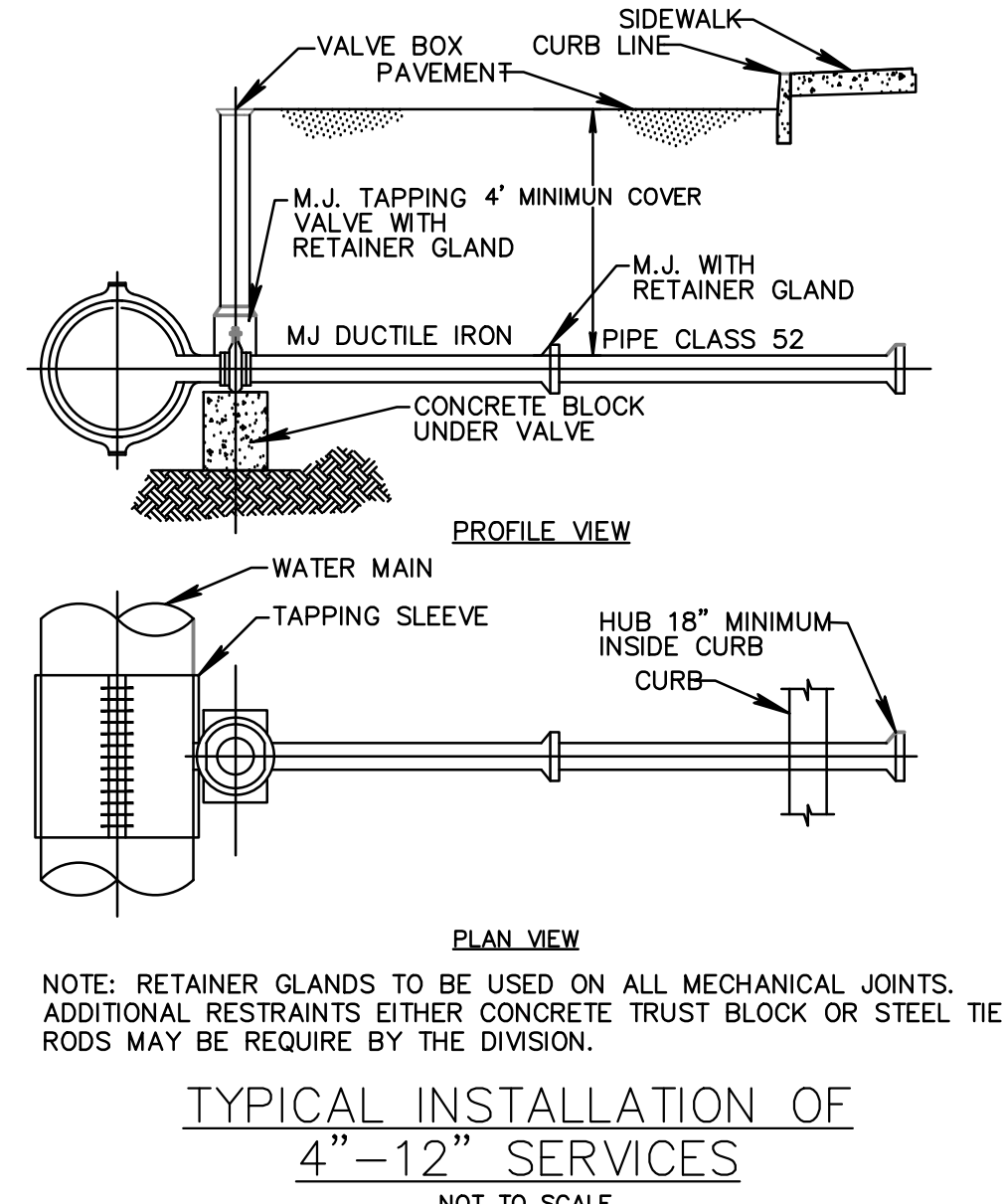
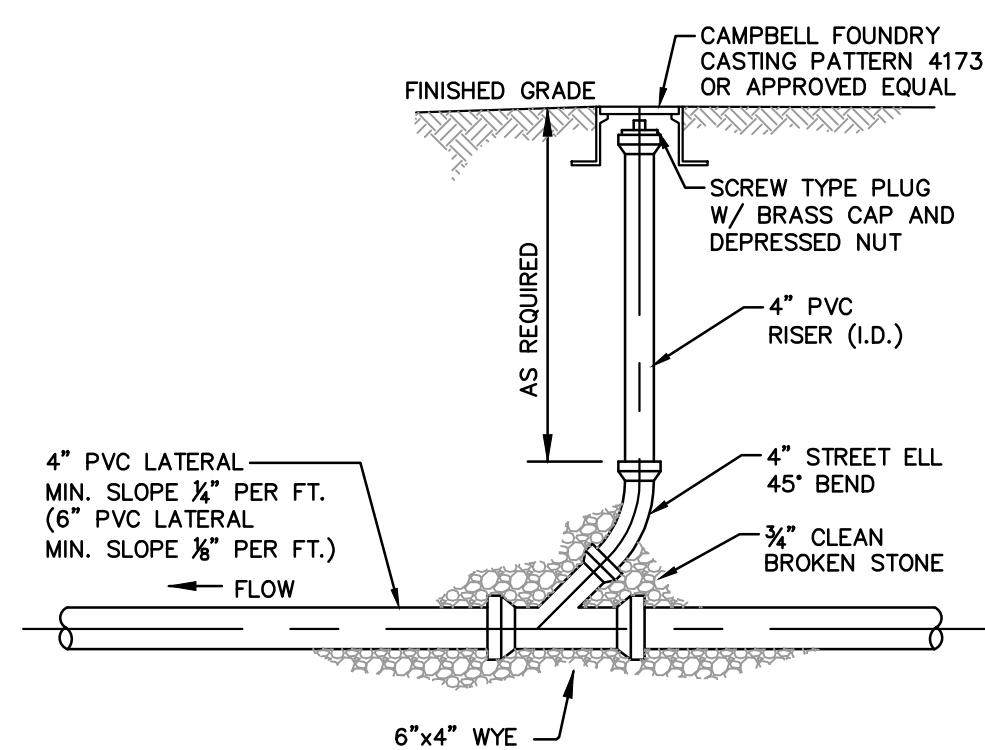
**Louis J. Zuegner IV, P.E.**  
PROFESSIONAL ENGINEER  
No. 000000000

PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14, 14.01  
CONSTRUCTION DETAILS  
SITUATED IN  
BOROUGH OF KEYPORT, MONMOUTH COUNTY, NEW JERSEY

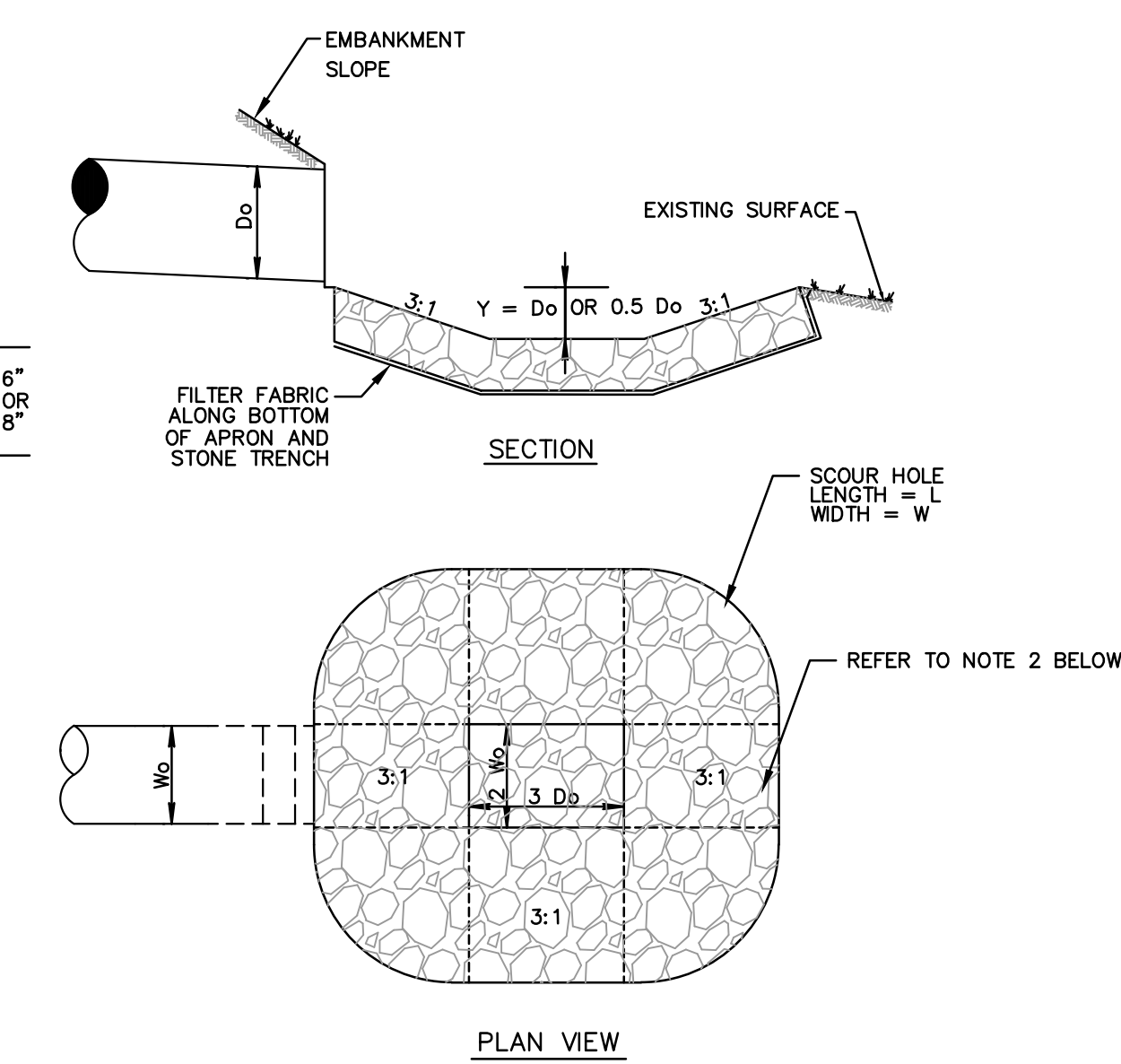
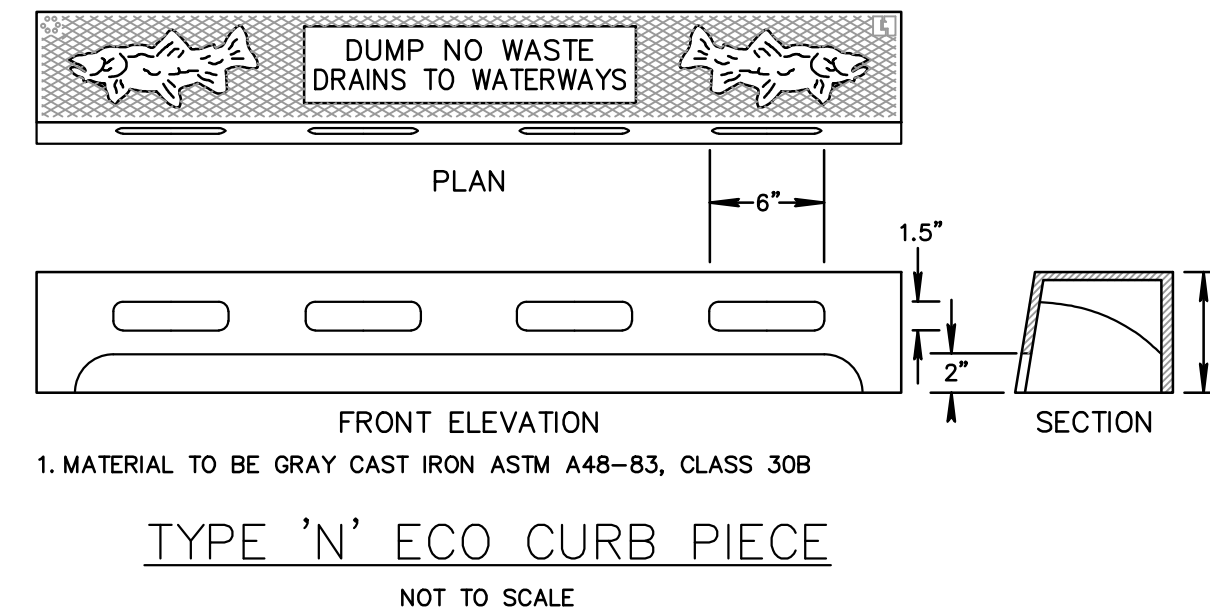
**MidAtlantic**  
DESIGN/ENGINEERING/CONSTRUCTION

1000 Morris Avenue, Suite 200  
Morristown, NJ 07960  
Tel: 908-526-5000  
Fax: 908-526-5001

PE No. 062026500  
Professional Engineer  
Matthew J. Zuegner IV, P.E.  
PE No. 062026500



| Di  | A      | B   | C       | D       | E   | F      | G      |
|-----|--------|-----|---------|---------|-----|--------|--------|
| 12" | 4"     | 13" | 45 1/2" | 69 1/2" | 24" | 4 1/2" | 4 1/2" |
| 15" | 6"     | 16" | 42 1/2" | 69 1/2" | 30" | 4 1/2" | 4 1/2" |
| 18" | 9"     | 19" | 42"     | 69"     | 36" | 4 1/2" | 4 1/2" |
| 24" | 9 1/2" | 25" | 43 1/2" | 69"     | 48" | 4 1/2" | 4 1/2" |
| 30" | 14"    | 31" | 19"     | 72"     | 60" | 3 1/2" | 3 1/2" |
| 36" | 17"    | 37" | 34 1/2" | 96"     | 72" | 4"     | 4"     |
| 42" | 22"    | 43" | 32 1/2" | 96"     | 78" | 4 1/2" | 4 1/2" |
| 48" | 24"    | 49" | 23 1/2" | 96"     | 84" | 5"     | 5"     |

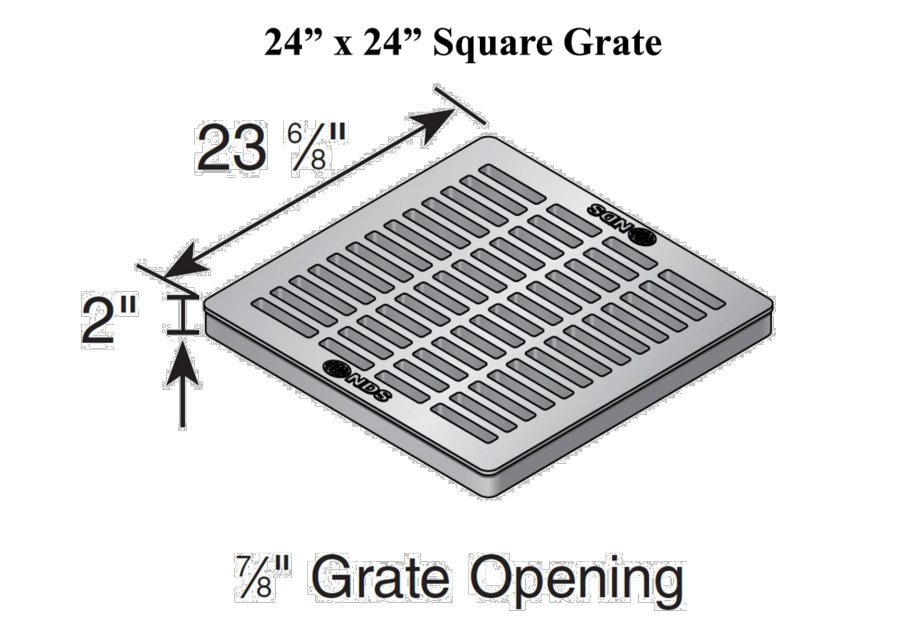


|             | Do                  | Q25      | L        | W        | d50      |
|-------------|---------------------|----------|----------|----------|----------|
| FES-19      | 18" RCP<br>Ø 0.30%  | 5.32 CFS | 9.0 FT.  | 7.5 FT.  | 6" THICK |
| FES-21      | 24" RCP<br>Ø 0.33%  | 6.90 CFS | 12.0 FT. | 10.0 FT. | 8" THICK |
| ROOF LEADER | 12" HDPE<br>Ø 1.00% | 3.16 CFS | 6.0 FT.  | 5.0 FT.  | 8" THICK |

\* OVER FILTER FABRIC

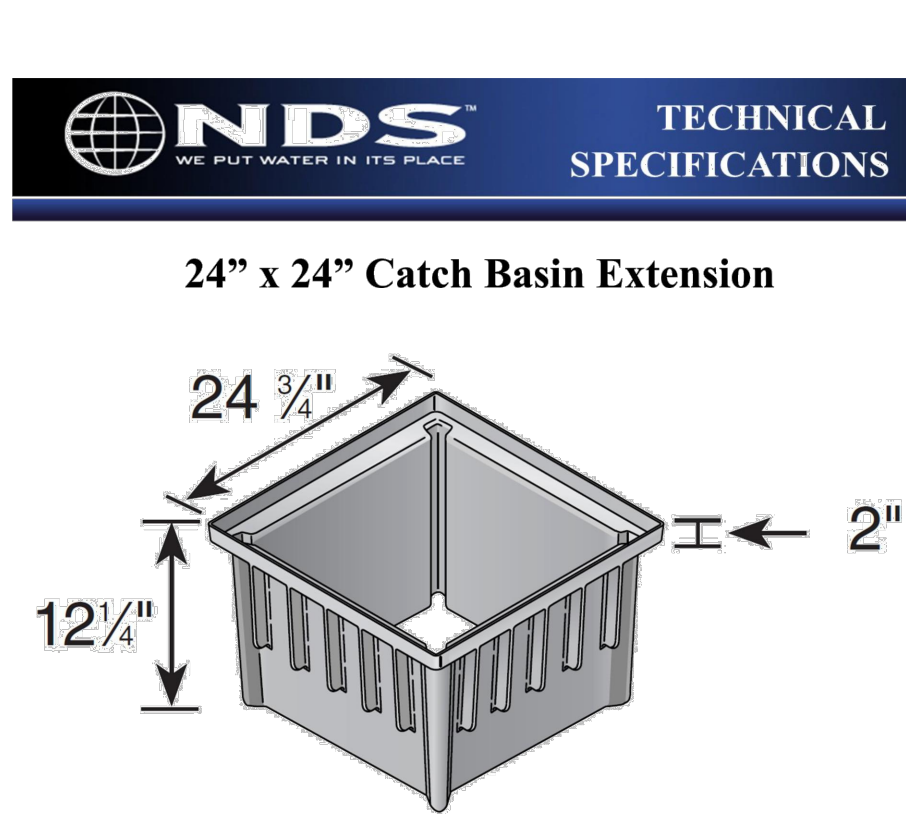
NOTES:  
1. SCOUR HOLES DESIGNED PER SECTION 12, CONDUIT OUTLET PROTECTION, SOIL EROSION MANUAL.  
2. IN ACCORDANCE WITH N.J.A.C. 7:13-12.9(d), SCOUR HOLE ADJACENT TO A FLARED END SECTION WITHIN THE FLOOD HAZARD AREA TO BE CONSTRUCTED WITH A THREE FEET DEEP BY THREE FEET WIDE GABION BASKET RIP RAP TIE WALL AT ITS END.

**NDS** TECHNICAL SPECIFICATIONS



Load Recommendation Guide  
Class B  
\* Loads of 1-175 psf.  
\* Recommended for medium-duty pneumatic tire traffic.  
\* Light trucks and speeds less than 20 mph.

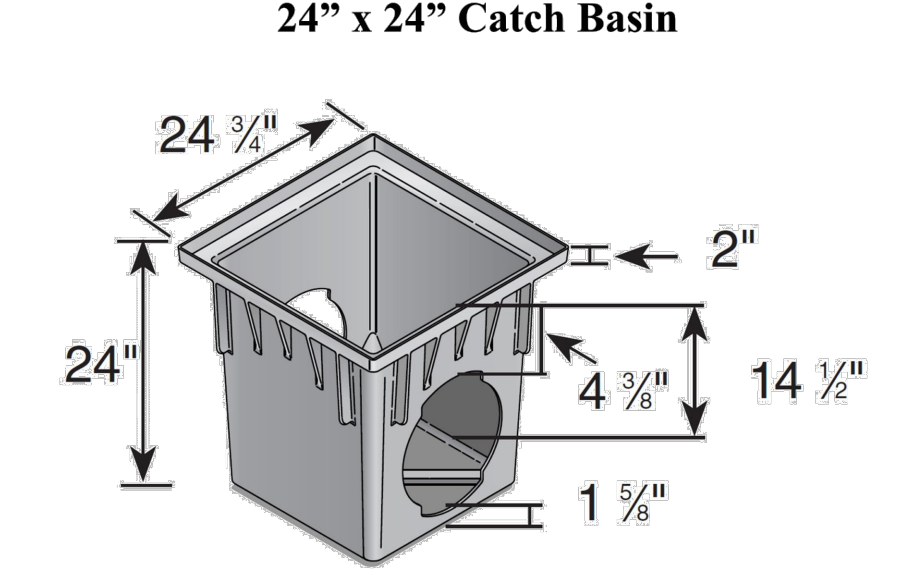
**NDS** TECHNICAL SPECIFICATIONS



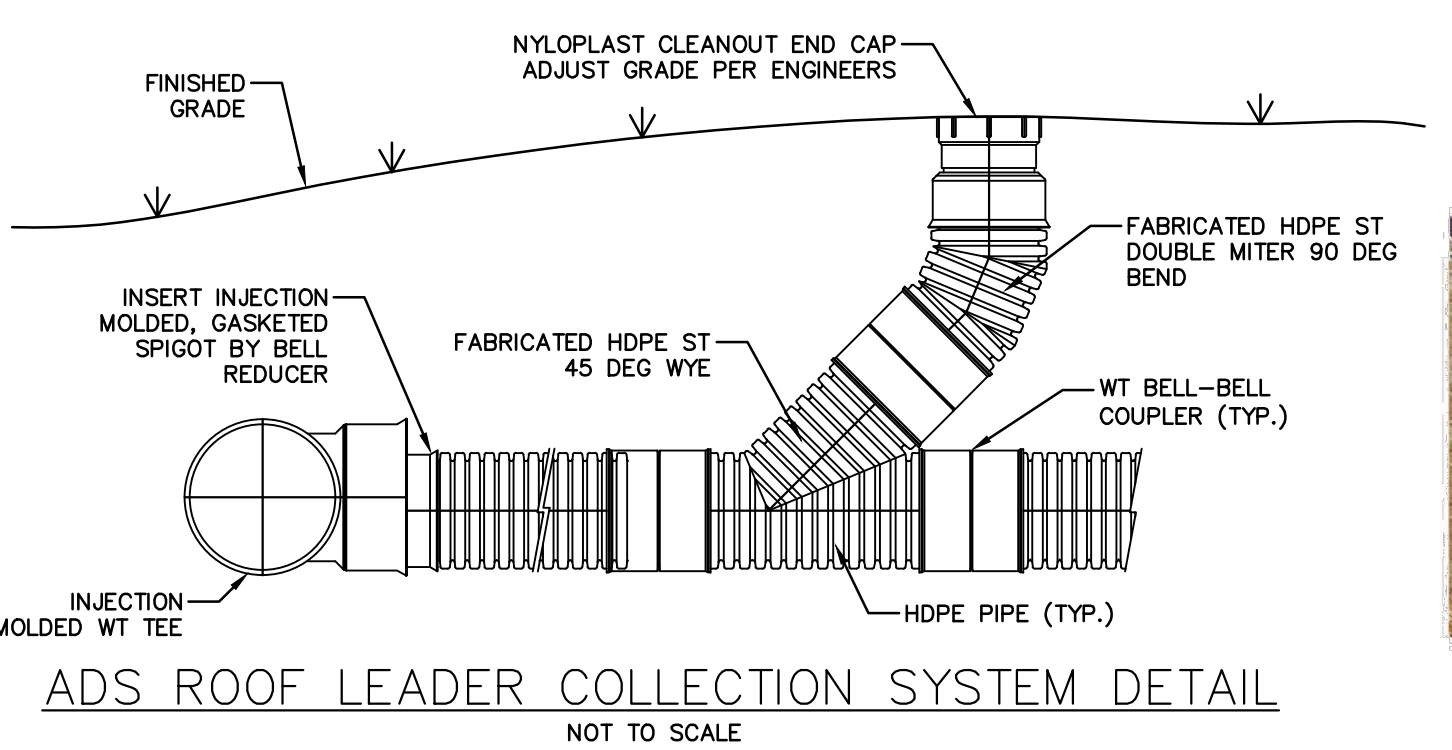
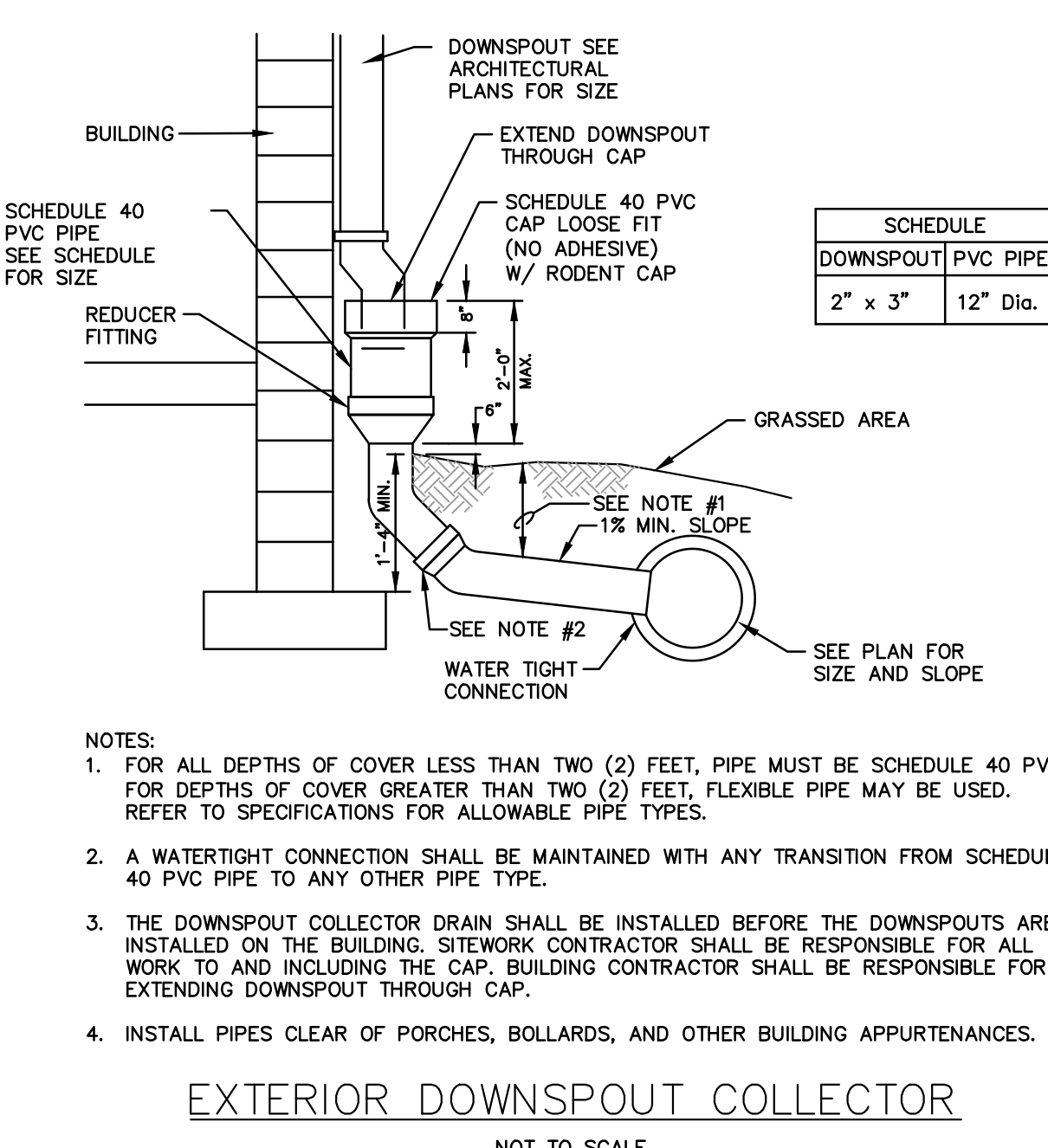
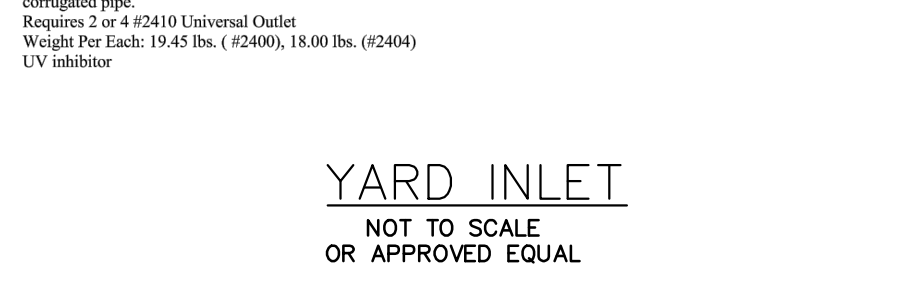
**NDS** TECHNICAL SPECIFICATIONS

**NDS** TECHNICAL SPECIFICATIONS

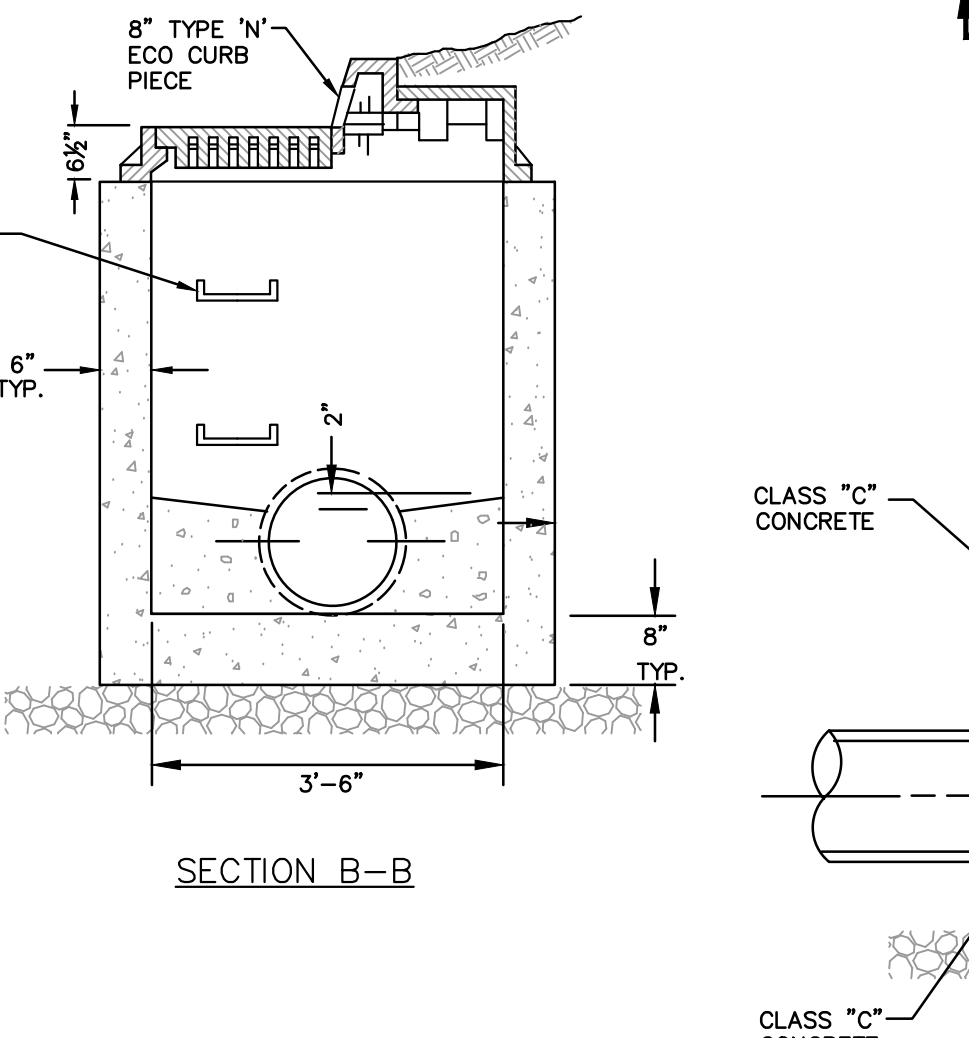
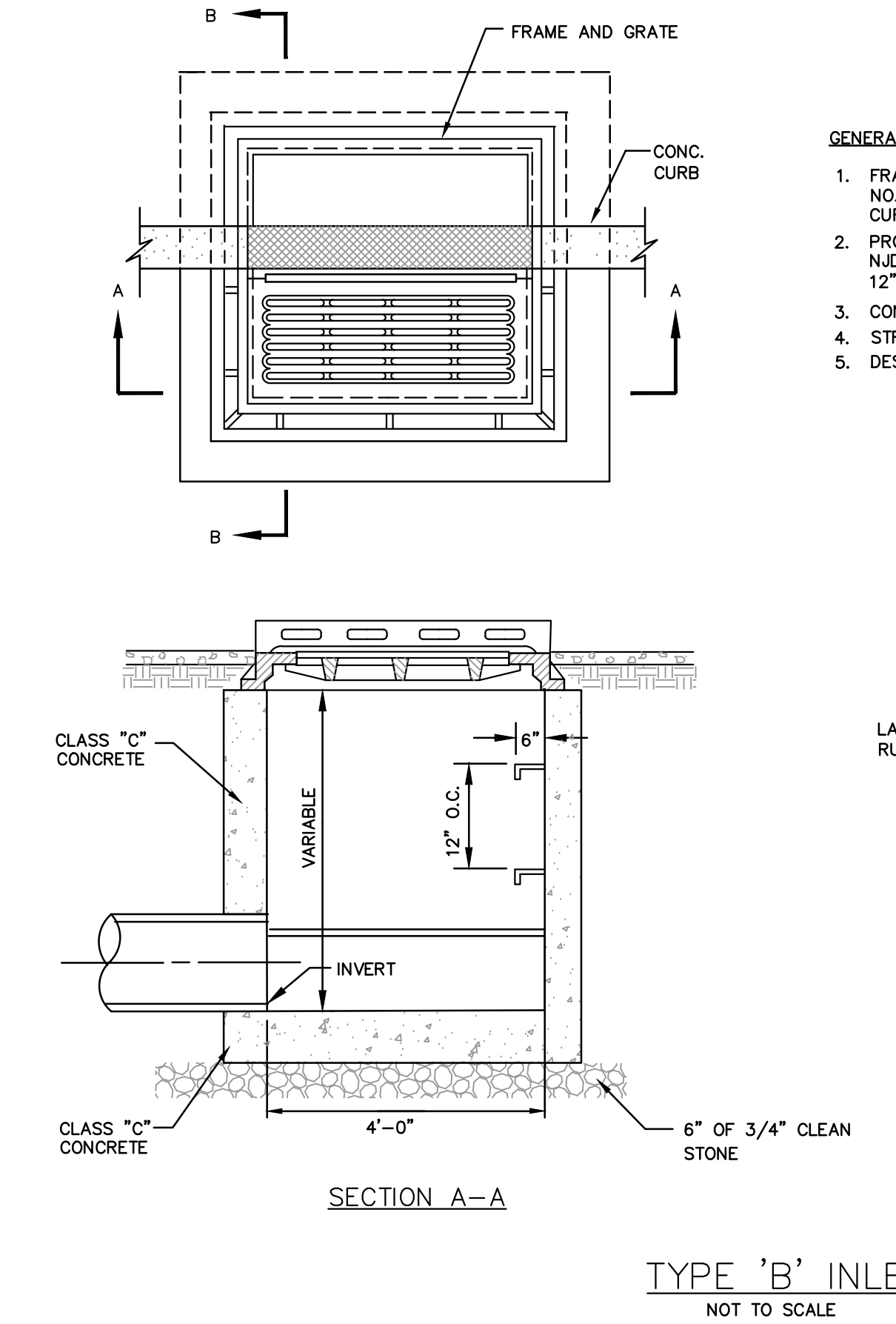
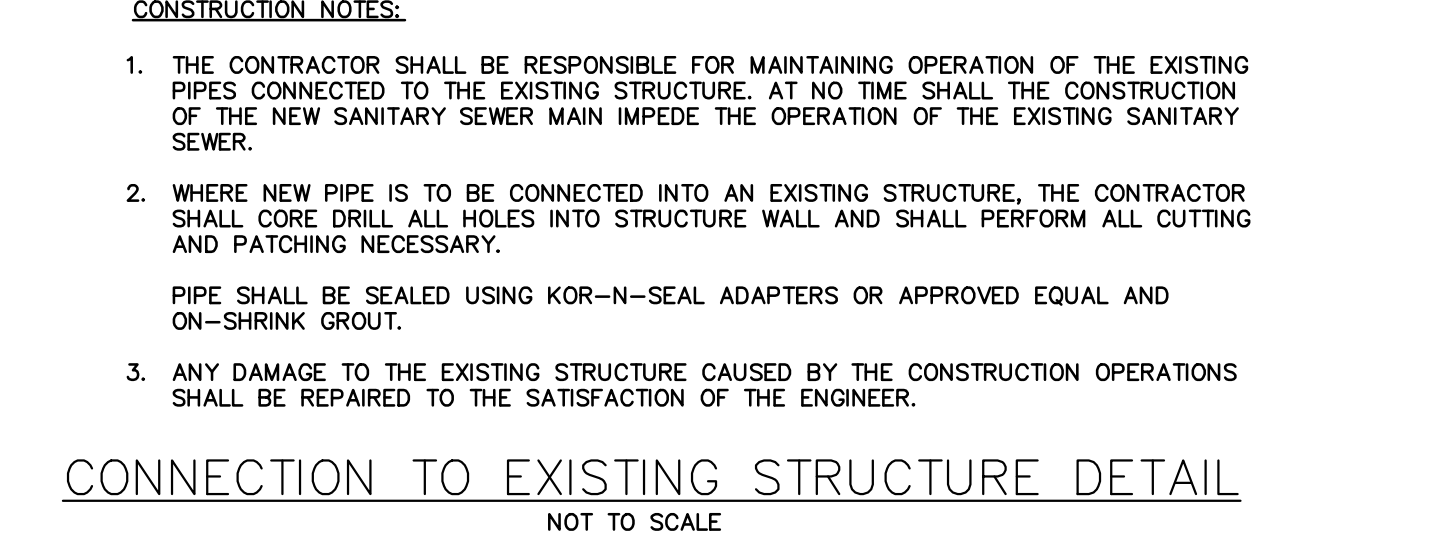
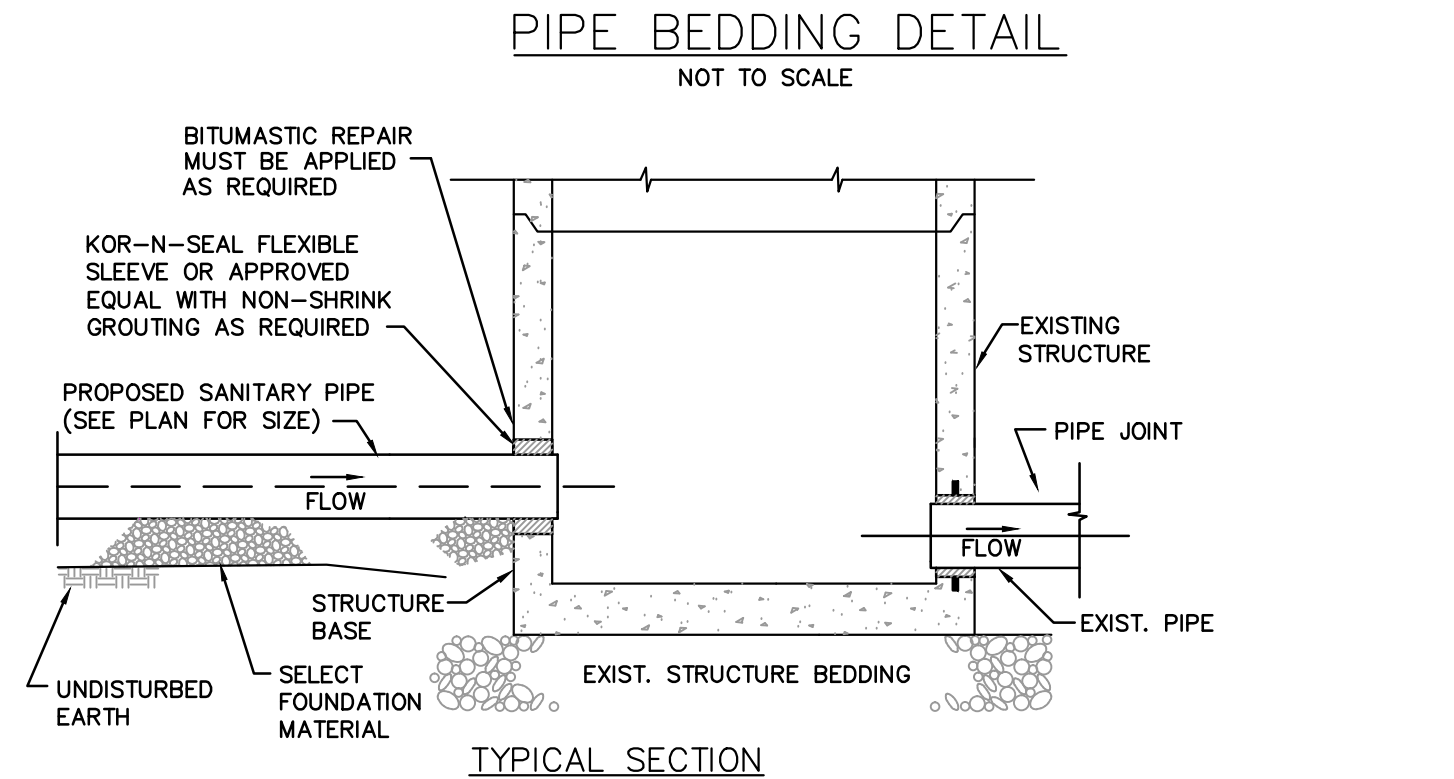
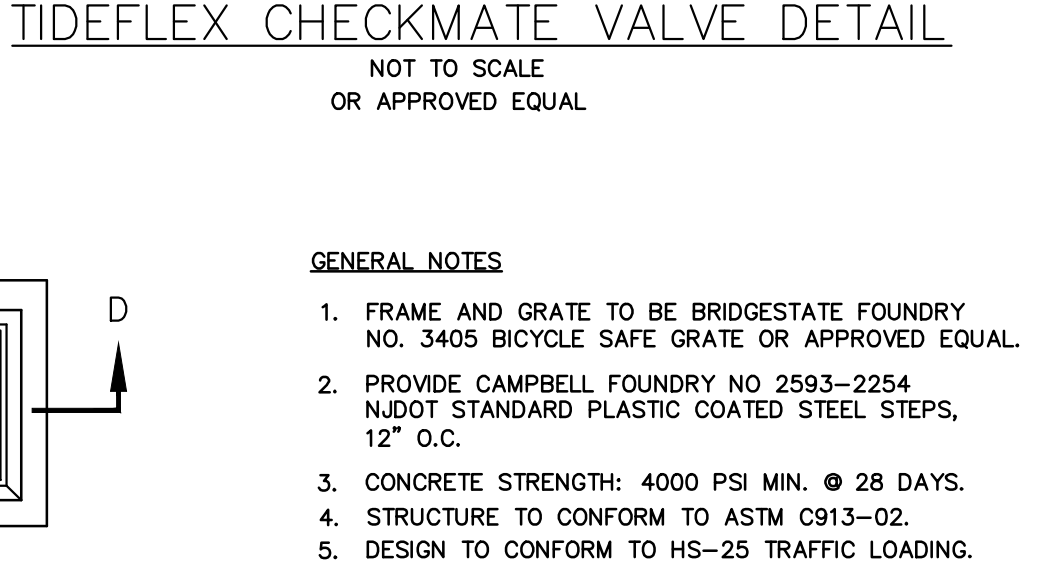
**NDS** TECHNICAL SPECIFICATIONS



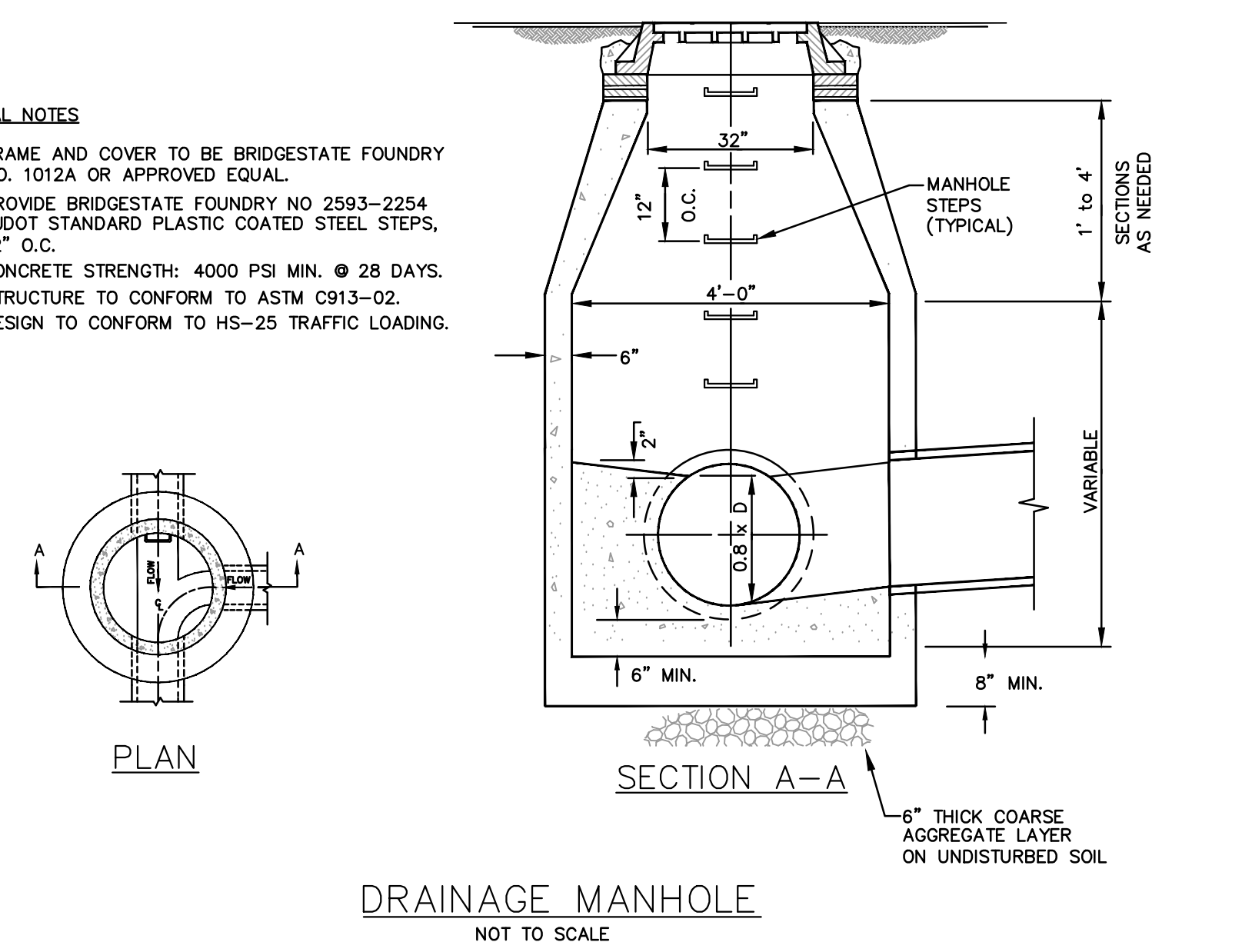
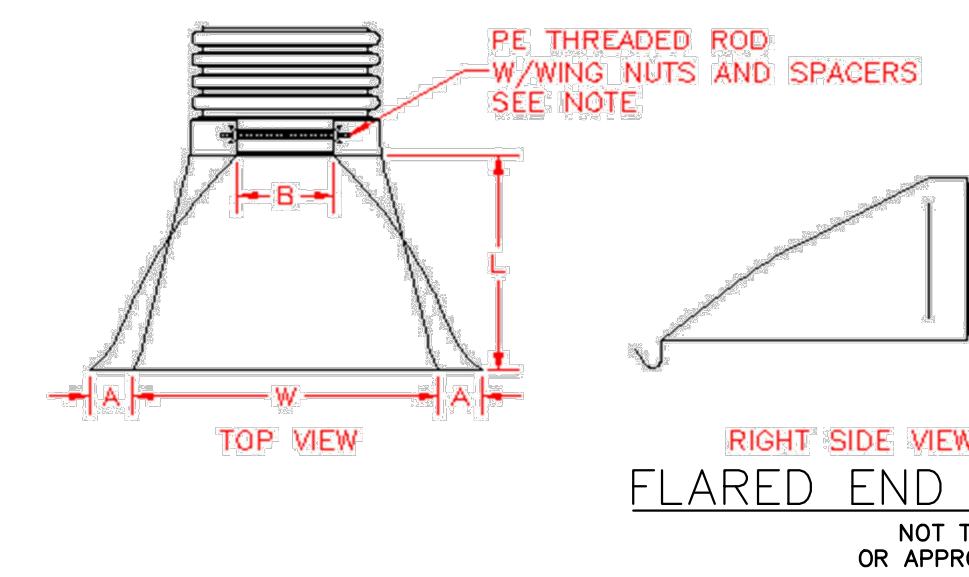
**NDS** TECHNICAL SPECIFICATIONS



| NOMINAL PIPE SIZE I.D.* | OVERALL LENGTH** |             | NUMBER OF CLAMPS | CLIFF DEPTH | BACK PRESSURE RATING |
|-------------------------|------------------|-------------|------------------|-------------|----------------------|
|                         | Inches           | Millimeters |                  |             |                      |
| 4                       | 100              | 7.62        | 200              | 1.5         | 38                   |
| 6                       | 150              | 9           | 229              | 2           | 51                   |
| 7                       | 178              | 12.75       | 324              | 1           | 2                    |
| 8                       | 200              | 15.23       | 387              | 1           | 2                    |
| 9                       | 225              | 15.38       | 391              | 1           | 2                    |
| 10                      | 250              | 16.12       | 409              | 1           | 2                    |
| 12                      | 300              | 23          | 584              | 1           | 2                    |
| 14                      | 350              | 25.75       | 654              | 1           | 4                    |
| 16                      | 400              | 28.61       | 727              | 1           | 4                    |



| PART # | PIPE SIZE              | A               | B(MAX)           | H               | L                | W                |
|--------|------------------------|-----------------|------------------|-----------------|------------------|------------------|
| 101SNP | 10 in (253 mm)         | 3.8 in (95 mm)  | 10.0 in (254 mm) | 6.5 in (165 mm) | 28.0 in (711 mm) | 34.5 in (876 mm) |
| 121SNP | 12 & 15 (300 & 375 mm) | 6.5 in (165 mm) | 10.0 in (254 mm) | 6.5 in (165 mm) | 25.0 in (635 mm) | 29.0 in (737 mm) |



RELEASED BY: LLZ  
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DATE: 07/23/17  
PROJECT NO.: MGP-131  
DRAWING NAME: 07 - Details.dwg  
DRAWN BY: CFU  
REVISIONS:

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PE No. 062026500  
Professional Engineer  
State of New Jersey  
Borough of Keyport, Monmouth County, New Jersey

PRELIMINARY/FINAL MAJOR SITE PLAN & SUBDIVISION  
MARINER'S VILLAGE AT KEYPORT  
BLOCK 20; LOTS 1, 2, 3, 5, 6, 6.01, 7, 9, 11.01, 13, 14, 14.01  
CONSTRUCTION DETAILS

Sheet Number  
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